

SITE PLAN NOTES

- AVERAGE LOT SLOPE IS LESS THAN 5%.
- A SOILS REPORT WILL NOT BE REQUIRED. SFD ADDITIONS, PATIOS, AND ACCESSORY BUILDINGS IF THE APPLICANT SIGNS THE CITY STAMP ON THE PLANS AGREEING TO SECURE A SOIL REPORT IF THE INSPECTOR DETECTS PROBLEMS.
- PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2016 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

PROJECT INFORMATION

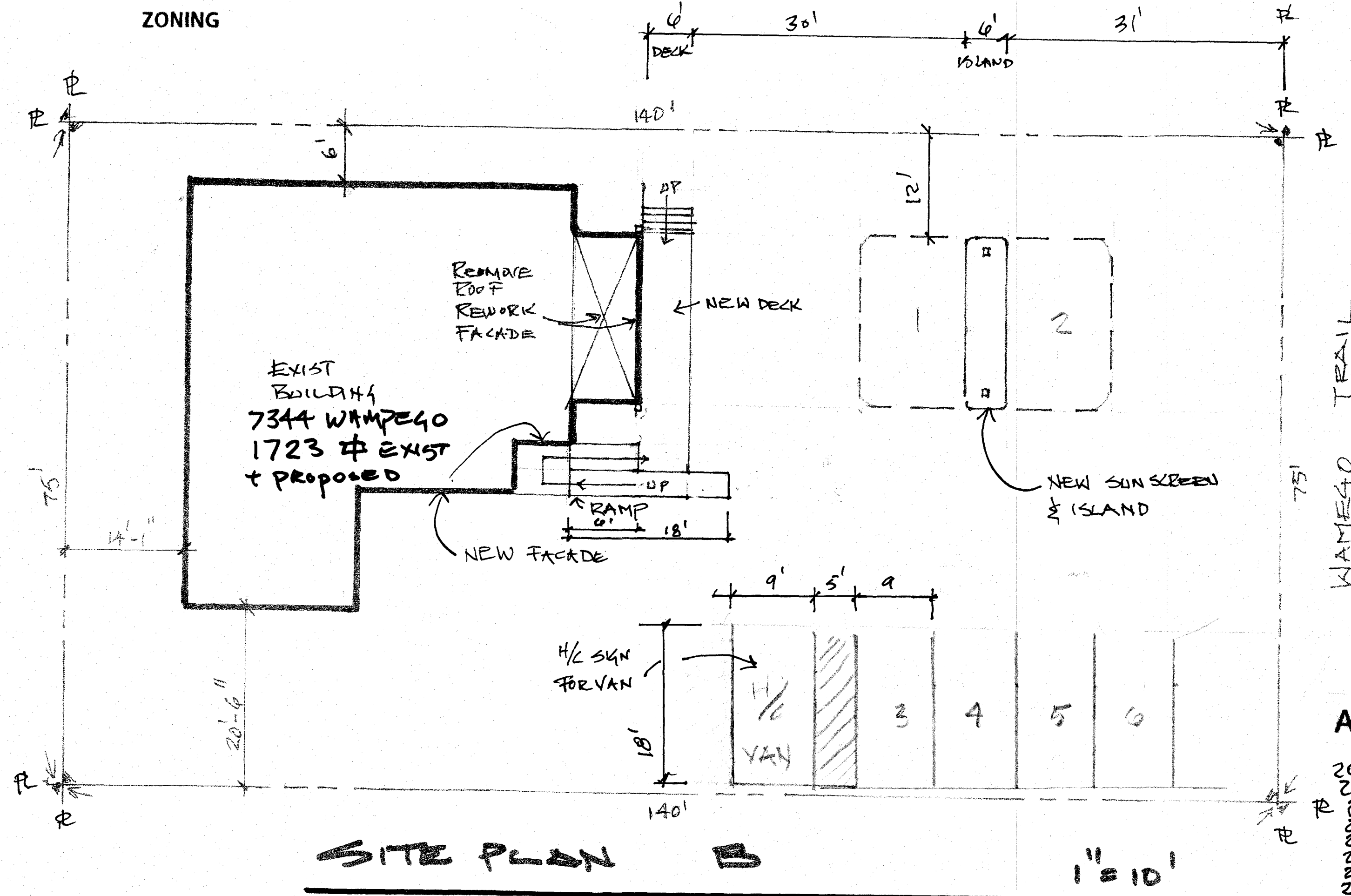
LEGAL DESCRIPTION / ADDRESS
 APN
 LOT AREA
 ZONING
 CONSTRUCTION TYPE V
 BUILDING HEIGHT MAX
 PARKING 4 SPACES 2 COVERED
 SETBACKS FRONT 25 SIDE 15 and 5 REAR 15

SHEET INDEX

A001 SITE PLAN
 A002 GENERAL NOTES

PROJECT TEAM

ARCHITECT CHRIS ALLEY LLP 858 775 3978
 STRUCTURE EZZA BANNON 858 777 8650
 OWNER
 ARCHITECT ADDRESS PO 518 SOLANA BEACH CA 92075
 ENGINEER ADDRESS 1643 Gth Ave #201 SAN DIEGO CA 92101

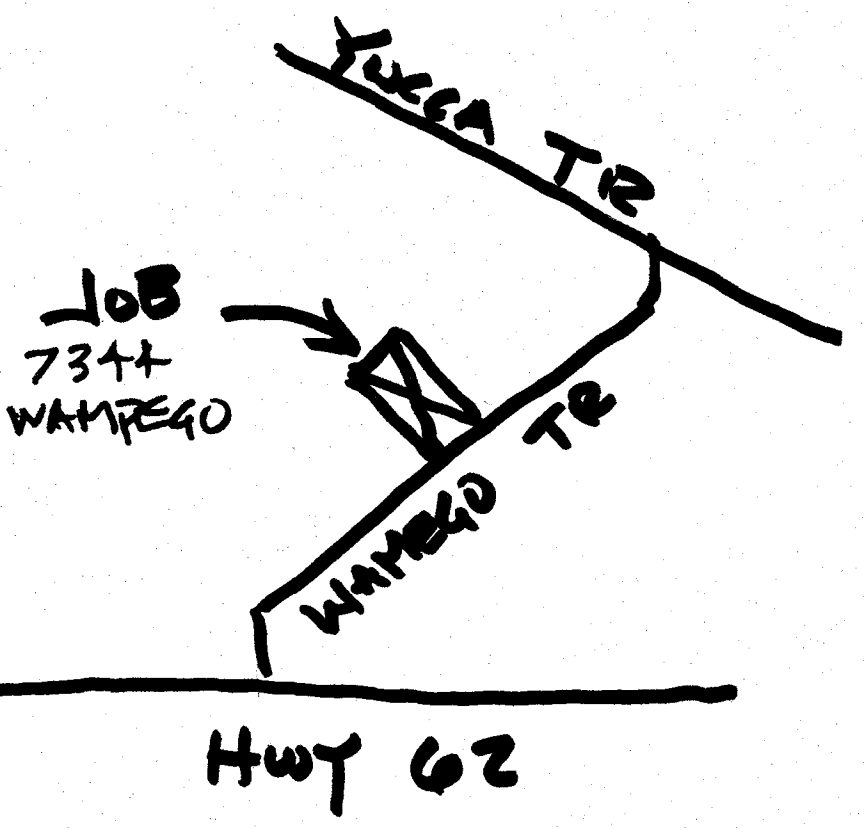


SCOPE OF WORK

- RENOVATE EXIST BUILDING
- REBUILD ENTRY SPACE W HIGH CEILING
- ADD TALLER PARAPET
- ADD NEW SUNSCREEN-AUTOS

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
- 2009 CALIFORNIA RESIDENTIAL CODE
- 2009 CALIFORNIA ELECTRICAL CODE
- 2009 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING CODE



NOTES - PROJECT ADDRESS 7344 WAMEGO TR YUCCA VALLEY

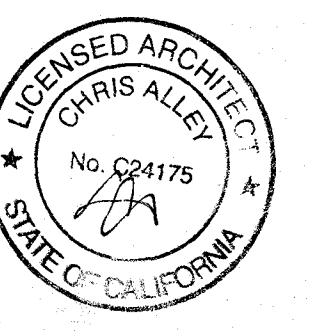
PROJECT APN 0586 331 03 0000

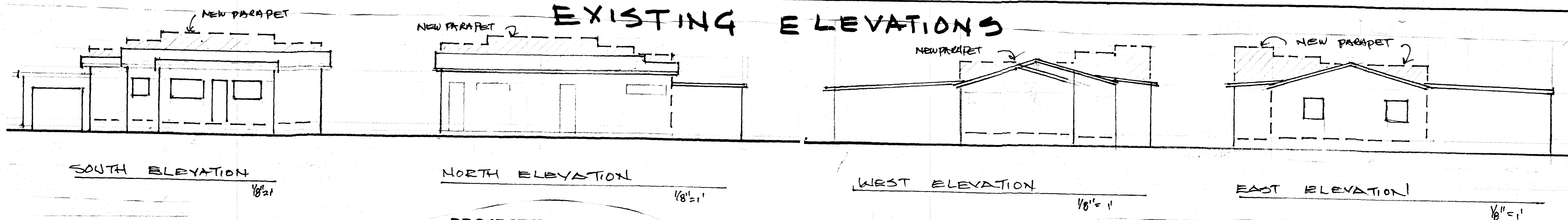
SCOPE OF WORK RENOVATE EXIST BUILDING FOR OFFICES

PROJECT NUMBER 2020-05

ACTION PUMPING INC 760 365 0861 PHONE
 7361 WAMEGO TRAIL YUCA VALLEY 92284
 HEATHER@ACTIONPUMPINGINC.COM

CHRIS ALLEY ARCHITECT LLP
 858 775 3978 CELL
 email ELYSAN@EMAIL.COM
 PO 518 SOLANA BEACH 92075





SITE PLAN NOTES

1. AVERAGE LOT SLOPE IS LESS THAN 5%.
2. A SOILS REPORT WILL NOT BE REQUIRED. SFD ADDITIONS, PATIOS, AND ACCESSORY BUILDINGS IF THE APPLICANT SIGNS THE CITY STAMP ON THE PLANS AGREEING TO SECURE A SOIL REPORT IF THE INSPECTOR DETECTS PROBLEMS.
3. PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3
4. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

PROJECT INFORMATION

LEGAL DESCRIPTION / ADDRESS

APN

LOT AREA

ZONING

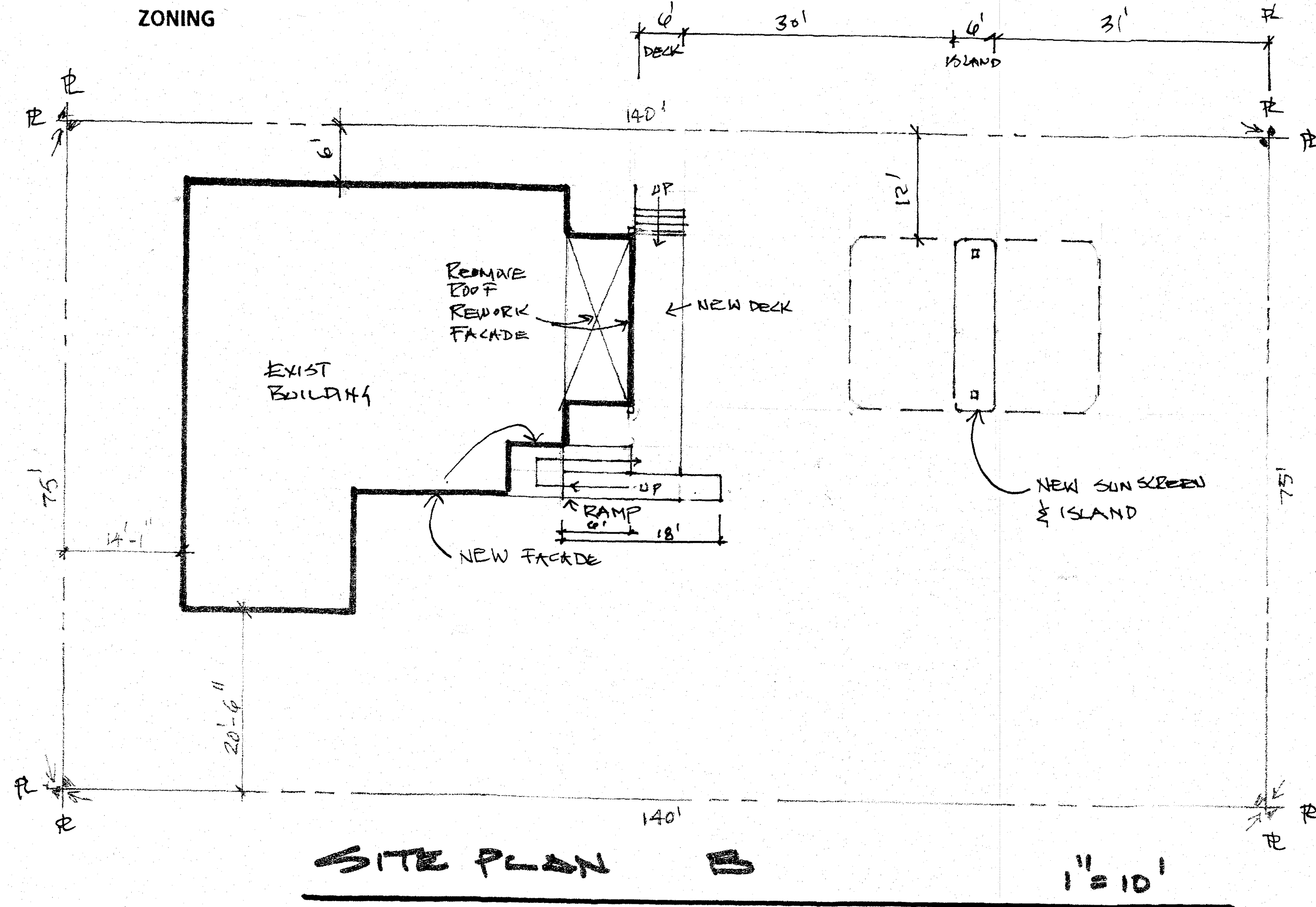
CONSTRUCTION TYPE V
 BUILDING HEIGHT MAX
 PARKING 4 SPACES 2 COVERED FIRE SPRINKLED YES
 SETBACKS FRONT 25 SIDE 15 and 5 REAR 15

SHEET INDEX

A001 SITE PLAN
 A002 GENERAL NOTES

PROJECT TEAM

ARCHITECT CHRIS ALLEY LLP 858 775 3978
 STRUCTURAL EZZA BANNON 858 777 8650
 OWNER
 ARCHITECT ADDRESS PO 518 SOLANA BEACH CA 92075
 ENGINEER ADDRESS 1043 4th AVE #201 SAN DIEGO CA 92101

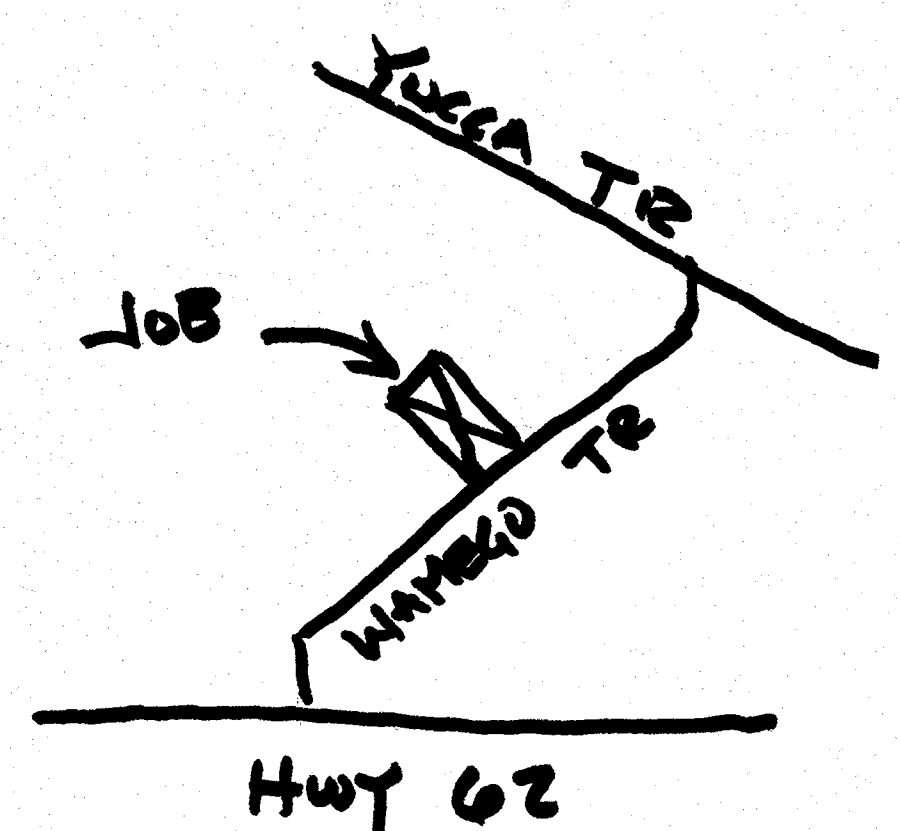


SCOPE OF WORK

- RENOVATE EXIST BUILDING
- REBUILD ENTRY SPACE W/ HIGH CEILING
- ADD TALLER PARAPET
- ADD NEW SUNSCREEN-AUTOS

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING CODE



NOTES - PROJECT ADDRESS 7361 WAMEGO TR YUCCA VALLEY

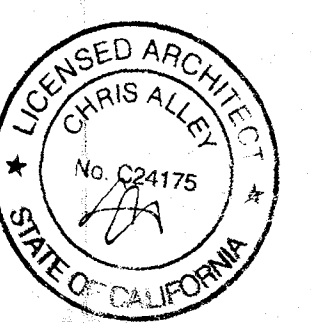
PROJECT APN 0586 331 03 0000

SCOPE OF WORK RENOVATE EXIST BUILDING FOR OFFICES

PROJECT NUMBER 2020-05

ACTION PUMPING INC 760 365 0861 PHONE
 7361 WAMEGO TRAIL YUCA VALEY 92284
 HEATHER@ACTIONPUMPINGINC.COM

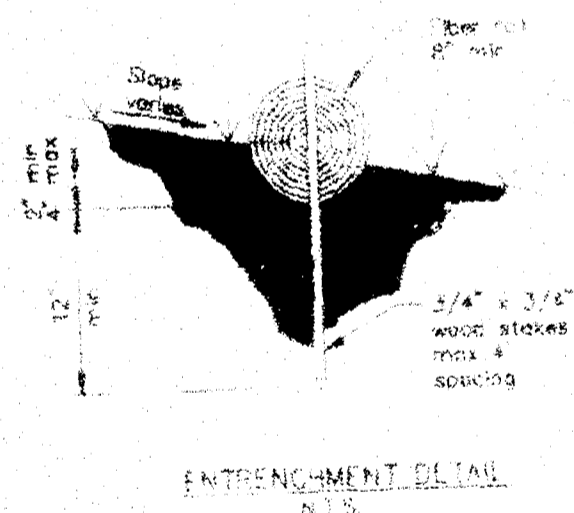
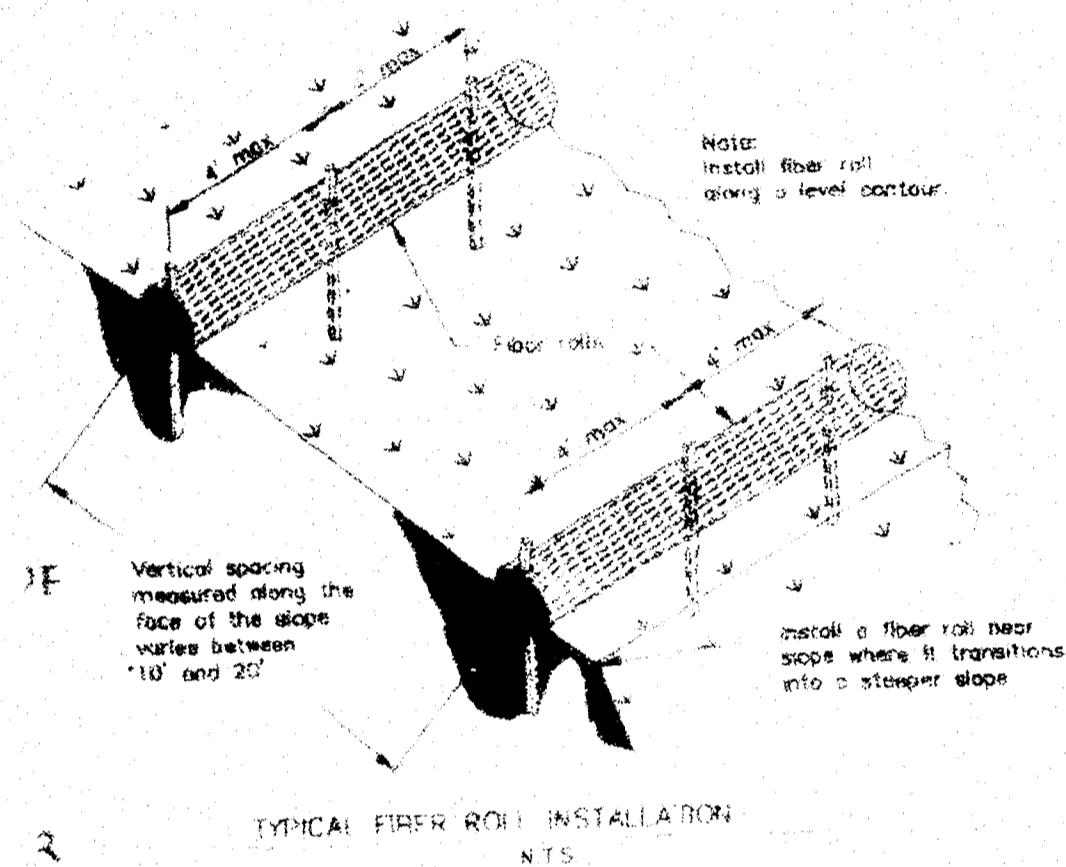
CHRIS ALLEY ARCHITECT LLP
 858 775 3978 CELL
 email ELYSIAN@EMAIL.COM
 PO 518 SOLANA BEACH 92075



GENERAL NOTES

1. Refer to accompanying Specifications which are to be used jointly with these drawings.
2. The information shown on these plans are Diagrammatic. The Contractor shall establish and verify all dimensions, openings and locations for inserts, etc. for Architectural, Mechanical, Electrical, Plumbing and associated work prior to fabrication and installation.
3. All beam bearing heights must be established and verified by the General Contractor prior to fabrication and installation.
4. If there is a conflict among Details, Specifications, or other contract Documents, the most restrictive Detail or Specification applies.
5. Detail references may be shown on one, or more than one, similar condition. Detail references are to be taken as typical for similar conditions to be constructed elsewhere, but not noted with a Detail reference.
6. Do not use scaled dimensions. Use written dimensions or grades. Where no dimension or grade is provided, verify with Architect for clarification before proceeding with the work.
7. The Contractor shall be responsible for verifying all dimensions, grades and conditions of this project. The Architect must be notified of any variations from the dimensions, grades and conditions shown on these drawings.
8. All materials and equipment furnished by Contractors shall be new and free from defects.
9. All products and materials shall be installed in accordance with the manufacturer's instructions unless otherwise specified.
10. Materials, equipment, etc., not indicated on drawings or specified, but required for successful and efficient completion of the installation shall be held to be implied and shall be furnished and installed at no additional cost to the Owner.
11. The Contractor shall be responsible to maintain the building and the site clean and provide any and all safety provisions to ensure the public's safety.
12. Damaged work must be replaced at no additional cost to the Owner.
13. Architect reserves the right to direct removal and reinstallation of work which does not, in the opinion of the Architect, maintain standards and workmanship of a craft.
14. Shop drawings are to compliment and supplement construction documents. When conflicting information is provided in Shop Drawings and Construction Documents, verify w/ Architect prior to fabrication. Review of Shop Drawings by Architect Does not relieve Contractor of responsibility for conformance with Construction Documents.
15. Care is required to preserve existing vegetation. Vegetation may not be removed or destroyed without expressed written consent and instructions of the Owner or Architect. Contractor shall use caution when trenching across site not to damage significant vegetation and roots. Contractor shall layout proposed routing of underground utilities and building footprint prior to trenching for Owner approval.
16. These plans and all work shall comply with the California Building Standards Code found in State of California Title 24 CCR as amended and adopted.
17. Please recycle demolition and construction waste. Ask about possible dump sites.
18. The Contractor shall comply with all OSHA requirements.
19. Tempered glass shall be permanently identified and visible when the unit is glazed.
20. Any necessary grading shall be accomplished in a manner consistent with procedures detailed in the grading, erosion, and sediment control ordinance.
21. Grading and vegetation removal shall be limited to the minimum necessary in order to reduce erosion and sedimentation to the maximum extent possible.
22. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties.
23. Sustained light standards shall not exceed one-half (0.5) foot-candle at the landscaping shall consist predominantly of trees, shrubs, ground cover, and decorative rocks, except for necessary walks, drives and fences.
24. All landscaping shall be maintained in a healthy and thriving condition.
25. All landscaping shall protect or preserve views.

28. When more than one smoke alarm or carbon monoxide alarm is required to be installed, the alarm devices shall be interconnected such that the activation of one alarm will activate all.
29. Electrical receptacle outlet locations shall comply with CEC Article 210.52(A).
30. Electrical receptacle outlets shall be as follows: a) Tamper resistant receptacles in all locations (NEC Art. 210.52); b) Weather resistant type for receptacles installed in damp or wet locations (outside); c) Arc-fault protection for all outlets (not just receptacles) located in rooms described in NEC 210.12(B): Family, Living, bedrooms, dining, halls, etc.; d) GFCI protected outlets in locations described in NEC 210.8: Garages, outdoors, etc.
31. Bathroom circuiting shall be either: a) A 20 ampere circuit dedicated to each bathroom, or b) at least one 20 ampere circuit supplying only bathroom receptacle outlets.



ADDITIONAL GENERAL NOTES FOR GRADING/EROSION CONTROL PLANS

- Any slopes with disturbed soils or removal of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Materials and other materials may not be tossed from the site by vehicle traffic. The construction contractor shall be held responsible to inhibit materials from being deposited into the public way. Authorized dumpsites must be exempt or immediately and may not be worked down by site or other means.
- Construction sites shall be stabilized by implementation of Best Management Practices (BMPs) to such a manner that pollutants are not discharged from the site to the maximum extent practicable.
- Sediment and other pollutants must be retained on site and may not be transported from the site via discharge, runoff, run down, natural drainage or wind.
- Sediment of earth and other construction related materials must be protected from being transported from the site by the forces of wind and water.
- Tools, silt, sediment and other debris materials must be stored in accordance with their labeling and use not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed in a proper manner. Spills may not be washed into the drainage system.
- Runoff or waste materials may not be washed into the public right-of-way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- All non-stormwater discharges, unless accepted or authorized by an NPDES permit require prior approval by the State Water Resources Control Board.
- Tools and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of water and disposed by wind.

In lieu of the required soils report, where the ground slope is less than 5:1, structural concrete foundations may be designed in accordance with the requirements set forth as follows:

General Requirements

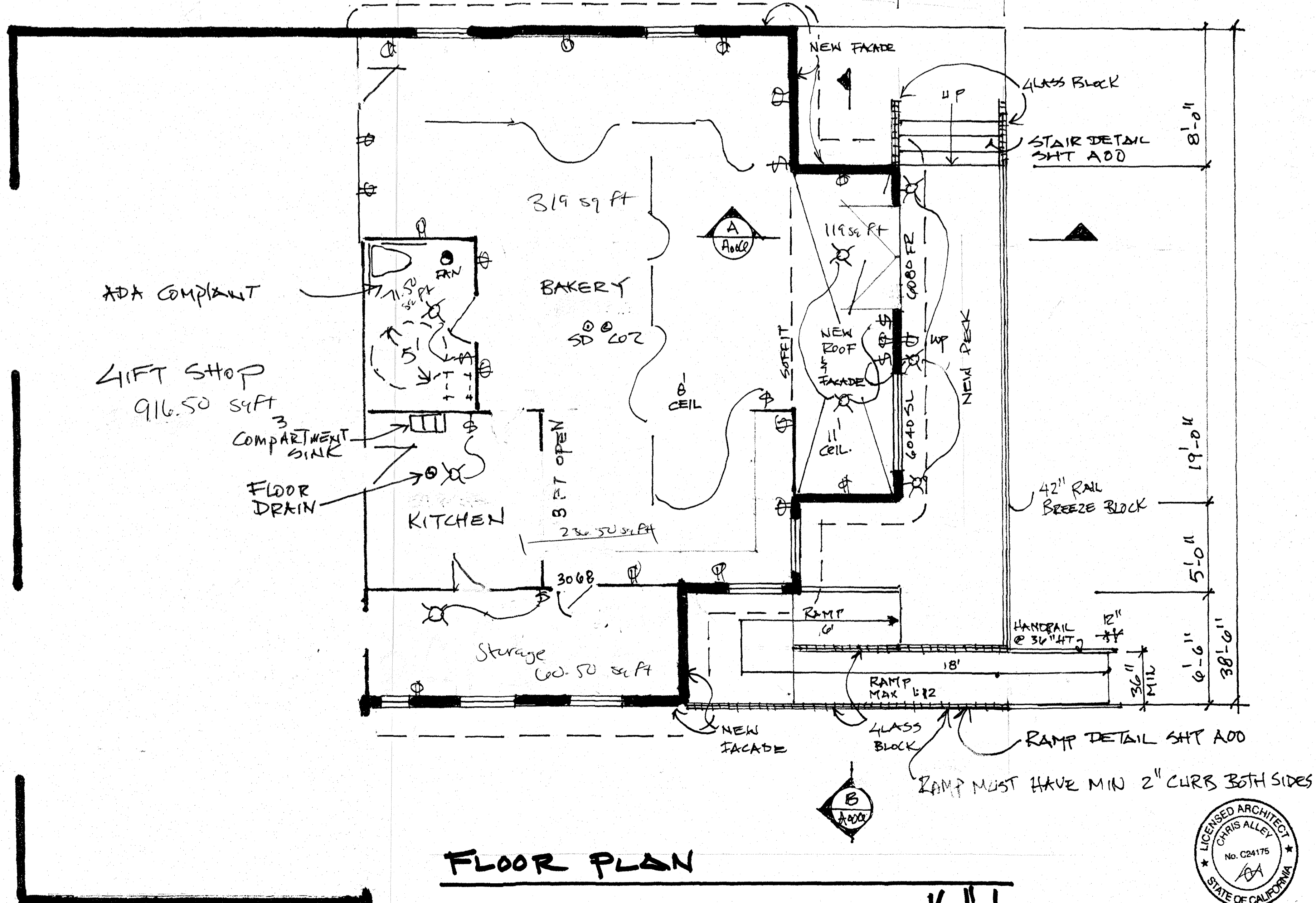
- A. All exterior walls and interior bearing walls shall be supported on continuous footings.
- B. The minimum depth of footings below the natural and finish grade shall be 24 inches for the exterior and 18 inches for the interior footings.
- C. The minimum width of footings shall be 12 inches for supporting 1-story building or 15 inches for supporting 2-story building.
- D. Footings shall be reinforced with four continuous #4 reinforcing steel bars. Two bars shall be placed within 4 inches from the bottom of the footings and two bars placed within 4 inches from the top of the footings with a minimum concrete cover per ACI 318 Section 7.7.1.
- E. Drainage adjacent to footings shall be directed away from the structure by sloped finish grade at least 2 percent for a distance of 5 feet.

Slab-On-Grade Foundation

- F. Concrete slabs on grade shall have a thickness of at least 4 inches with #4 reinforcing steel bars placed at mid-slab and spaced at intervals not exceeding 16 inches each way. Slabs shall be placed on a 4-inch coarse aggregate or a 2-inch clean sand over a vapor barrier membrane of minimum 5-mil thickness.
- G. The soil below interior concrete slabs shall be pre-saturated to a depth of 18 inches prior to pouring the concrete.
- H. #4 dowels spaced at 16 inches, bent at 90 degrees, and extended 2 feet into the slab and 2 foot into the footing shall be provided.
Exception: Dowels may be omitted if slabs and footings are poured monolithically.

GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL CODE 2016 AND ASSOCIATED AMENDMENTS IN SAN BERNARDINO COUNTY AND THE 2016 CALIFORNIA BUILDING CODE (CBC) FOR THE NON-CONVENTIONAL FRAMING STRUCTURAL PROVISIONS.
2. A. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.
B. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OR WORK.
3. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DIMENSIONS ARE TO FACE OF STUD OR SLAB UNLESS NOTED OTHERWISE ON DRAWINGS.
4. ALL LARGER SCALE DRAWING AND DETAILS SHALL TAKE PRECEDENCE OVER THOSE OF SMALLER SCALE.
5. THE STRUCTURE WILL BE LOCATED ENTIRELY ON NATIVE/ UNDISTURBED SOIL.

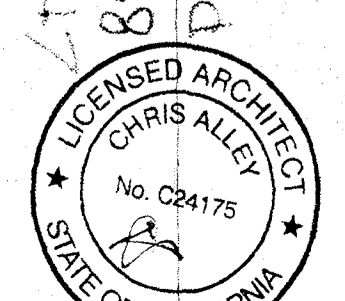
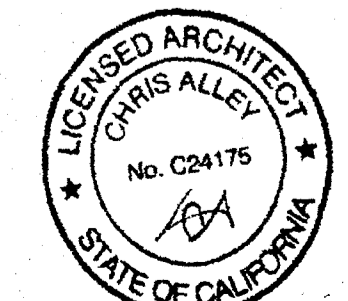


FLOOR PLAN

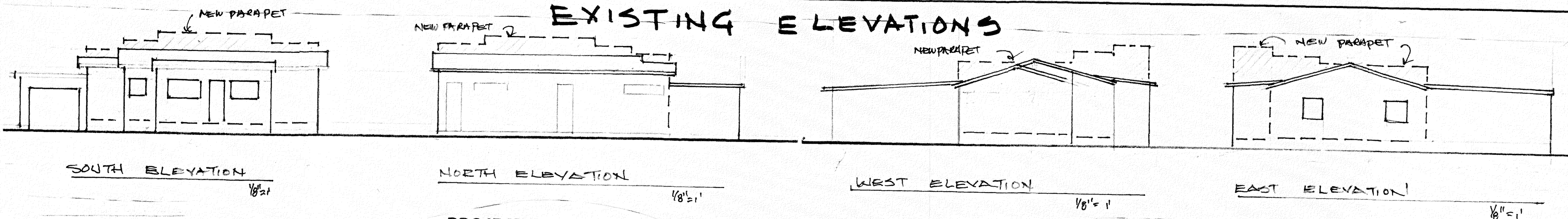
1/4" = 1'

ACTION PUMPING INC 760 365 0861 PHONE
7361 WAMEGO TRAIL YUCA VALEY 92284
HEATHER@ACTIONPUMPINC.COM

CHRIS ALLEY ARCHITECT
858 775 3978 chryssian@email.com
PO BOX 518 SOLANA BEACH CA 92075



12.7.2020



SITE PLAN NOTES

1. AVERAGE LOT SLOPE IS LESS THAN 5%.
2. A SOILS REPORT WILL NOT BE REQUIRED FOR SFD ADDITIONS, PATIOS, AND ACCESSORY BUILDINGS IF THE APPLICANT SIGNS THE CITY STAMP ON THE PLANS AGREEING TO SECURE A SOIL REPORT IF THE INSPECTOR DETECTS PROBLEMS.
3. PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3
4. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2016 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

PROJECT INFORMATION

LEGAL DESCRIPTION / ADDRESS

APN

LOT AREA

ZONING

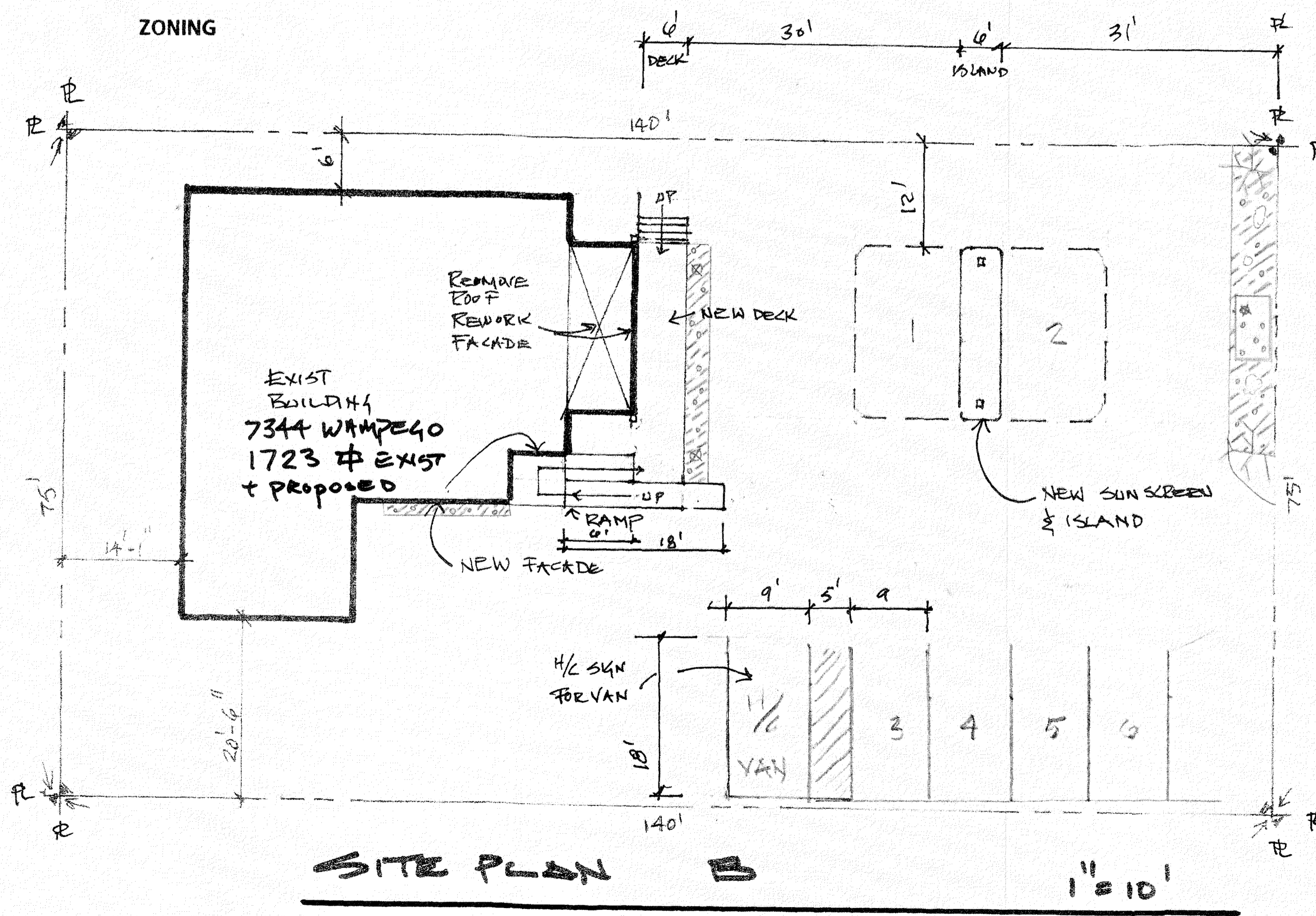
CONSTRUCTION TYPE V
 BUILDING HEIGHT MAX
 PARKING 4 SPACES 2 COVERED
 SETBACKS FRONT 25 SIDE 15 and 5 REAR 15

SHEET INDEX

- A001 SITE PLAN
- A002 GENERAL NOTES

PROJECT TEAM

ARCHITECT CHRIS ALLEY LLP 858 775 3978
 STRUCTURAL EZZA BANNON 858 777 8650
 OWNER
 ARCHITECT ADDRESS PO 518 SOLANA BEACH CA 92075
 ENGINEER ADDRESS 1643 6th Ave #201 SAN DIEGO CA 92101



SCOPE OF WORK

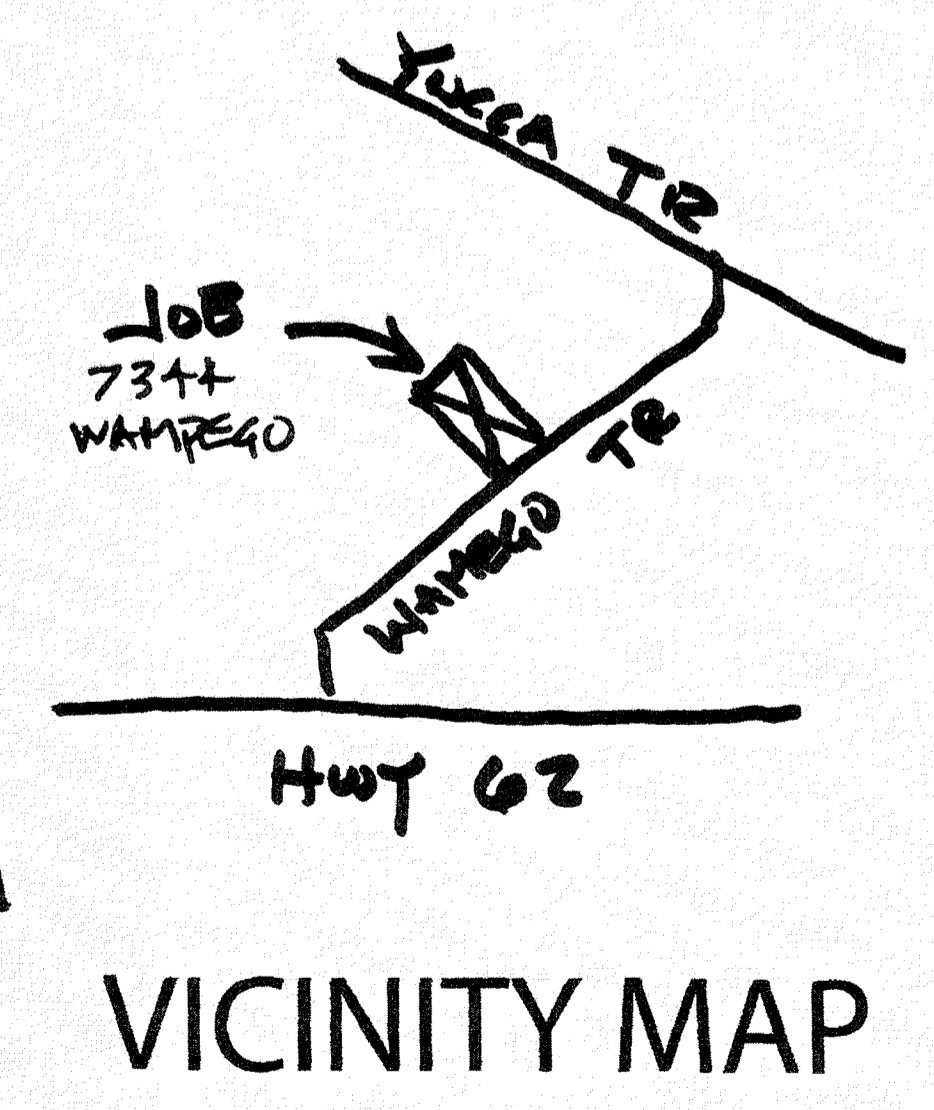
- RENOVATE EXIST BUILDING
- REBUILD ENTRY SPACE W HIGH CEILING
- ADD TALLER PARAPET
- ADD NEW SUNSCREEN-AUTOS

LANDSCAPE LEGEND

- ⊗ = potted plants
- = BARREL CACTUS
- ☼ = DESERT WILLOW
- = RAISED CACTUS BED
- ▨ = DESERT GOLD PEA GRAVEL
- = SMALL TAN BOULDERS

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING CODE



NOTES - PROJECT ADDRESS **7344 WAMEGO TR YUCCA VALLEY**

PROJECT APN **0586 331 03 0000**

SCOPE OF WORK **RENOVATE EXIST BUILDING FOR OFFICES**

PROJECT NUMBER **2020-05**

ACTION PUMPING INC 760 365 0861 PHONE
 7361 WAMEGO TRAIL YUCA VALEY 92284
 HEATHER@ACTIONPUMPINGINC.COM

CHRIS ALLEY ARCHITECT LLP
 858 775 3978 CELL
 email ELYAN@EMAIL.COM
 PO 518 SOLANA BEACH 92075

