

SOUTHWEST EL SOL INVESTMENT LLC, 7250 PALO ALTO AVE PROJECT

APN:0595-282-03-0000, YUCCA VALLEY, CA 92284



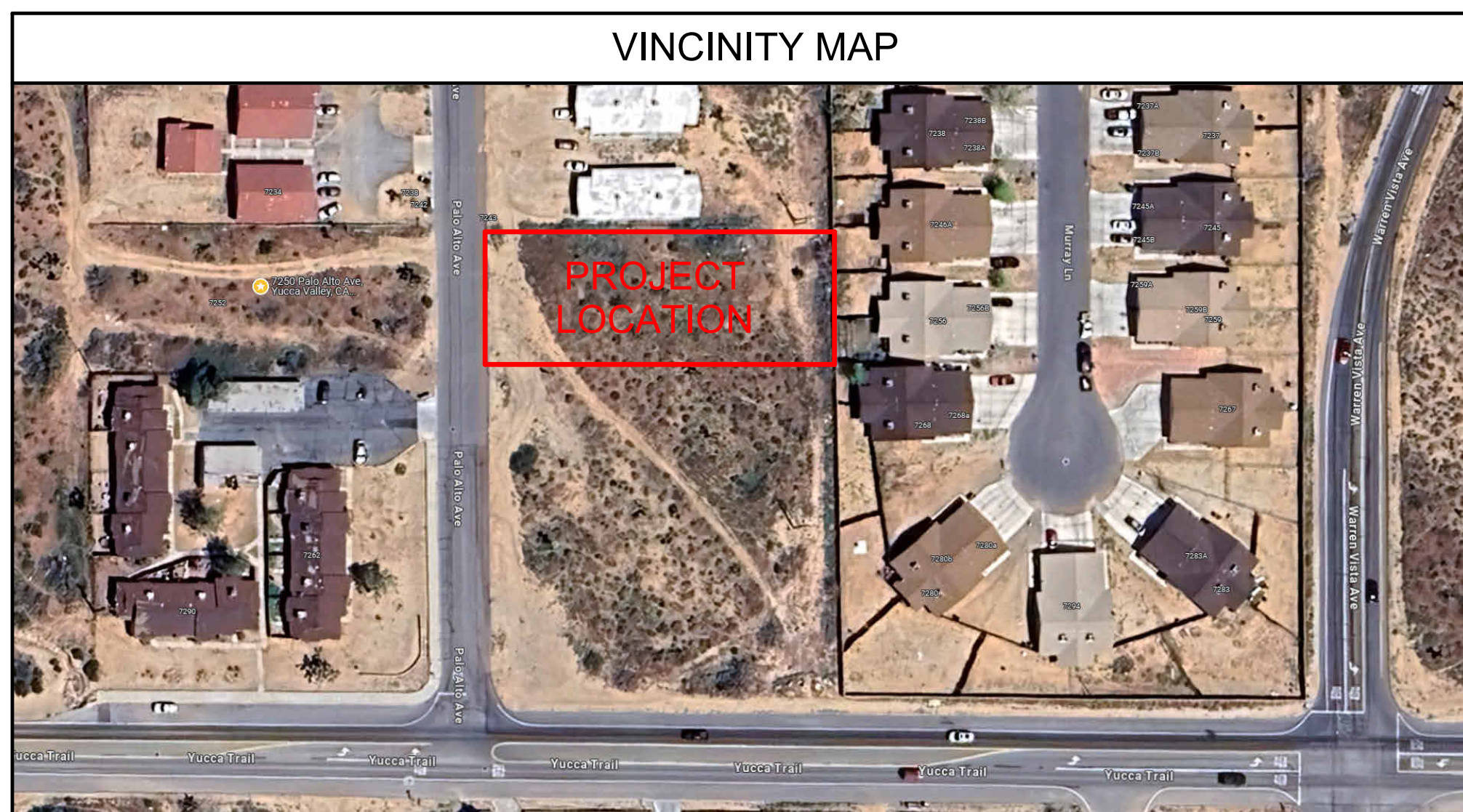
7250 PALO ALTO AVE PROJECT
APN:0595-282-03-0000, YUCCA VALLEY, CA 92284
SOUTHWEST EL SOL INVESTMENT LLC,

SCOPE OF WORKS
NEW MULTI FAMILY RESIDENTS. WITH TOWN SEWER SYSTEM CONNECTION.

AREA CALCULATIONS	
NEW CONSTRUCTION	3900 SQ.FT.
PATIOS	660 SQ.FT.
GARAGES	1224 SQ.FT.
TOTAL	5784 SQ.FT.
LOT SIZE	22000 SQ.FT.
LOT COVERAGE.	26.34%

LEGAL DESCRIPTION	
APN#:	0595-282-03-0000
OWNER:	SOUTHWEST EL SOL INVESTMENT LLC,
PHONE:	323 363 93 60
MAILING ADDRESS:	7250 PALO ALTO AVE YUCCA VALLEY, CA92284
FIRE SPRINKLERS:	TO BE INSTALLED
NEW ROOMS:	(8) BEDROOMS (8) BATH (4)LIVINGROOM (4) KITCHEN

BUILDINGS CODES	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:	
2024 CALIFORNIA BUILDING CODE	
2024 CALIFORNIA RESIDENTIAL CODE	
2024 CALIFORNIA MECHANICAL CODE	
2024 CALIFORNIA PLUMBING CODE	
2024 CALIFORNIA ELECTRICAL CODE	
2024 CALIFORNIA ENERGY CODE	
2024 CALIFORNIA BUILDING STANDARDS ADMIN CODE	
2024 CALIFORNIA GREEN BUILDING STANDARDS CODE	



ENVIRONMENTAL NOTICE
THE ISSUANCE OF THIS PERMIT DOESN'T GRANT THE PERMISSION TO DISTURB OR TAKE ANY SENSITIVE, THREATENED OR ENDANGERED SPECIES & THEIR HABITAT OR RELIEVE THE PROPERTY OWNER OF RESPONSIBILITY TO COMPLY W/ FEDERAL & STATE ENDANGERED SPECIES ACTS. CONTACT THE PLANNING DIVISION FOR MORE INFORMATION.

BUILDING DEPARTMENT NOTES
GENERAL CONTRACTORS &/OR OWNER-BUILDERS SHALL SUBMIT A COMPLETED SUB-CONTRACTOR'S LIST TO THE S LIST TO THE BUILDING & SAFETY DEPARTMENT PRIOR TO REQUESTING A FINAL INSPECTION PER SB COUNTY ORDINANCE. ABSOLUTELY NO SUB-CONTRACTOR'S LISTS WILL BE S LISTS WILL BE ACCEPTED UNLESS ALL REQUIRED INFORMATION IS PROVIDED ON THE APPROPRIATE FORM. FOLLOWING GREEN BUILDING CODE, ALL BUILDING MATERIAL(BARCODES,COLOR,ETC.) AND EQUIPMENT MUST BE COLLECTED AND SAVED ON HARD COPY FOR FUTURE OWNERS OF THE PROPERTY.

SHEET INDEX
1. TITLE SHEET
2. SITE PLAN
3. UTILITY PLAN
4. FLOOR PLAN MODEL A
5. FLOOR PLAN MODEL B
6. FLOOR PLAN MODEL A+B / A+A
7. ELEVATION MODEL A
8. ELEVATION MODEL B
9. ELEVATION MODEL A+B / A+A
10. PLANTS PLAN

NEW CONSTRUCTION:

TITLE

DRAWING NO.
1
SCALE: -

SOUTHWEST EL SOL INVESTMENT LLC, 7250 PALO ALTO AVE PROJECT

APN:0595-282-03-0000, YUCCA VALLEY, CA 92284



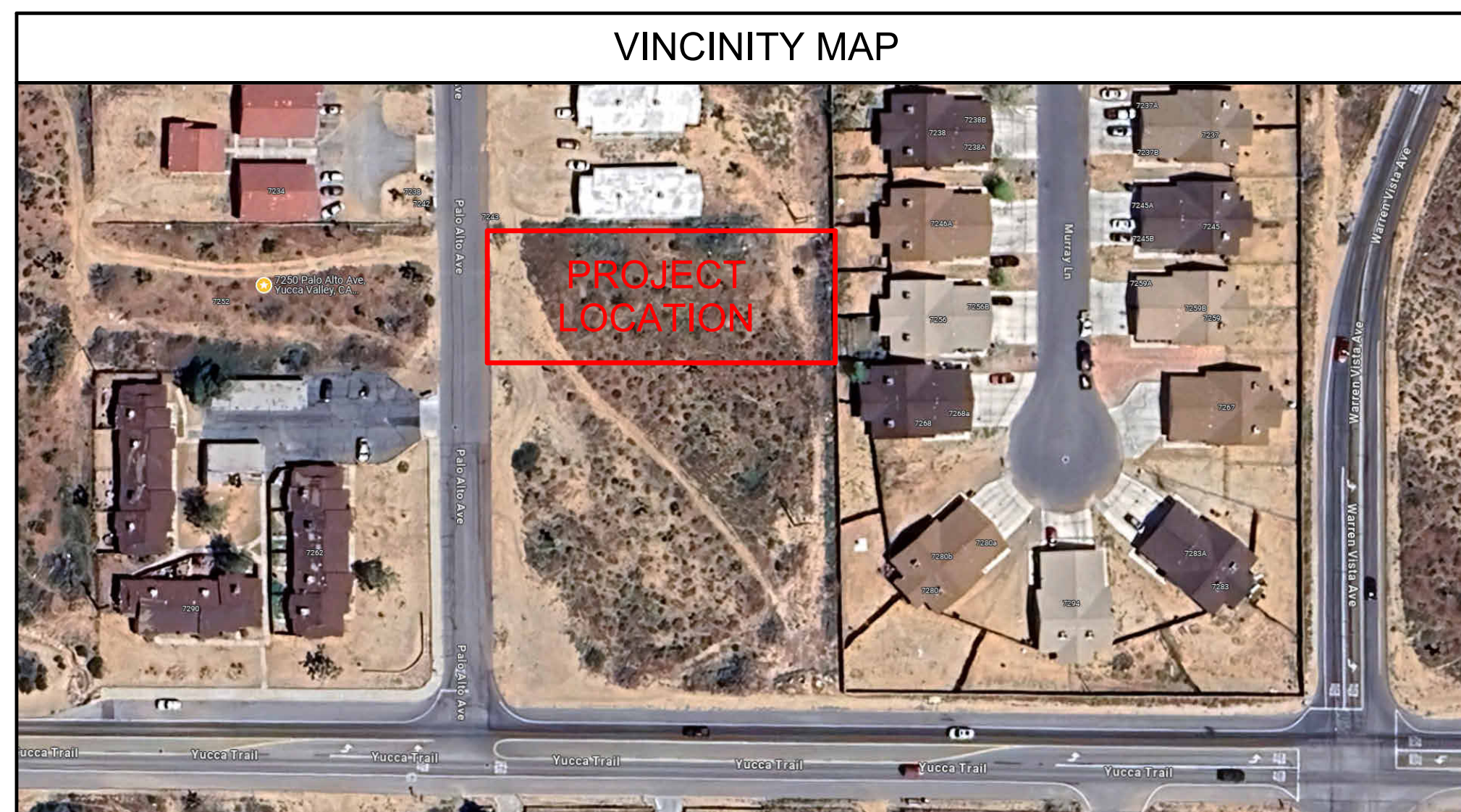
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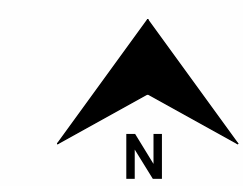
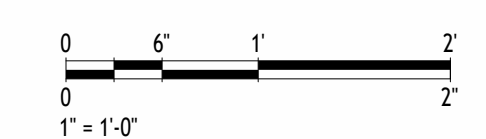
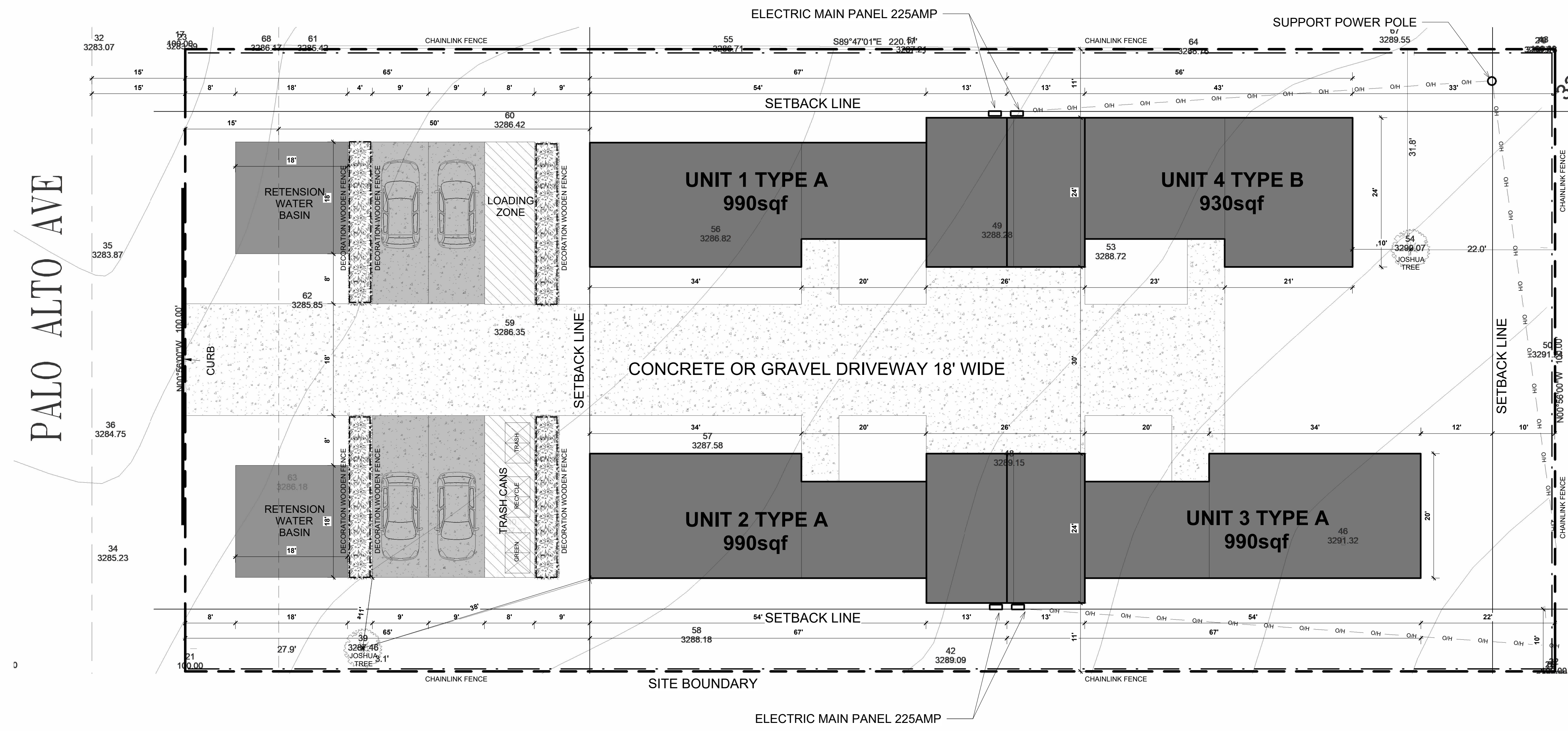
NEW CONSTRUCTION:

SITE PLANS

DRAWING NO.

2

SCALE: 1" = 10'



PLANT DISPOSAL
1. EXISTING ADDRESS # TO REMAIN UNTOUCHED BUT WILL CONFORM W/ THE FOLLOWING CODES.
2. BUILDING SHALL HAVE ADDRESS #S PLACED IN A POSITION THAT IS PLAINLY LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
3. #S SHALL CONTRAST THE BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS & BE A MIN OD 4" HIGH W/A MIN STROKE OD 1/2". (R319.1 CRC)

LAND NOTES
NO MORE THAN 8 YARDS OF DIRT WILL BE MOVED. AREAS WILL BE DRIVE WAY LEVELING. AREA FOR NEW HOUSE AND AREA FOR NEW GARAGE. DIRT OF WATER BASIN WILL BE REUSED ON LAND OR REMOVED.

WATER BASIN
NEW COVERED BUILDINGS: 5,136 SQ.FT.
FORMULA: $V = 5CF \times A$ (A=SQUARE FOOT OF BUILDINGS)
$V = 5 \times 5,136$ $V = 25,680$
WATER BASIN: $2 \times (18FT \times 18FT \times 3FT) = 1944CF$

EROSION CONTROL
SEE ATTACHED 11X17 EROSION CONTROL SHEET. OBLIGE BY #S 5 & 7.

LEGEND	
	STREET CENTERLINES
	PROPERTY LINE
	SETBACK
	OVERHEAD POWER LINES
	EASEMENT LINES
	CURB
	CHAINLINK FENCE
	DECORATION WOODEN FENCE
	JOSHUA TREES
	SUPPORT POWER POLE

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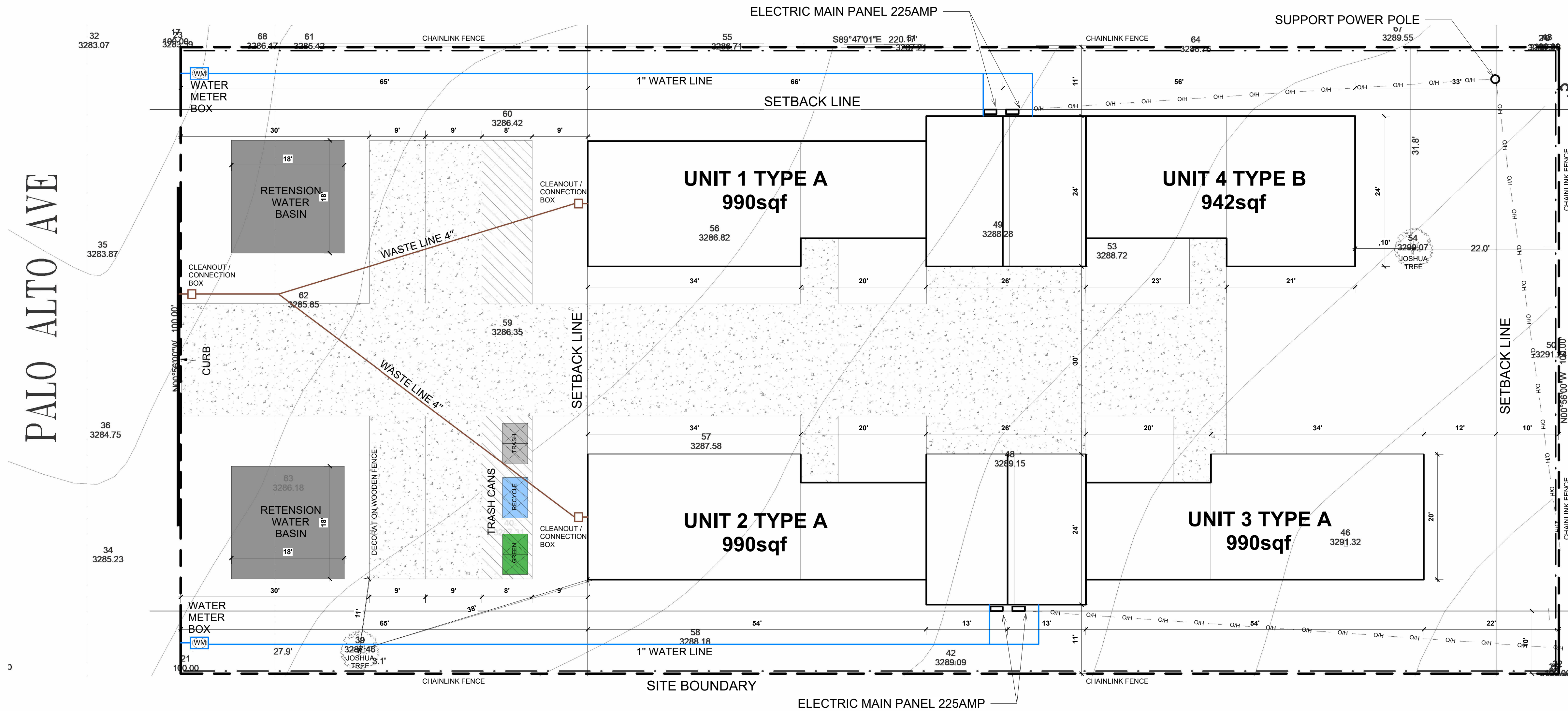
NEW CONSTRUCTION:

UTILITY PLAN

DRAWING NO.

3

SCALE: 1" = 10'



UTILITY SERVICES	
#TRASH CANS size:1/1.5cy	EACH PROPERTY IS ALLOWED UP TO 2 CUBIC YARDS PER DWELLING UNIT (PLUS OTHER ITEMS SUCH AS FURNITURE, MATTRESS, APPLIANCES, TIRES, ELECTRONIC). MAXIMUM OF 12 COLLECTIONS PER YEAR, AND NO MORE THAN 3 PER QUARTER. MAXIMUM TIME ON SITE FOR ROLL-OFF IS 3 DAYS (IN ORDER TO MINIMIZE ILLEGAL DUMPING)
#SEWER LINES-	CONNECTED WITH A STREET SYSTEM, 4" WASTE LINES.
#WATER LINES-	CONNECTED TO THE WATER METERS, 1" WATER LINES FOR 2 UNITS
#EDISON POWER-	CONNECTED TO THE POWER POLE BY SC EDISON.

WATER BASIN	
NEW COVERED BUILDINGS:	5,136 SQ.FT.
FORMULA:	$V = 5CF \times A$ (A=SQUARE FOOT OF BUILDINGS)
	$V = 5 \times 5,136$ $V = 25,680$
WATER BASIN:	2x(18FTx18FTx3FT)=1944CF

LEGEND	
	STREET CENTERLINES
	PROPERTY LINE
	SETBACK
	OVERHEAD POWER LINES
	EASEMENT LINES
	CURB
	CHAINLINK FENCE
	DECORATION WOODEN FENCE
	JOSHUA TREES
	SUPPORT POWER POLE
	WATER METER BOX
	WASTE LINE
	WATER LINE

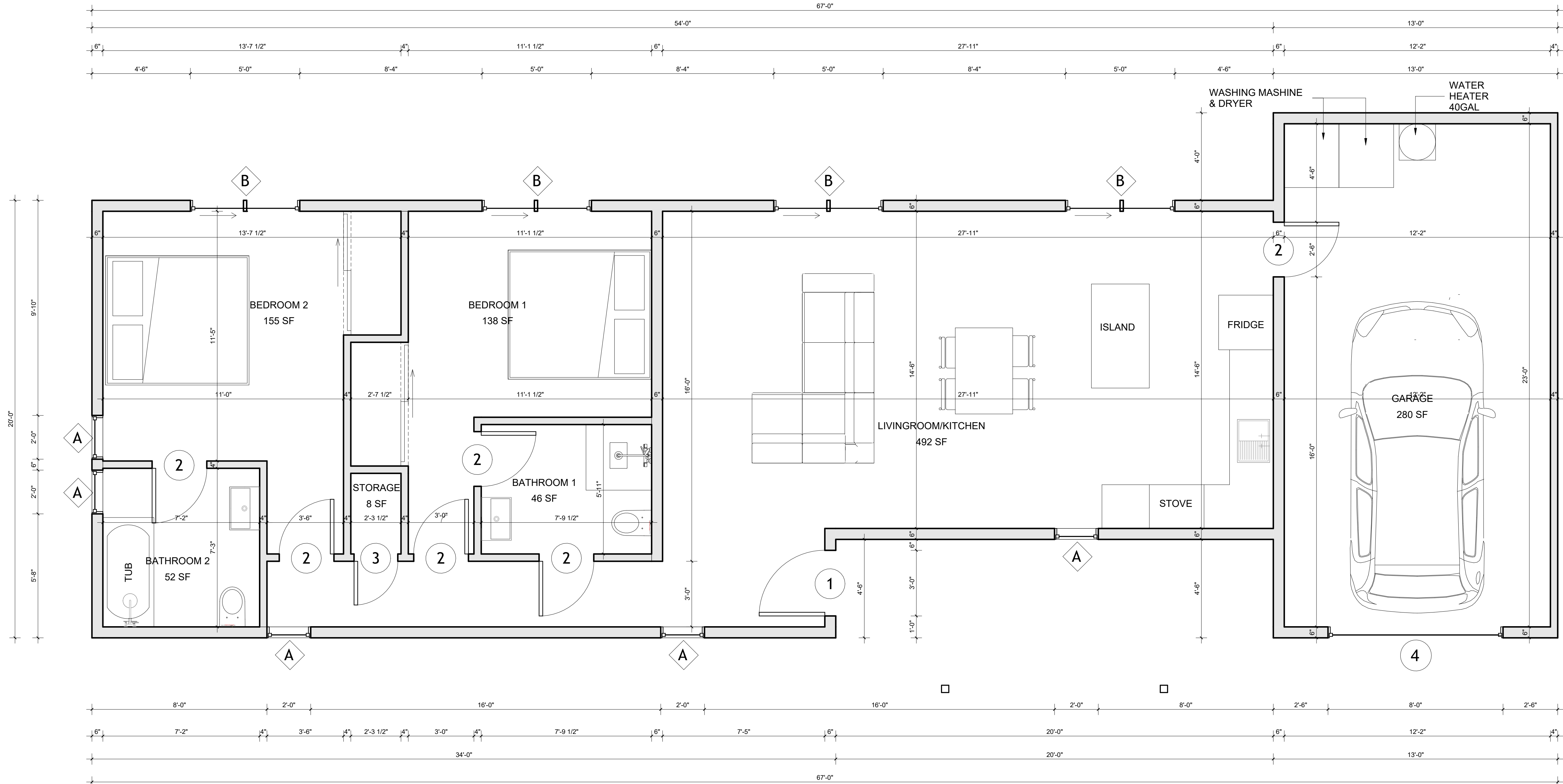
NEW CONSTRUCTION:

FLOOR PLAN MODEL A

DRAWING NO.

4

SCALE: 3/8" = 1'0"



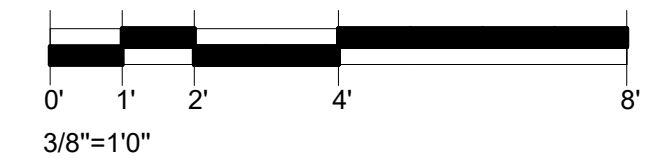
DOOR SCHEDULE								
TAG	QTY.	SIZE	TYPE	SWING	MATERIAL	FINISH	TEMP. GLASS	HEADER
1	1	3068	HOLOW	IN/L	MATERIAL	WOOD	TEMP. GLASS	6"X6"
2	6	2568	TYPE	IN/L	MATERIAL	WOOD	TEMP. GLASS	4"X4"
3	1	2068	TYPE	IN/L	MATERIAL	WOOD	TEMP. GLASS	4"X4"
4	1	7080	TYPE	UP	MATERIAL	WOOD	METAL	6"X8"

WINDOW SCHEDULE								
TAG	QTY.	SIZE	TYPE	MATERIAL	FINISH	GLASS	TEMP.	HEADER
A	5	2050	XO	VINYL	WOOD	✓	NO	6"X6"
B	4	5068	XO	VINYL	WOOD	✓	NO	6"X6"

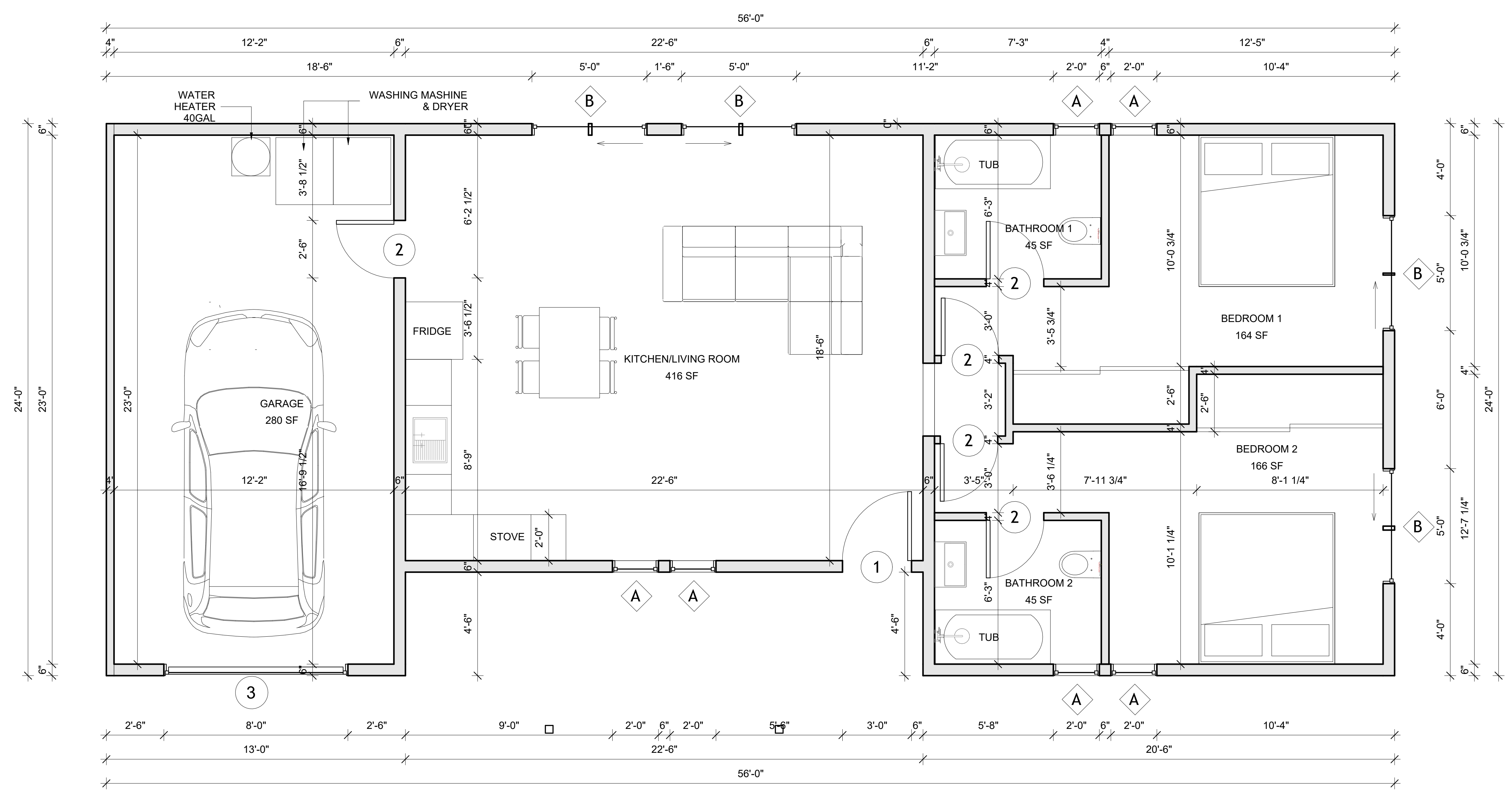
POTABLE WATER SYSTEMS
1. ALL WATER SYSTEMS WILL BE BEX PIPES.
2. ALL WASTE WATER PIPES WILL BE ABS.

FRAMING NOTES
1. EXT. WALLS WILL BE AT 2X6 & INT. WALLS WILL BE AT 2X4 WOOD STUDS @ 16" O/C.
2. CONFIRM ALL SILL HEIGHTS W/OWNERS & DESIGNER.
3. EXT. WALL WILL HAVE R21 INSULATIONS AND INT. WALLS WILL HAVE R15 INSULATION
4. TYP. SILL HEIGHTS @ 2'-8". CONFIRM W/OWNERS AND DESIGNER.

PLUMBING NOTES
1. ALL WATER CLOSETS SHALL NOT EXCEED 1.28GAL PER FLUSH.
2. SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF 2.0GAL PER MINUTE @ 80PSI
3. LAVATORY FAUCETS SHALL NOT EXCEED 1.5GAL PER MINUTE @ 60PSI
4. KITCHEN FAUCETS SHALL NOT EXCEED 1.8GAL PER MINUTE @ 60PSI
5. SHOWER FLOORS & WALLS SHALL BE FINISHED W/A NONABSORBENT SURFACE TO A HEIGHT OF 6'-8" ABOVE THE FLOOR. (R307.2 CRC)
6. EFFECTIVE JAN 1, 2014, SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 W/WATER-CONSERVING PLUMBING FIXTURES.
7. HOT-MOPPED SHOWER PAN SHALL BE INSPECTED UPON COMPLETION OF HOT-MOPPING & SHALL BE FILLED WITH WATER FOR INSPECTION. (CPC 411.8.1)
8. MECHANICAL EQUIPMENT SUPPORTED DIRECTLY BY THE GROUND HSALL BE ISOLATED FROM THE GROUND BY A LEVEL CONCRETE SLAB EXTENDING NOT < 3" ABOVE THE ADJOINING GROUND LEVEL. (CMC 1106.2)



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TAG	QTY.	SIZE	TYPE	MATERIAL	FINISH	GLASS	TEMP.	HEADER
A	6	2050	XO	VINYL	WOOD	✓	NO	6"X6"
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POTABLE WATER SYSTEMS

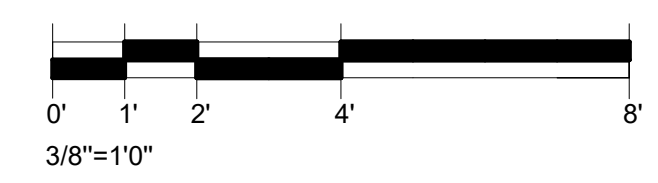
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NEWMEADINSURTECH.COM

FLOOR PLAN MODEL B

DRAWING NO.
5
SCALE: 3/8" = 1'0"

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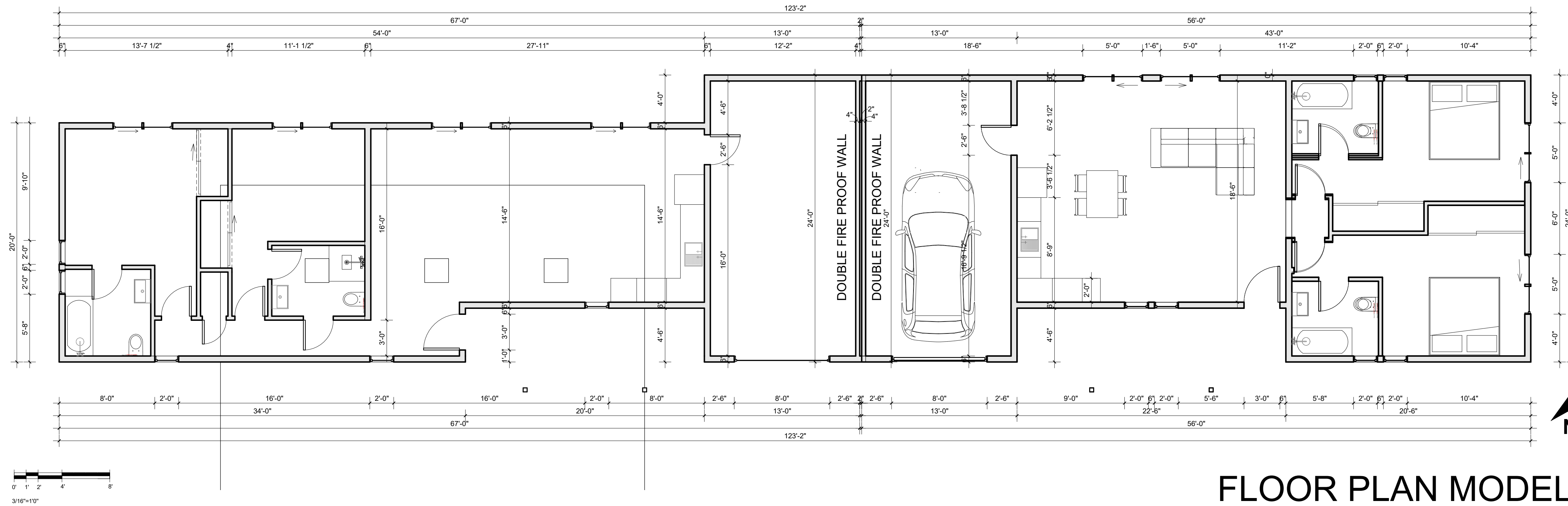
NEW CONSTRUCTION:

FLOOR PLAN
MODEL A+B
&
MODEL A+A

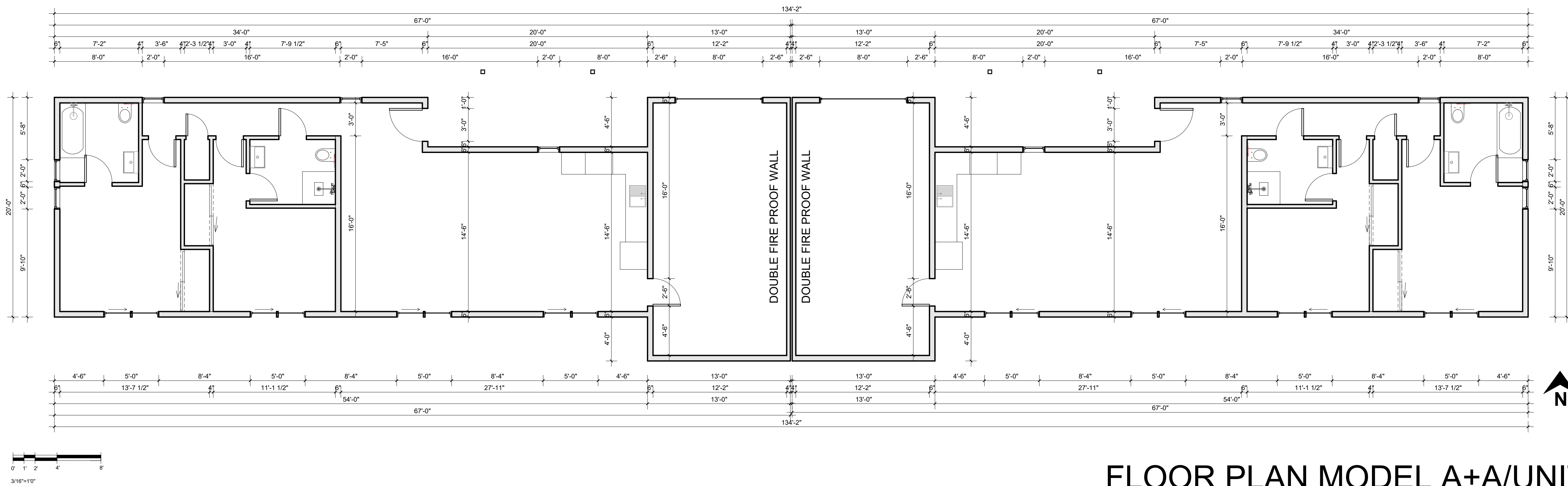
DRAWING NO.

6

SCALE: 3/16" = 1'0"



FLOOR PLAN MODEL A+B/UNIT1 + UNIT4



FLOOR PLAN MODEL A+A/UNIT2 + UNIT3

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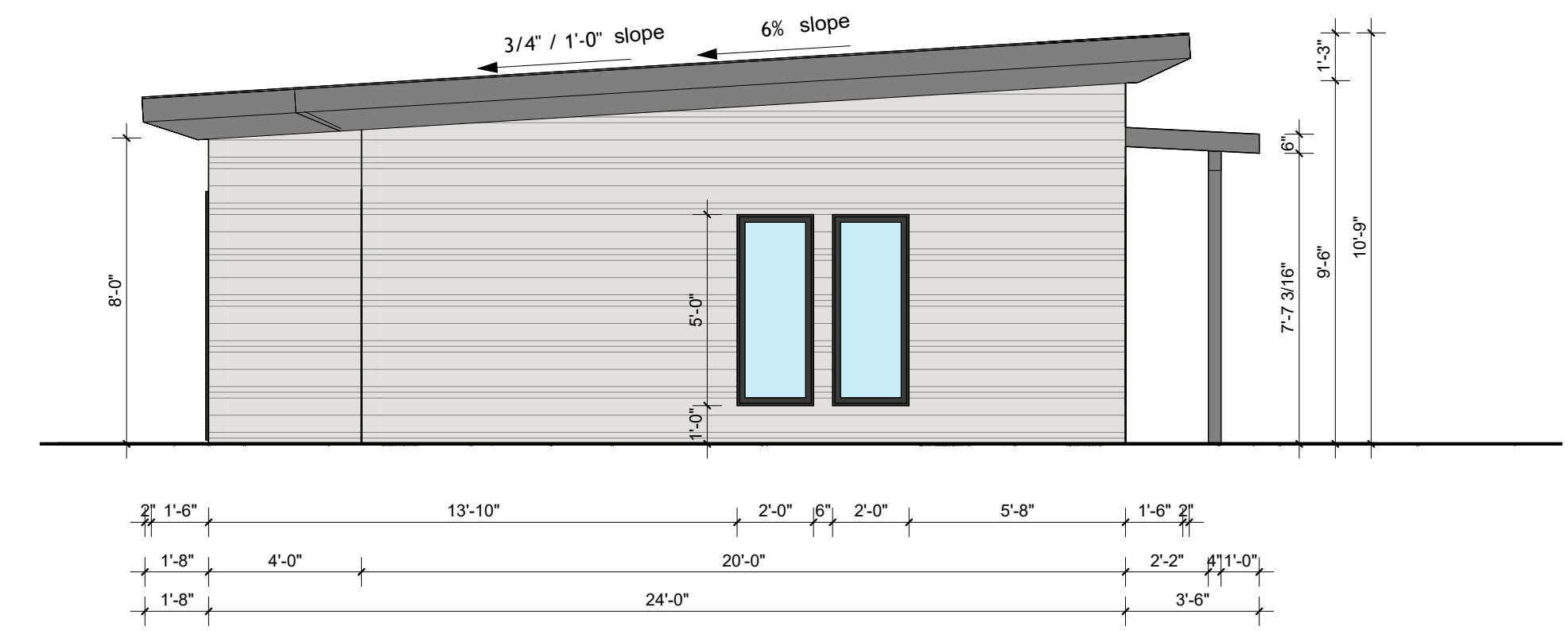
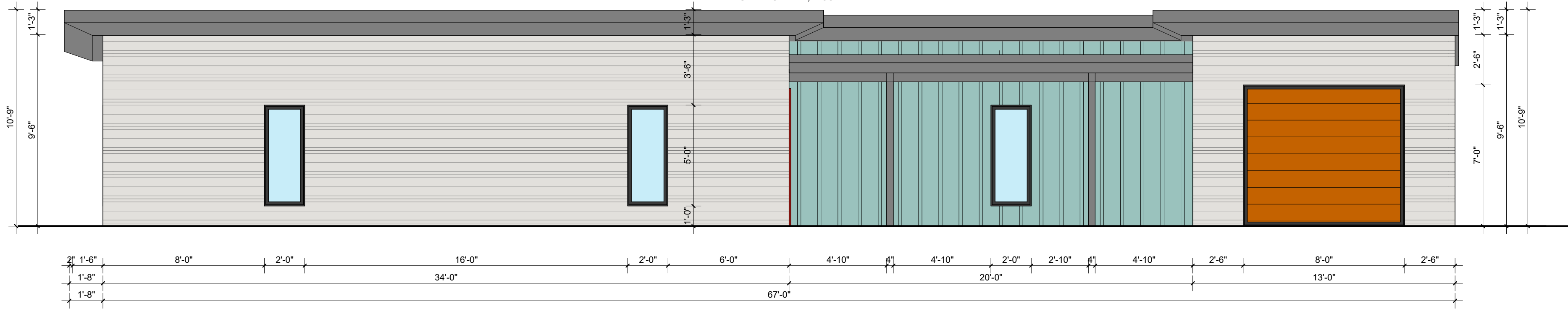
ELEVATIONS
 MODEL A

DRAWING NO.

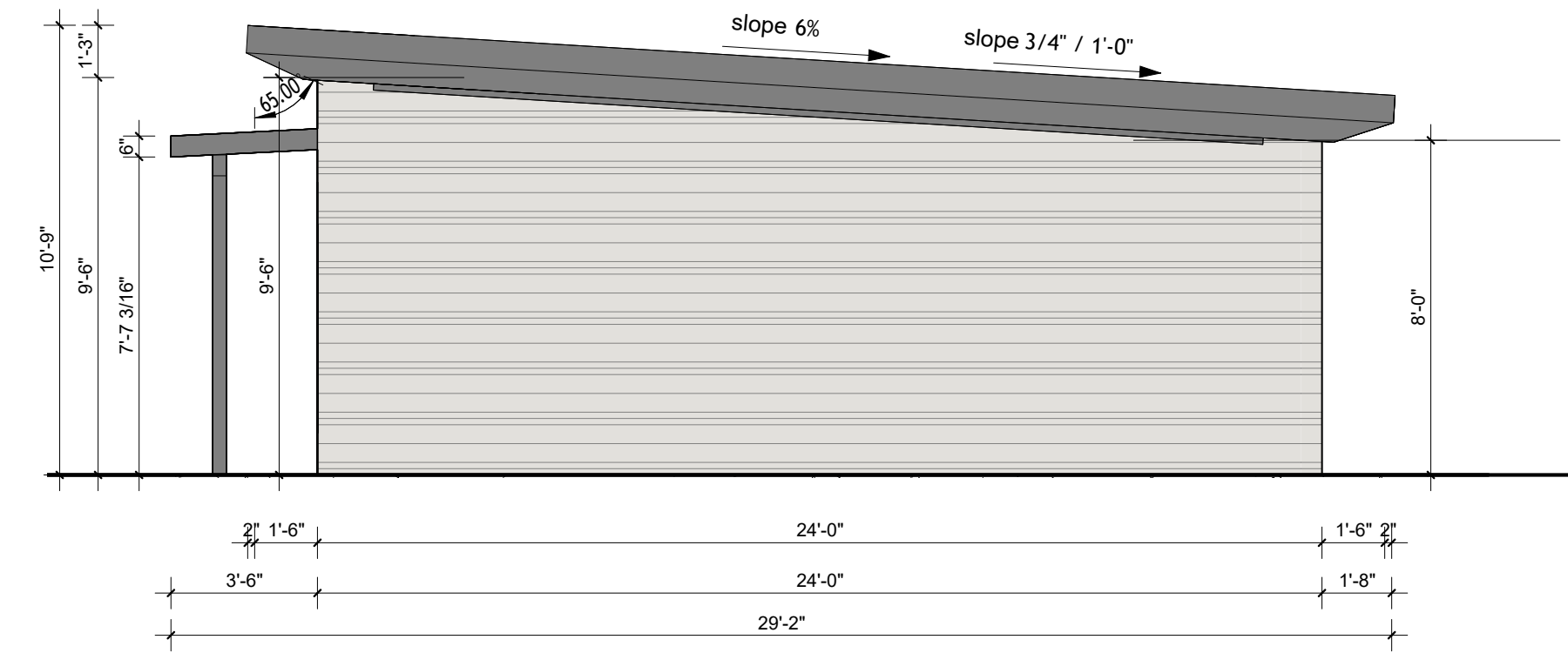
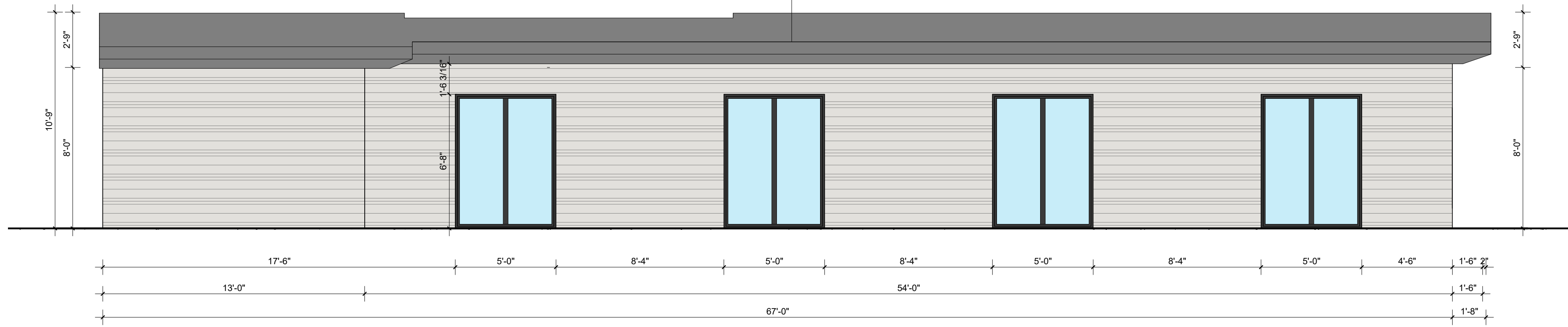
7

SCALE: 1/4" = 1'0"

ROOF COVER DETAILS
 -ROOF COVER/ROLL ROOFING FELT
 -ROOF UNDERLINEMENT PAPER
 -PLYWOOD 5/8"
 -INSULATION 12", R38



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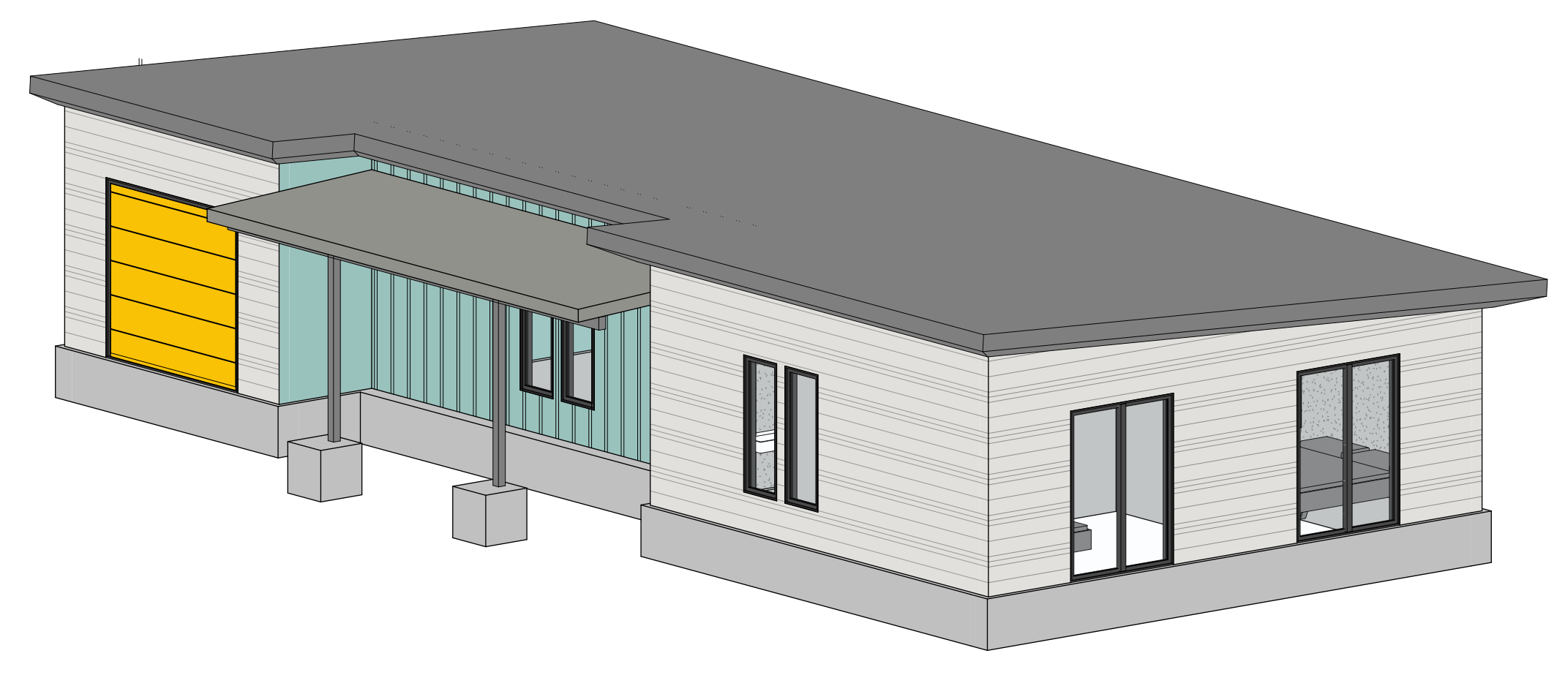
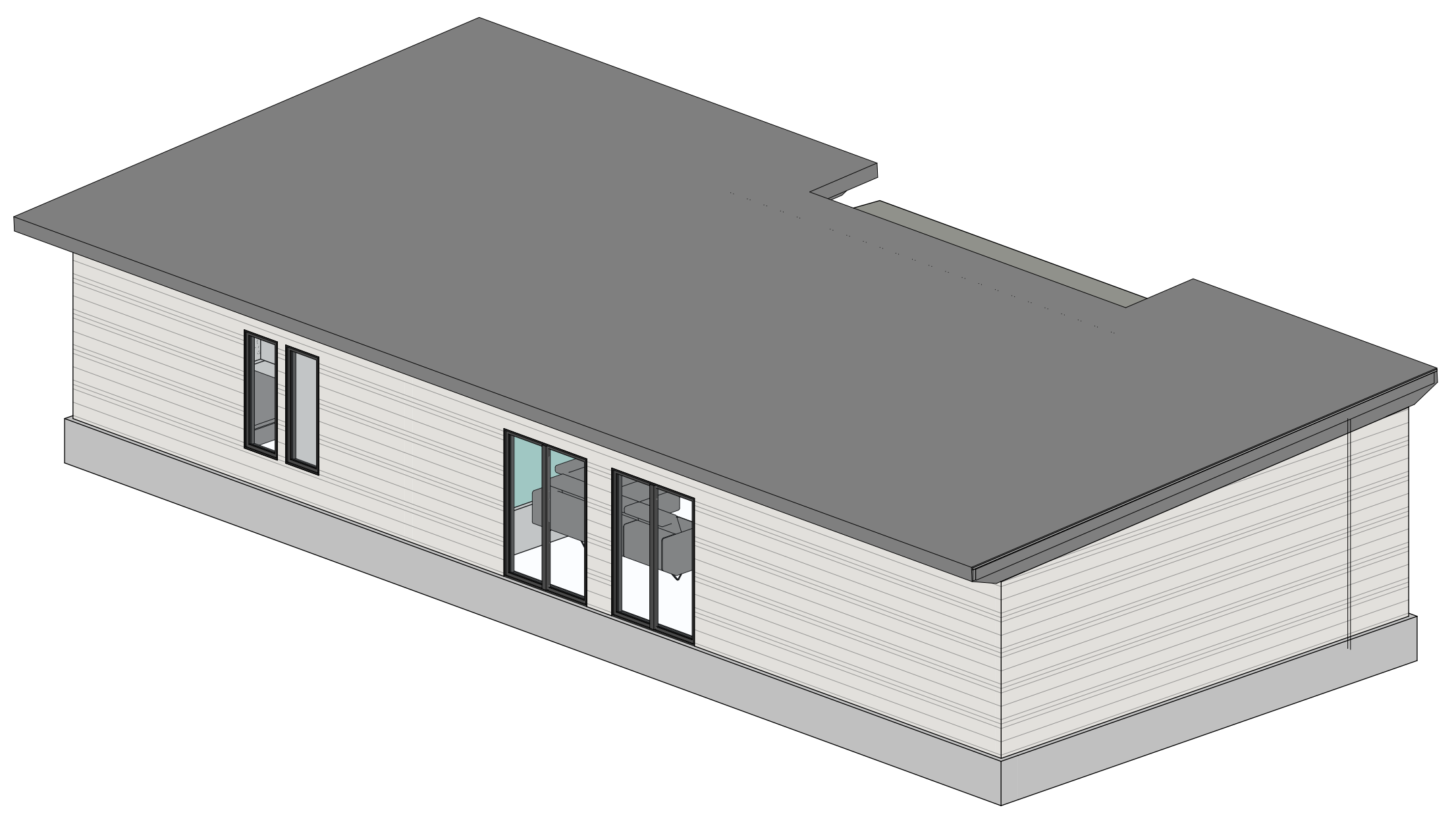
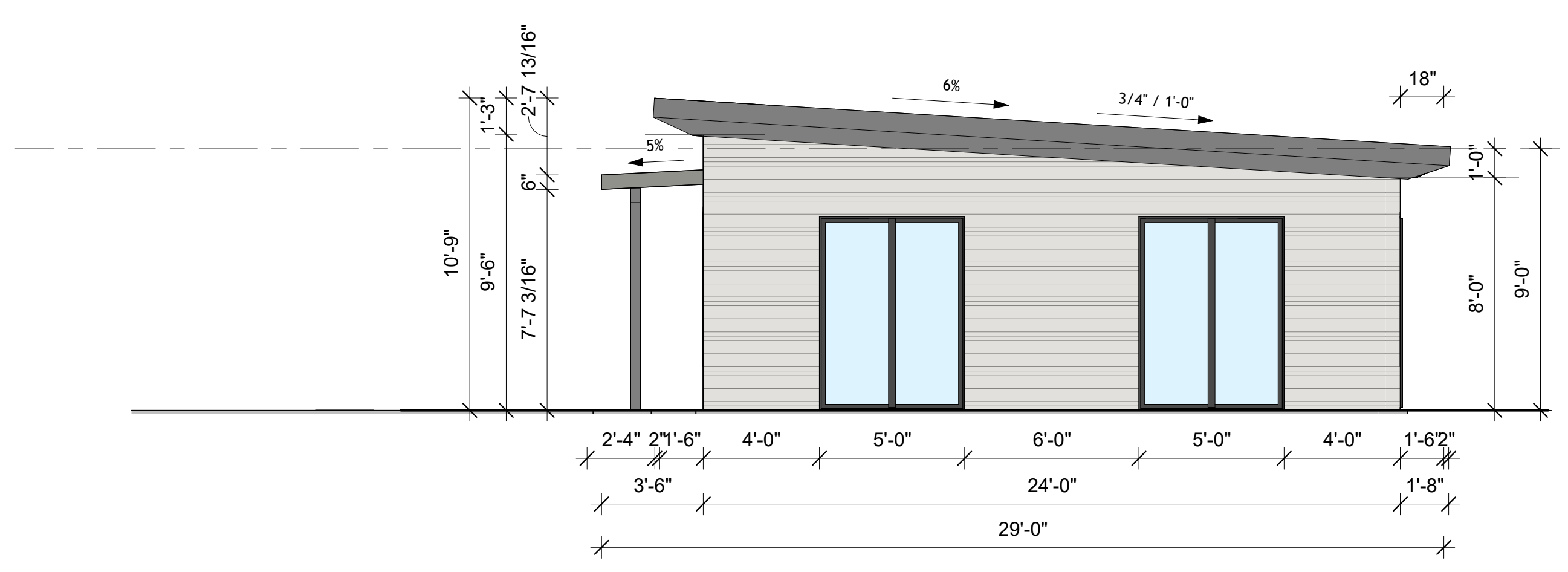
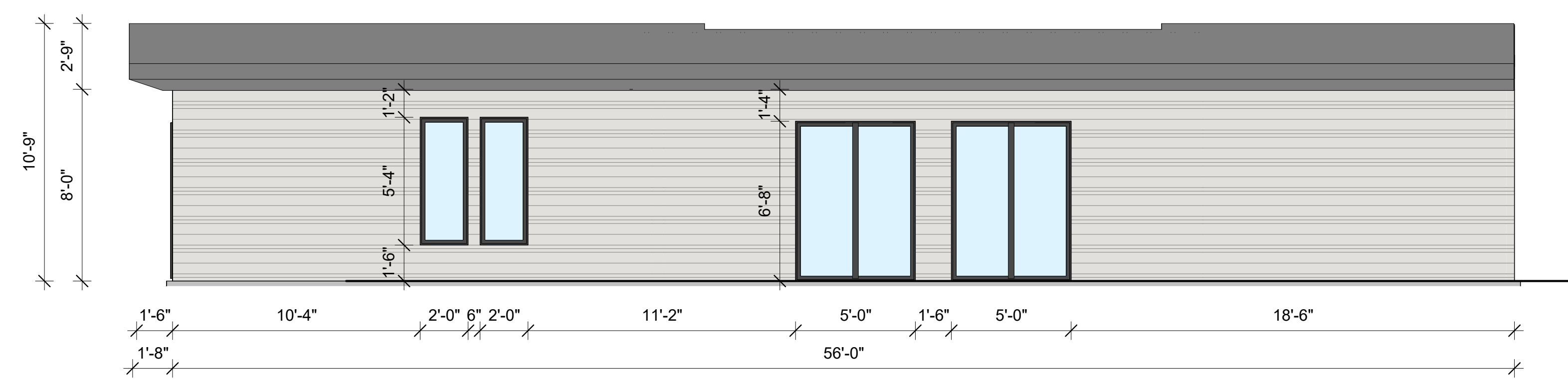
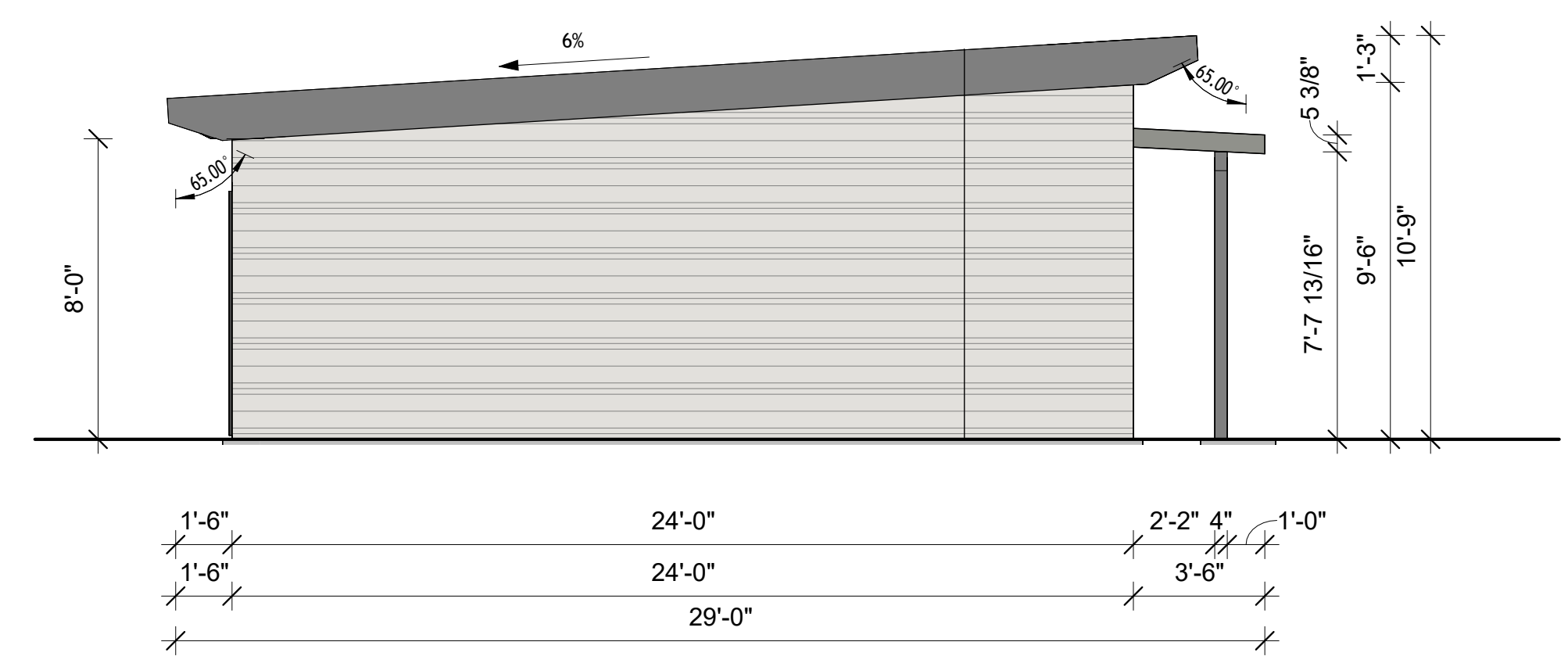
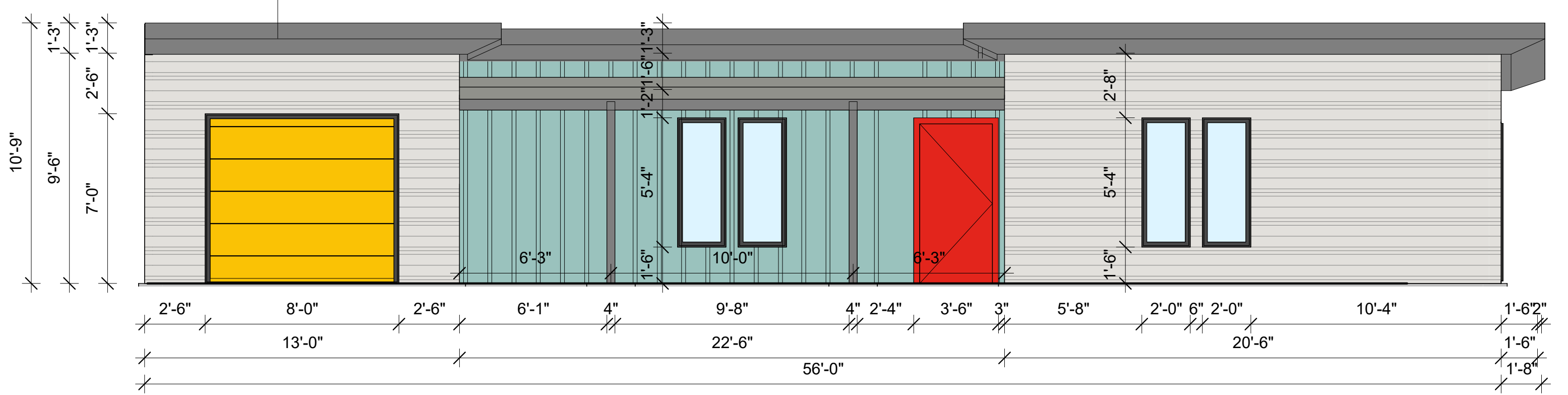
ELEVATIONS
 MODEL B

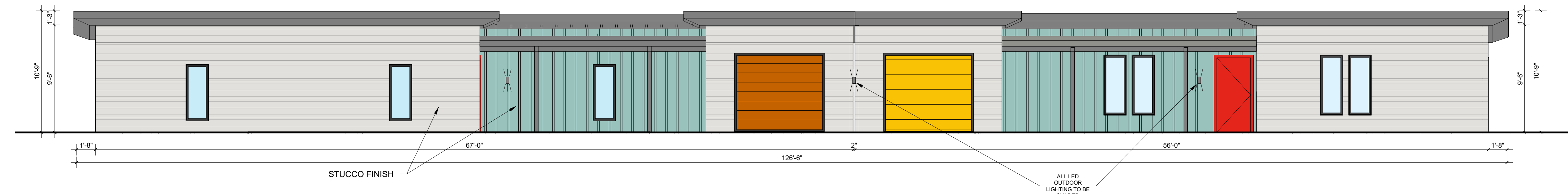
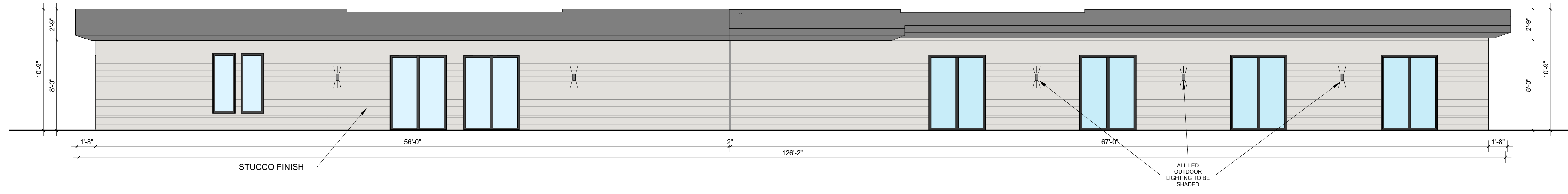
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8

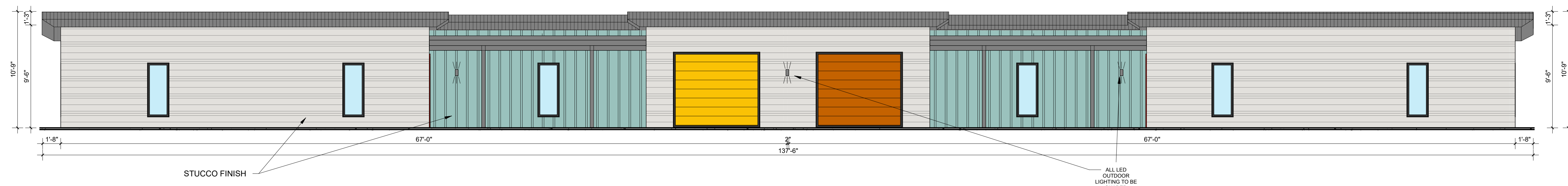
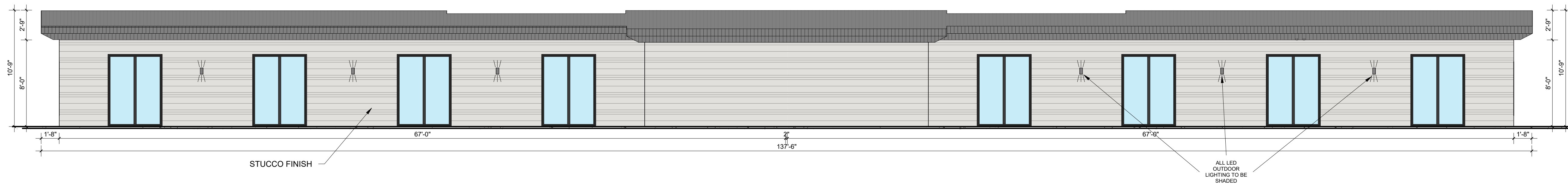
SCALE: 1/4" = 1'0"

ROOF COVER DETAILS
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 -ROOF UNDERLIMENT PAPER
 -PLYWOOD 5/8"
 -INSULATION 12", R38

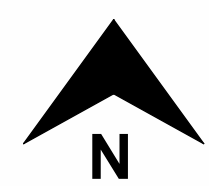
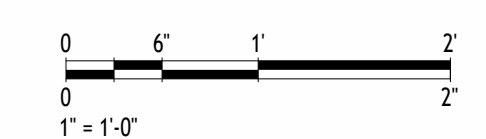
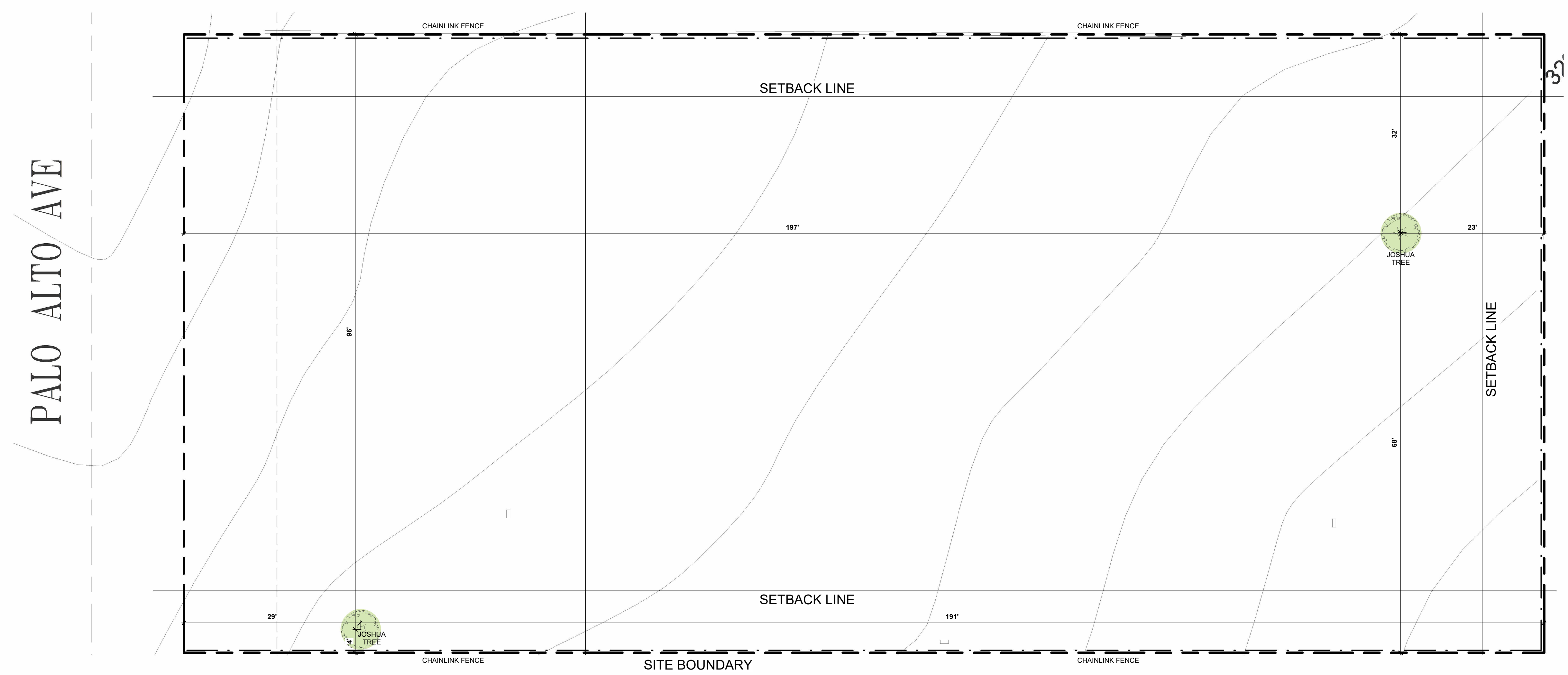




MODEL A+B/UNIT1 + UNIT4



MODEL A+A/UNIT2 + UNIT3



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LEGEND	
	STREET CENTERLINES
	PROPERTY LINE
	SETBACK
	EASEMENT LINES
	JOSHUA TREES

NEW CONSTRUCTION:

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PLANTS PLAN

DRAWING NO.
10
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