

A COMMERCIAL REMODEL AND ADDITION FOR: LA CASA DEL TEQUILA



PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

REVISIONS
PLAN PREPARED OCT. 05, 2023
PLAN CHECK
PLAN CHECK

M80 DESIGN LLC.
7635 CHURCH STREET - YUCCA VALLEY, CA. 92284
PHONE: 760-989-3457 E-MAIL: M80DESIGNGROUP@OUTLOOK.COM

- DRAWINGS**
- THESE PLANS & SPECIFICATIONS ARE THE PROPERTY OF (MIGUEL TELLEZ) AND SHALL NOT BE USED FOR ANY WORK OTHER THAN THE PROJECT SHOWN HEREIN.
 - ALL WORK AND ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL THE PROVISIONS OF THE BUILDING CODE AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT / DESIGNER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE PROJECT.
 - THIS PROJECT SHALL COMPLY WITH FOLLOWING:
 - 2022 CALIFORNIA RESIDENTIAL CODE
 - 2022 CALIFORNIA ENERGY CODE
 - 2022 UNIFORM MECHANICAL & PLUMBING CODE
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 - 2022 NATIONAL ELECTRICAL CODE
 - CONTRACTOR HEREBY GUARANTEES TO THE OWNER AND THE ARCHITECT / DESIGNER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT IS NEW UNLESS NOTED OTHERWISE. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE OF ANY FAULTS AND DEFECTS.
 - TEMPORARY BARRIERS AND / OR A PROTECTIVE CONSTRUCTION FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING.
 - ALL CONTRACTORS PROVIDING WORK / MATERIALS TO THE PROJECT MUST VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS AND SHALL NOTIFY ARCHITECT / DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING.
 - ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS, SPECIFICATIONS AND THE GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / DESIGNER PRIOR TO THE SUBMITTAL OF THE CONTRACTOR'S BID.
 - GENERAL NOTES, NOTES, AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE.
 - FRAMING CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE FRAMED SIMILAR TO THE DETAILS SHOWN FOR THE DETAILS SHOWN FOR THE RESPECTIVE MATERIALS.
 - PROVIDE OPENING AND SUPPORTS FOR MECHANICAL EQUIPMENT, DUCTS, PIPING, VENTS, ETC. AS REQUIRED. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL OPENINGS AND EQUIPMENT NOT SHOWN ON THE STRUCTURAL DRAWINGS. ALL SUSPENDED EQUIPMENT AND MATERIALS TO BE INSTALLED WITH APPROVED LATERAL BRACING.
 - WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
 - ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY, UNLESS NOTED OTHERWISE.
 - IF EXISTING FACILITIES ARE RELATED TO THE WORK, THE CONTRACTOR SHALL NOT DISRUPT THE EXISTING SERVICES OR UTILITIES WITHOUT OBTAINING OWNER'S PRIOR APPROVAL AND INSTRUCTIONS IN WRITING.
 - VERIFY ALL PLUMBING AND EQUIPMENT SIZES BEFORE BEGINNING CONSTRUCTION OF CABINETS.
 - THE CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT / DESIGNER AND OR HIS CONSULTANTS SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES REQUIRED, WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT / DESIGNER AND OR HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH THE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR TOTAL COORDINATION BETWEEN ALL SUBCONTRACTORS AND TRADES.
 - UNLESS OTHERWISE NOTED, ALL VESTIBULES, CLOSETS, COLUMNS, PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN THE BUILDING SHALL BE FINISHED TO MATCH THE FINISHES OF THE ADJACENT AREAS.
 - ANYONE SUPPLYING LABOR AND / OR MATERIALS TO THE PROJECT SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR SHALL CAREFULLY EXAMINE ALL SUB - SURFACES TO RECEIVED WORK ANY CONDITIONS DETRIMENTAL TO THE WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO THE BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUB - SURFACES.
 - ANY MATERIAL STORED IN THE SITE SHALL BE COMPLETELY SUPPORTED FREE FROM THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
 - FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION.
 - CONTRACTOR SHALL ARRANGE FOR BUILDING PERMIT, PLUMBING, MECHANICAL, & ELECTRICAL CONTRACTORS SHALL THW / RCA THEIR RESPECTIVE WORK.
 - PLUMBING, MECHANICAL, & ELECTRICAL ENGINEERING HAS BEEN PERFORMED BY OTHERS AND SHALL NOT BE CONSIDERED INCLUDED UNDER THE ARCHITECT'S / DESIGN PRINCIPAL SIGNATURE UNLESS

DRAWINGS

BUILDING DEPARTMENT NOTES

- STRUCTURAL ENGINEERING AND T - 24 ENERGY CALCS HAVE BEEN PERFORMED BY OTHERS AND SHALL NOT BE CONSIDERED INCLUDED UNDER THE ARCHITECT / DESIGN PRINCIPAL'S SIGNATURE UNLESS OTHERWISE NOTED.
- ARCHITECT / DESIGNER SHALL REVIEW ALL SUBMITTAL DOCUMENTS, SAMPLES, ETC. REQUIRED BY THESE PLANS & SHALL BE PREPARED BY OTHERS FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. CONTRACTOR / OWNER SHALL MAKE SUCH SUBMITTALS AVAILABLE TO ARCHITECT / DESIGNER FOR HIS REVIEW IN TIMELY MANNER.
- ALL CONTRACTORS PERFORMING WORK ON THIS PROJECT SHALL SUBMIT IN WRITING A 1 YEAR GUARANTEE FOR ALL MATERIALS & WORKMANSHIP DONE ON THIS PROJECT VERRY WARRANTIES FOR EQUIPMENT USED.

No.	DATE	DESCRIPTION
No.1	-	-
No.2		

DEFERRED SUBMITTAL

THE FOLLOWING ITEMS ARE NOT PART OF THIS BUILDING PERMIT. FIRE SPRINKLERS, SEPTIC SYSTEM, SOLAR SYSTEM, PROPANE TANK, LAP POOL, FIRE PIT, FIRE WATER TANK, AND SITE RETAINING WALL.

SCOPE OF WORK

- INTERIOR IMPROVEMENTS AND FULL EXTERIOR IMPROVEMENTS.
- SELECTIVE DEMOLITION OF FINISHES, NON-BEARING WALLS, CONCRETE TOPPING SLAB, AND CONCRETE TRENCHING.
- STRUCTURAL WORK INCLUDING NEW REINFORCED CONCRETE SLAB AT NEW WASTE LINE TRENCHING. NEW STUD WALL FOR KITCHEN ADDITION.
- INSTALLATION OF OWNER PROVIDED NEW EQUIPMENT: WALK-IN REFRIGERATOR, KITCHEN EQUIPMENT.
- NEW BAR AREA WITH NEW EQUIPMENT AND SINKS.
- NEW/MODIFIED MECHANICAL EQUIPMENT, INCLUDING NEW EXHAUST FAN.
- NEW/MODIFIED ELECTRICAL SYSTEMS INCLUDING NEW 200 AMP PANEL.
- NEW PLUMBING FLOOR SINKS, NEW HOT WATER HEATER, NEW UNDER SLAB WASTE SYSTEM, AND NEW WASTE LINE CONNECTIONS AT EXISTING KITCHEN EQUIPMENT.
- TWO NEW RESTROOMS ONE (ADA) ACCESSIBLE.

OWNER
LA CASA DEL TEQUILA
55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
PHONE: (951)-850-3102

CONSULTANTS
M80 DESIGN LLC.
MIGUEL TELLEZ - DESIGN PRINCIPAL
7635 CHURCH STREET - YUCCA VALLEY, CA 92284
CELL: (760) 989-3457

DRP ENTERPRISES
P.O. BOX 4428 - PALM SPRINGS, CA. 92263
PHONE, (206) 734-7765

JMW (TRUSSES)
2936 SOUTH AVENUE 3-1/2 EAST - YUMA, AZ. 85365
PHONE, (888) 712-6874

BUILDING CODE

ALL CONSTRUCTION TO COMPLY WITH THE 2022 CALIFORNIA MODEL CODES AS BASED ON:
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ENERGY CODE
2022 UNIFORM MECHANICAL & PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 NATIONAL ELECTRICAL CODE
TITLE 24, PART 2, CALIFORNIA ADMINISTRATIVE CODE
HANDICAP COMPLIANCE REGULATIONS
ENERGY CONSERVATION REGULATIONS.

48 HOURS BEFORE YOU DIG
CALL
UNDERGROUND SERVICE ALERT
1-800-277-2600

SHEET INDEX

- T01 TITLE SHEET
- GN GENERAL NOTES
- ST1 SITE PLAN
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- A-3 RENDERINGS & PAINT / FINISH LAYOUT
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- A-9 FLOOR PLAN DETAILED LAYOUT
- EM1 ELECTRICAL & HAVAC PLAN
- D-1 TYPICAL DETAILS
- ADA ADA DETAILS

PROJECT DATA

PROJECT ADDRESS:
**55501 29 PALMS HWY.
YUCCA VALLEY, CA. 92284**

LEGAL:
LOT 35, TRACT 3081, YUCCA VILLAGE NO. 3, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORD IN BOOK 42 OF MAPS, PAGES 57 & 58, RECORDS OF SAID COUNTY APN#: 0586-122-17-0-0000

BUILDING DATA	PROPERTY DATA	BUSINESS INFO:
EXISTING FRONT BUILDING AREA:.....959.0 S.F.	LOT AREA: 10,800.0 SQ.FT.	EMPLOYEES TOTAL: 6
EXISTING REAR BUILDING AREA:.....318.0 S.F.	.24 ACRES	BUSINESS HOURS:
ADDITION AREA:.....267.0 S.F.	NEW LOT COVERAGE: 14.30 %	MONDAY TO THURSDAY 2:00 PM TO 1:00 PM
TOTAL BUILDING AREAS:.....1,544.0 S.F.		SATURDAY & SUNDAY 2:00 PM TO 1:00 PM

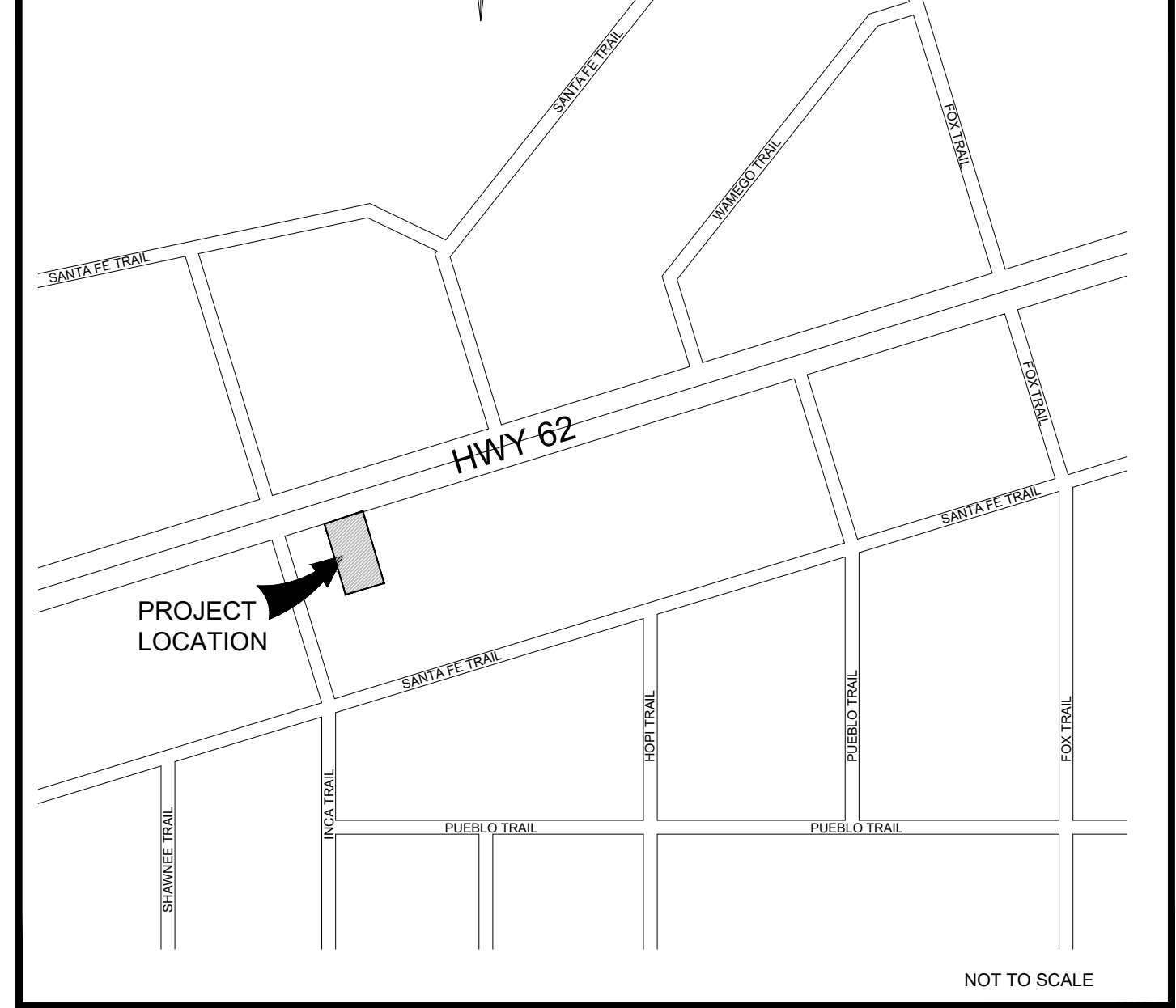
OCCUPANCY LOAD:	TABULATION OF AREA & PERCENT:
EXISTING FRONT BUILDING AREA:.....959.0 S.F.	SITE AREA: 10,800.0 SQ.FT. 100.00 %
EXISTING REAR BUILDING AREA:.....318.0 S.F.	TOTAL BUILDING(S) AREA: 1,544.0 SQ.FT. 14.30 %
ADDITION AREA:.....267.0 S.F.	PARKING AREA(S) AND DRIVE(S) (DRIVEWAY) 9,256.0 SQ.FT. 85.70 %
TOTAL BUILDING AREAS:.....1,544.0 S.F.	

CONTRACTOR:
T.B.D.

STANDARD PARKING... 14 SPACES
ACCESSIBLE PARKING... 1 SPACES
TOTAL PARKING... 15 SPACES
NEW PARKING... 15 SPACES

AREA	# OF SPACES PER ST	EST. OF AREA	# OF SPACES REQ
STREET	1	1	1
SEATING	1	1	1
1.25 SPACES + 1 ADA PARKING SPOT REQUIRED			
PARKING SPACES REQUIRED BY			
PARKING SPACES PROVIDED = 15			

VICINITY MAP



PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: TITLE SHEET

THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

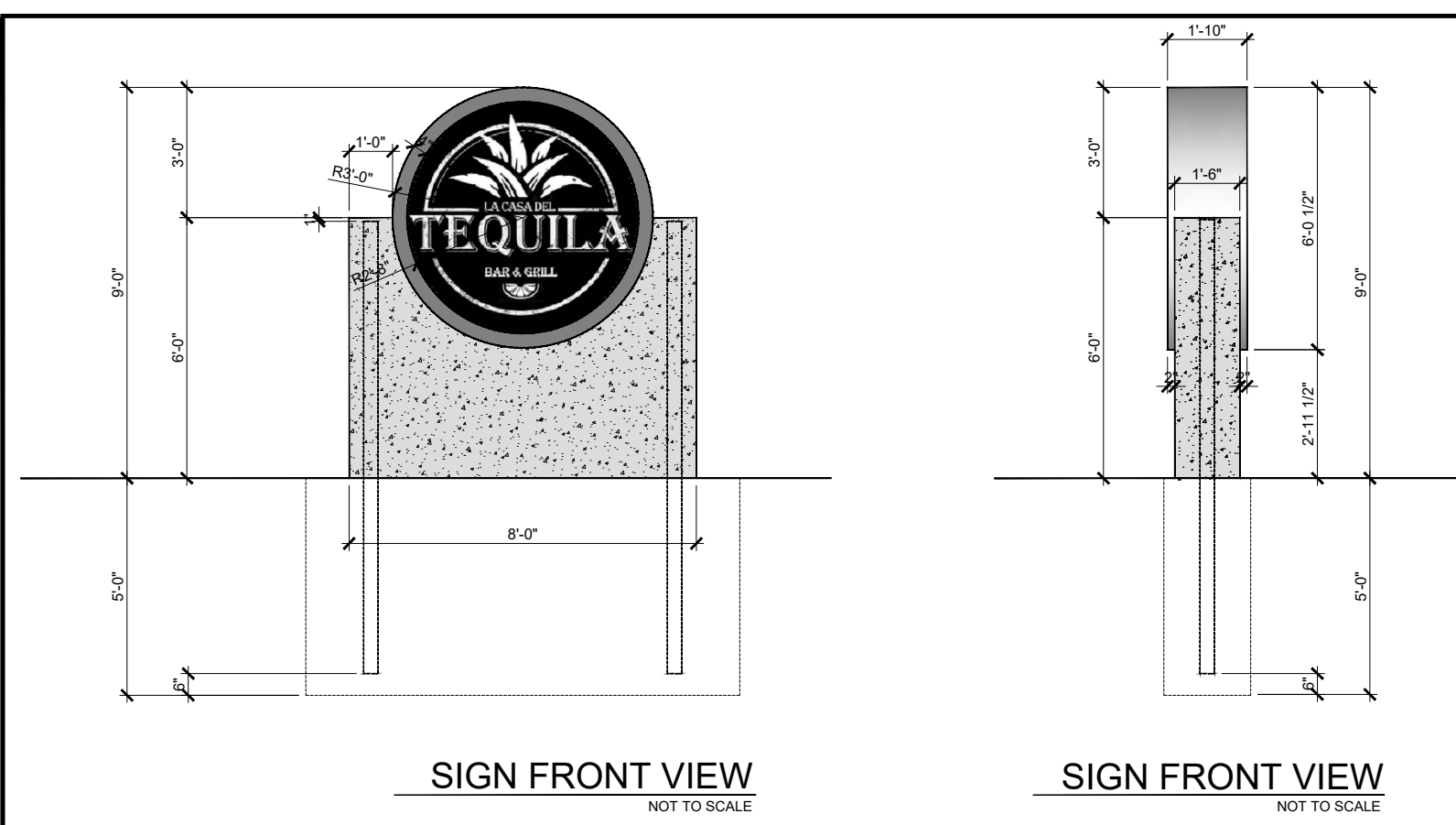
55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
PHONE: 951-850-3102
E-MAIL: YVWESTERDINER@GMAIL.COM

DRAWN BY: M. TELLEZ

DATE: INDICATED

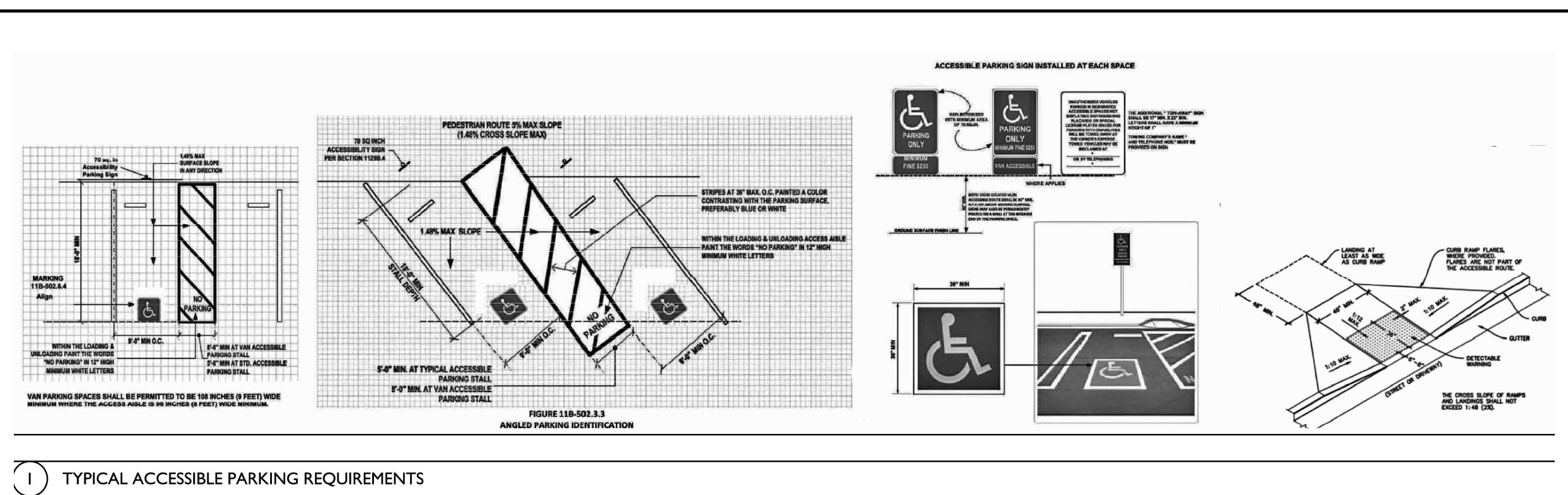
SCALE: INDICATED

SHEET NO. **T01**
OF SHEETS



SIGN FRONT VIEW
NOT TO SCALE

SIGN FRONT VIEW
NOT TO SCALE



1 TYPICAL ACCESSIBLE PARKING REQUIREMENTS

BUSINESS INFO:
 EMPLOYEES TOTAL: 6
 BUSINESS HOURS:
 MONDAY TO THURSDAY
 2:00 PM TO 1:00 PM
 SATURDAY & SUNDAY
 2:00 PM TO 1:00 PM

JOB ADDRESS:
 55501 29 PALMS HWY.
 YUCCA VALLEY, CA. 92284

LEGAL:
 LOT 35, TRACT 3081, YUCCA VILLAGE NO. 3,
 IN THE COUNTY OF SAN BERNARDINO, STATE OF
 CALIFORNIA, AS PER PLAT RECORD IN BOOK 42 OF
 MAPS, PAGES 57 & 58, RECORDS OF SAID COUNTY
 APN#: 0586-122-17-0-0000

BUILDING DATA
 EXISTING FRONT
 BUILDING AREA:.....959.0 S.F.
 EXISTING REAR
 BUILDING AREA:.....318.0 S.F.
 TOTAL BUILDING AREAS:.....1,277.0 S.F.
 ADDITION AREA:.....267.0 S.F.
 TOTAL BUILDING AREAS:.....1,544.0 S.F.

PROPERTY DATA
 LOT AREA:
 10,800.0 SQ.FT.
 .24 ACRES
 NEW LOT COVERAGE:
 14.30%

LAND USE:
 OLD TOWN HIGHWAY COMMERCIAL

ZONING:
 (SP)

OCCUPANCY:
 A-2

BUILDING TYPE:
 V



PROJECT NOTES:
 PROJECT WILL NOT EXCEED
 LESS THAN 50 CU.YD OF CUT AND FILL.

PARKING:

STANDARD PARKING.....14 STALLS
 ADA PARKING.....1 STALLS
 TOTAL PARKING.....15 STALLS
 NEW PARKING.....4 STALLS

AREA	# OF SPACES PER S.F.	S.F. OF AREA	# OF SPACES REQ.
BUILDING	1 PER 250.0 S.F.	1,467.0 S.F.	6 OF SPACES REQ.
SEATING	1 PER 150.0 S.F.	185.0 S.F.	4 SPACES REQ.

ADA PARKING CALCULATION (SECTION 9.33.050)
 1-25 SPACES = 1 ADA PARKING SPOT REQUIRED
 PARKING SPACES REQUIRED = 10
 PARKING SPACES PROVIDED = 15

TABULATION OF AREA & PERCENT:

Category	Area (SQ.FT.)	Percent
SITE AREA:	10,800.0	100.00 %
TOTAL BUILDING(S) AREA:	1,544.0	14.30%
PARKING AREA(S) AND DRIVE(S) (DRIVEWAY)	9,256.0	85.70 %

UTILITY NOTES

VERIFY CONNECTION POINTS FOR POWER TELEPHONE AND CABLE TV SYSTEMS PRIOR TO CONSTRUCTION. APPROXIMATE ONLY LOCATIONS INDICATED FOR TRANSFORMER LOCATIONS, ETC.

COMPLY WITH ALL UTILITY COMPANY REQUIREMENTS. PROVIDE ALL RELATED CONDUCTS, PULL BOXES AND REISERS.

CONTRACTOR SHALL VERIFY ACTUAL DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO TRENCHING, GRADING, EXCAVATING, DRILLING, PIPE PUSHING, PLANTING TREES, DIGGING FENCE POST HOLES ETC. THEY WILL SUPPLY INFORMATION OR LOCATE AND MARK ANY UNDERGROUND FACILITIES.

GENERAL SPECIFICATIONS:

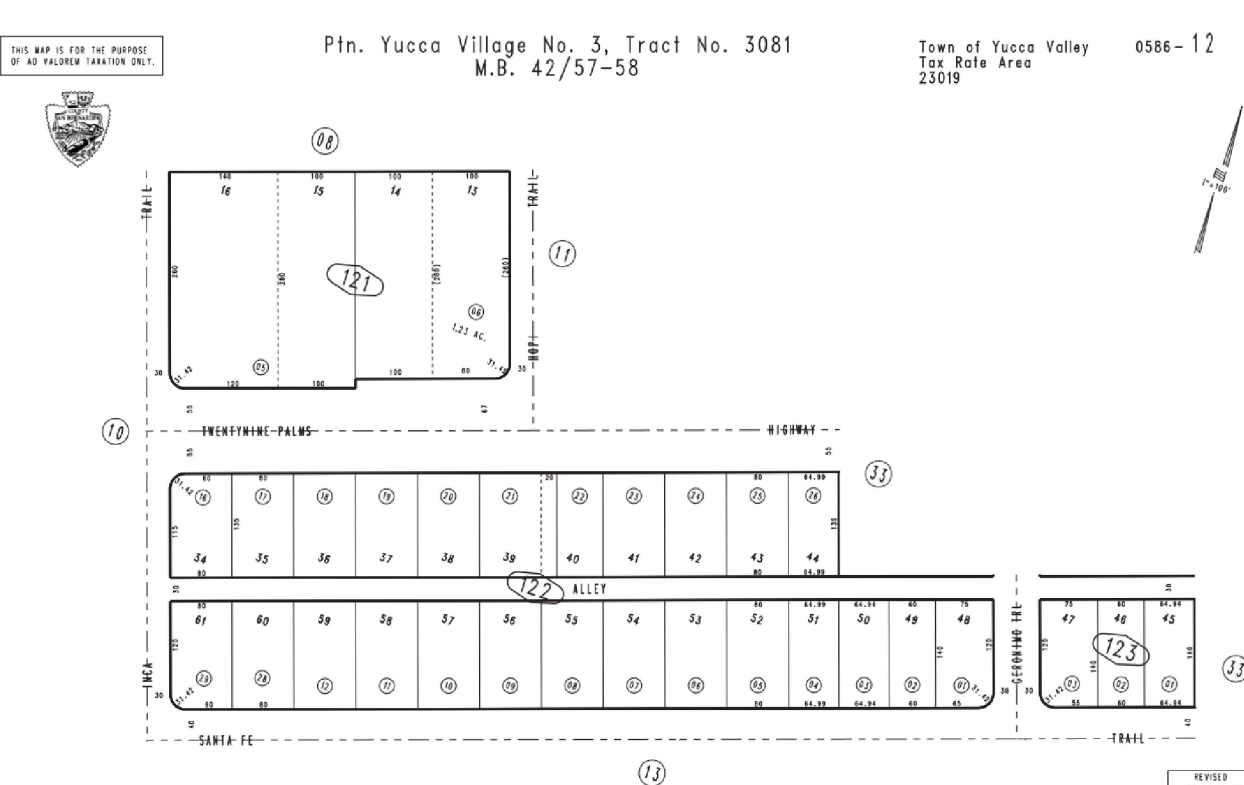
IF ANY ERRORS DISCREPANCIES OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS IN WRITING OF SUCH ERROR OR OMISSION.

IN THE EVENT THAT THE GENERAL CONTRACTOR FAILS TO GIVE SUCH NOTICE BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK THE GENERAL CONTRACTOR WILL BE HELD RESPONSIBLE TO THE RESULT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS AND THE COST

SITE PLAN
 SCALE: 1"=15'-0"



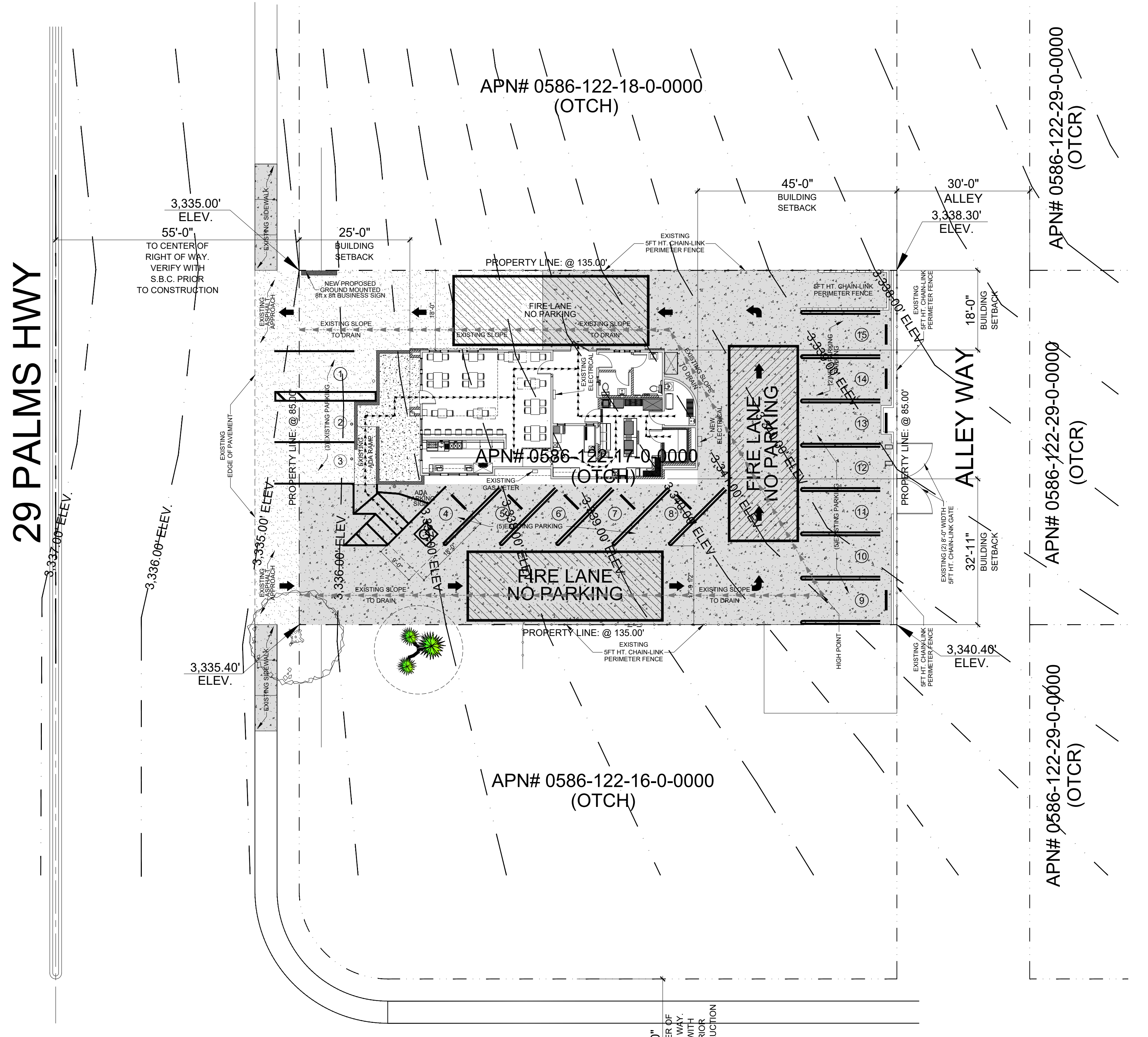
FEMA MAP
N.T.S.



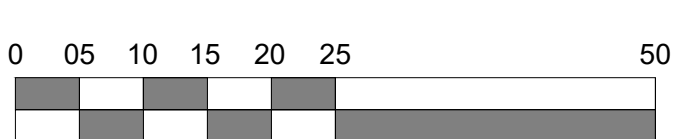
ASSESSORS MAP
N.T.S.



VICINITY MAP
N.T.S.



INCA TRAIL



REVISIONS
 PLAN PREPARED OCT. 20, 2023
 PLAN CHECK
 PLAN CHECK

M80 DESIGN LLC.
 7835 CHURCH STREET - YUCCA VALLEY, CA. 92284
 PHONE: 760-963-8457 - EMAIL: M80DESIGNGROUP@OUTLOOK.COM

SHEET NAME: SITE PLAN

THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
 PHONE: 951-850-3102

PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

DRAWN BY: M. TELLEZ

DATE: INDICATED

SCALE: INDICATED

SHEET NO. *M. Tellez*

ST1
 OF SHEETS

EXISTING BUILDING DATA

NEW BUILDING DATA

EXISTING FRONT BUILDING AREA:.....959.0 S.F.
 EXISTING REAR BUILDING AREA:.....318.0 S.F.
 TOTAL BUILDING AREAS:.....1,277.0 S.F.

EXISTING BUILDING AREA:.....1,277.0 S.F.
 PROPOSED ADDITION AREA:.....267.0 S.F.
 TOTAL BUILDING AREAS:.....1,544.0 S.F.

NEW WINDOW AND SLIDING GLASS DOOR SCHEDULE:

MARK	QTY	WINDOW SIZE	TYPE	MAT'L	FRAME	FINISH	GLAZG.	SCREEN	CRI	AREA SQ.FT.	REMARKS
A	7	1'-4" X 2'-0"	FIXED	ALUM.	ALUM.	BRZ	TEMP.	NO	LOW-E	5.75 SQ.FT.	FIXED TEMPERED GLASS WINDOW

EXISTING WINDOW AND SLIDING GLASS DOOR SCHEDULE:

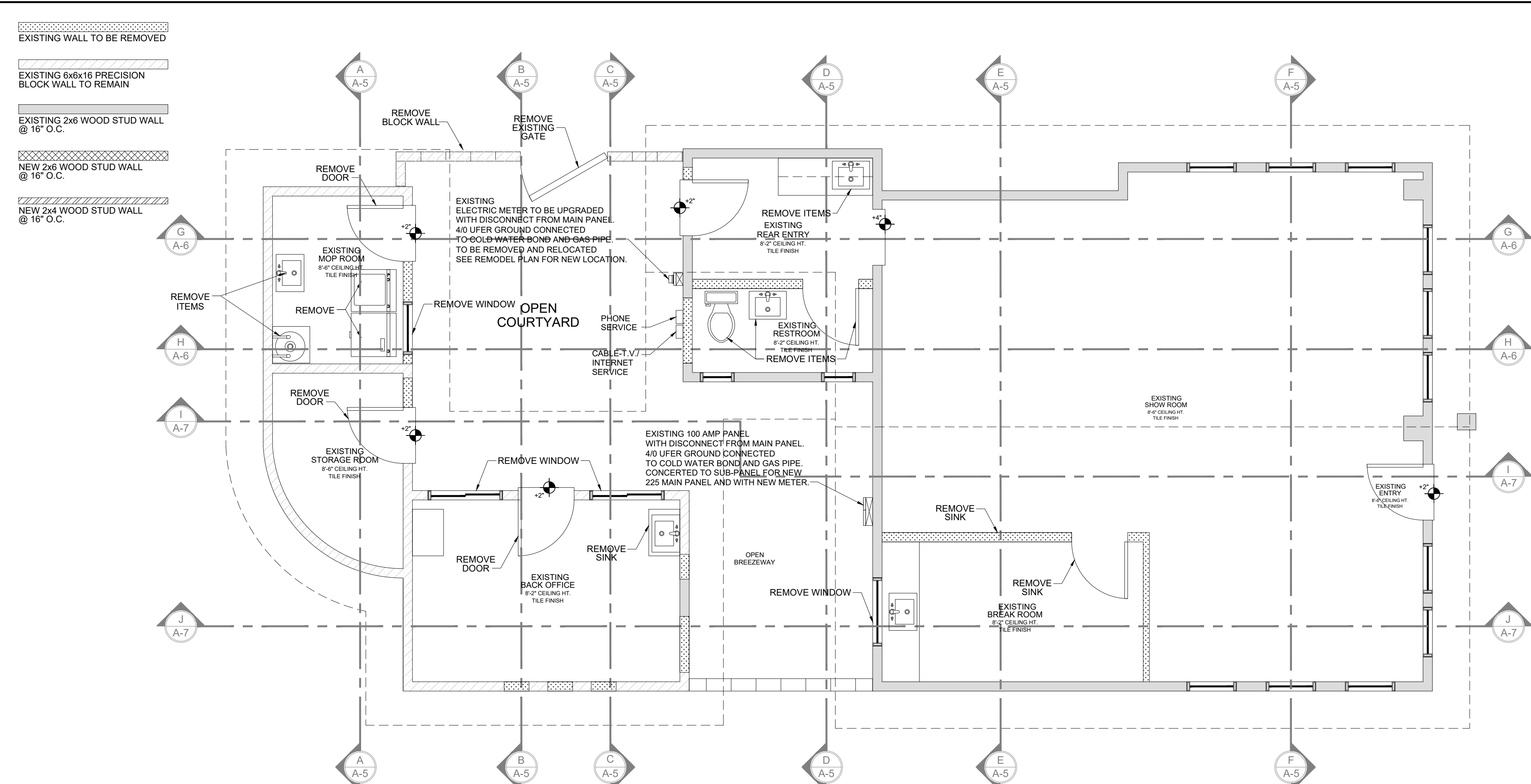
MARK	QTY	WINDOW SIZE	TYPE	MAT'L	FRAME	FINISH	GLAZG.	SCREEN	CRI	AREA SQ.FT.	REMARKS
B	2	2'-0" X 2'-0"	SLIDER	ALUM.	ALUM.	BRZ	TEMP.	YES	LOW-E	4.0 SQ.FT.	FIXED TEMPERED GLASS WINDOW
C	11	2'-8" X 3'-9"	FIXED	ALUM.	ALUM.	BRZ	TEMP.	NO	LOW-E	10.0 SQ.FT.	FIXED TEMPERED GLASS WINDOW
D	1	2'-10" X 3'-0"	SLIDER	ALUM.	ALUM.	BRZ	TEMP.	YES	LOW-E	8.50 SQ.FT.	FIXED TEMPERED GLASS WINDOW
E	1	3'-8" X 3'-0"	FIXED	ALUM.	ALUM.	BRZ	TEMP.	NO	LOW-E	11.0 SQ.FT.	FIXED TEMPERED GLASS WINDOW
F	2	4'-0" X 4'-0"	SLIDER	ALUM.	ALUM.	BRZ	TEMP.	YES	LOW-E	16.0 SQ.FT.	FIXED TEMPERED GLASS WINDOW

DEMOLITION NOTES:

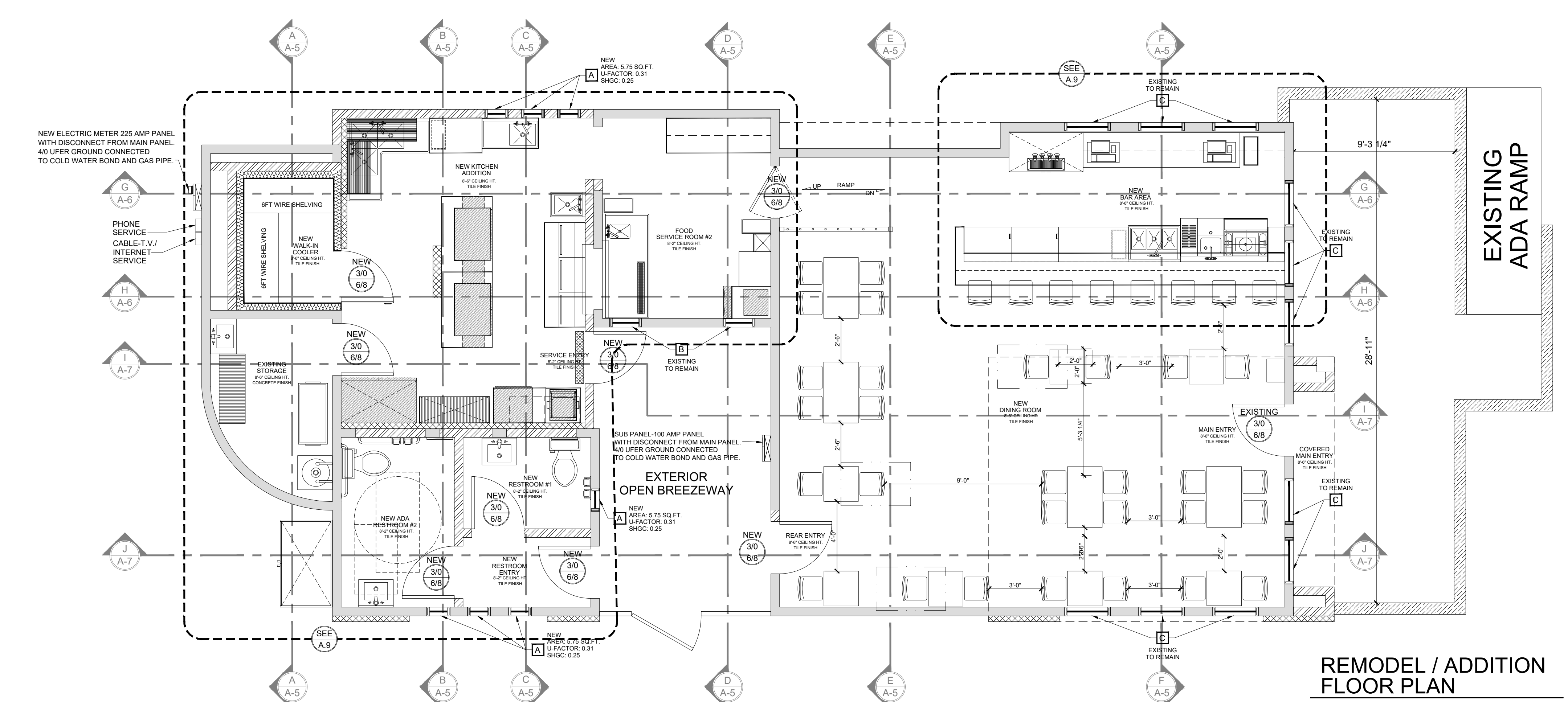
1. ANY DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS SET BY THE 2019 CALIFORNIA BUILDING CODE, AND WITH THE RULES AND REGULATIONS OF ALL LOCAL AGENCIES, DEPARTMENTS OR LAWS HAVING JURISDICTION OVER ANY PORTION OR SPECIFIC PHASE OF THE WORK, INCLUDING BUT NOT LIMITED TO OSHA, ANSI, NFPA, ETC.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE AND HELD LIABLE FOR COMPLIANCE WITH ALL PUBLIC AND PROPERTY SAFETY PROCEDURES DURING AND AFTER THE DEMOLITION WORK COVERED BY THE APPLICATION, AS DIRECTED BY THE LOCAL AGENCIES HAVING JURISDICTION.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAY ALL FEES AS PART OF THE DEMOLITION WORK REQUIRED FOR THIS PROJECT.
4. THE GENERAL CONTRACTOR TO COORDINATE AND PAY FOR ALL UTILITIES SHUTDOWNS AT PRE-CONSTRUCTION.
5. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AFFECTING THE DEMOLITION AND NOTIFY THE DESIGNER AND TENANT OF ANY DISCREPANCIES ON THE DRAWINGS WHICH WOULD AFFECT THE WORK.
6. THE GENERAL CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ITEMS AND SHALL REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF WORK TO THE SATISFACTION OF THE LANDLORD AND/OR DESIGNER AT NO ADDITIONAL COST.
7. WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ALL TRIMS, DOORS, FRAMES, WALL OUTLETS, SWITCHES, SURFACE MOUNTED FIXTURES.
8. ALL COMBUSTIBLE MATERIALS AND DEBRIS SHALL BE REMOVED PRIOR TO ANY DEMOLITION WORK.
9. ALL DEMOLITION DEBRIS SHALL BE REMOVED AT LEAST ONCE PER DAY TO MAINTAIN SAFE WORK CONDITIONS. VERIFY METHOD AND LOCATION OR REMOVAL WITH THE LANDLORD PRIOR TO BEGINNING THE WORK. ALL EXISTING MATERIAL AND EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE LANDLORD AND BE GIVEN TO THE LANDLORD, OR DISPOSED OF AS DIRECTED BY THE LANDLORD.
10. PROVIDE TEMPORARY LIGHTING AND ELECTRICAL SERVICE IN THE WORK AREA AS REQUIRED TO COMPLETE THE WORK.
11. THE GENERAL CONTRACTOR SHALL REMOVE ANY EXISTING OR NEWLY ABANDONED MATERIALS, EQUIPMENT, PIPING, DUCTS, AND WIRING FROM THE PREMISES. THE GC SHALL CAP SERVICE AT POINT OF ORIGIN AND COORDINATE THIS WORK WITH THE LANDLORD'S OR REPRESENTATIVE.
12. THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION WASTE MANAGEMENT PLAN REDUCING WASTE AT LEAST 50%.

CONSTRUCTION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR SHEATHING UNLESS OTHERWISE NOTED.
2. READ IN CONJUNCTION WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS, REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH AFFECTED AREA OF THE WALL.
3. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING SUBCONTRACTORS BEFORE FRAMING OPENINGS IN WALLS, FLOORS, CEILINGS, ROOF, ETC.
4. PROVIDE AND LOCATE ACCESS DOORS AND PANELS IN THE WALL AND CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
5. ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. CONTRACTOR SHALL COORDINATE LOCATION OF ALL CLEANOUTS WITH EQUIPMENT AND CABINETS. SUBMIT A PLAN OF CLEANOUT LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSPECTION.
6. PROVIDE AND INSTALL STIFFENERS, BRACING, BACK UP PLATES, AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED EQUIPMENT OR ACCESSORIES.
7. PROVIDE NAILERS, BLOCKING AND GROUNDS WHERE REQUIRED. PROVIDE BLOCKING FOR ALL MOUNTED ITEMS INCLUDING CASEWORK AND SHELVING, BATHROOM ACCESSORIES, LIGHTING TRACKS, ROOF STOPS, VENTS, REGISTERS, ATTIC ACCESS, RAILINGS, HOOKS AND OWNER SUPPLIED EQUIPMENT AND ARTWORK.
8. ALL FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL CONFORM TO CLASS C FLAME RESISTANT STANDARDS PER TABLE 803.9 AND SECTION 803.1.
9. PANELING MATERIALS ON WALLS OF CORRIDOR, LOBBY, AND EXIT ENCLOSURE SHALL CONFORM TO CLASS C FLAME RESISTANT STANDARDS PER TABLE 803.9 AND SECTION 803.1.
10. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
11. DOOR HANDLES, LOCK, AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.
12. FRONT ENTRY DOORS SHALL REMAINED UNLOCKED WHEN BUILDING IS OCCUPIED.
13. ALL EGRESS DOORS SHALL COMPLY WITH SECTION 1008.1.9 - 1008.1.9.12.
14. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES BY THE MEANS OF EGRESS AS OCCUPIED.
15. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
16. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4" (1210.2.1).
17. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. SWING DOORS AND FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES SHALL COMPLY WITH SECTION 2406.



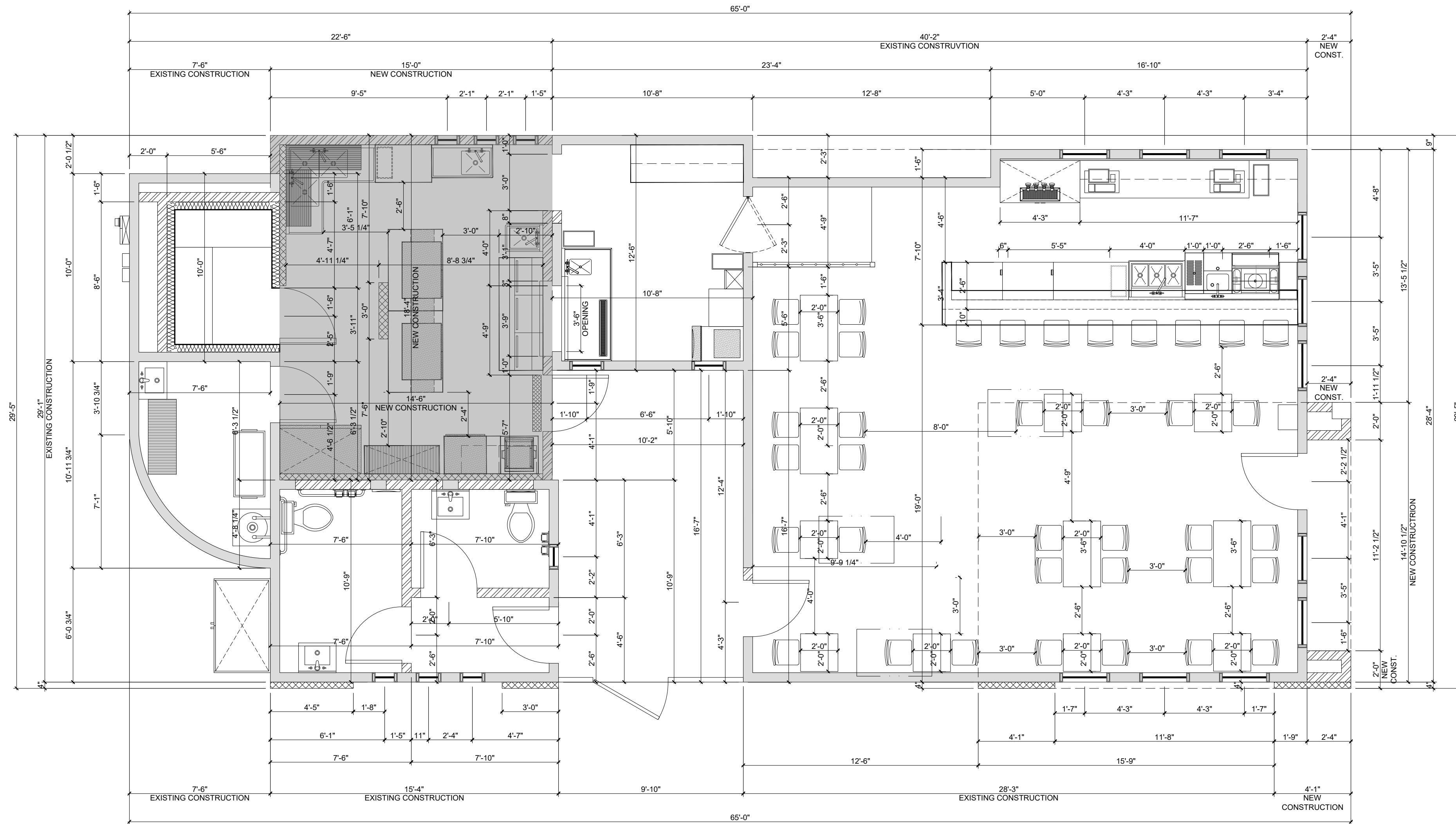
EXISTING / DEMOLITION FLOOR PLAN
 SCALE : 1/4" = 1'-0"



REMODEL / ADDITION FLOOR PLAN
 SCALE : 1/4" = 1'-0"

REVISIONS
 PLAN PREPARED OCT. 05, 2023
 PLAN CHECK
 PLAN CHECK
M80 DESIGN LLC.
 7635 CHURCH STREET - YUCCA VALLEY, CA. 92284
 PHONE: 760-985-2457 - EMAIL: M80DESIGNGROUP@OUTLOOK.COM

PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
 SHEET NAME: EXISTING & PROPOSED / FLOOR PLAN AND GENERAL NOTES
 THIS IS A COMMERCIAL REMODEL & ADDITION FOR:
LA CASA DEL TEQUILA
 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
 E-MAIL: YVWESTERDINER@GMAIL.COM
 PHONE: 951-850-3102
 DRAWN BY: M. TELLEZ
 DATE: INDICATED
 SCALE: INDICATED
 SHEET NO. **A-1**
 OF SHEETS



REMODEL / ADDITION
DIMENSION PLAN
SCALE : 1/4" = 1'-0"

PROJECT ADDRESS : 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: REMODEL AND ADDITION DIMENSION PLAN

THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

PHONE: 951-850-3102

E-MAIL: YVWESTERDINER@GMAIL.COM

DRAWN BY: M. TELLEZ

DATE: INDICATED

SCALE: INDICATED

SHEET NO.

A-2

OF SHEETS

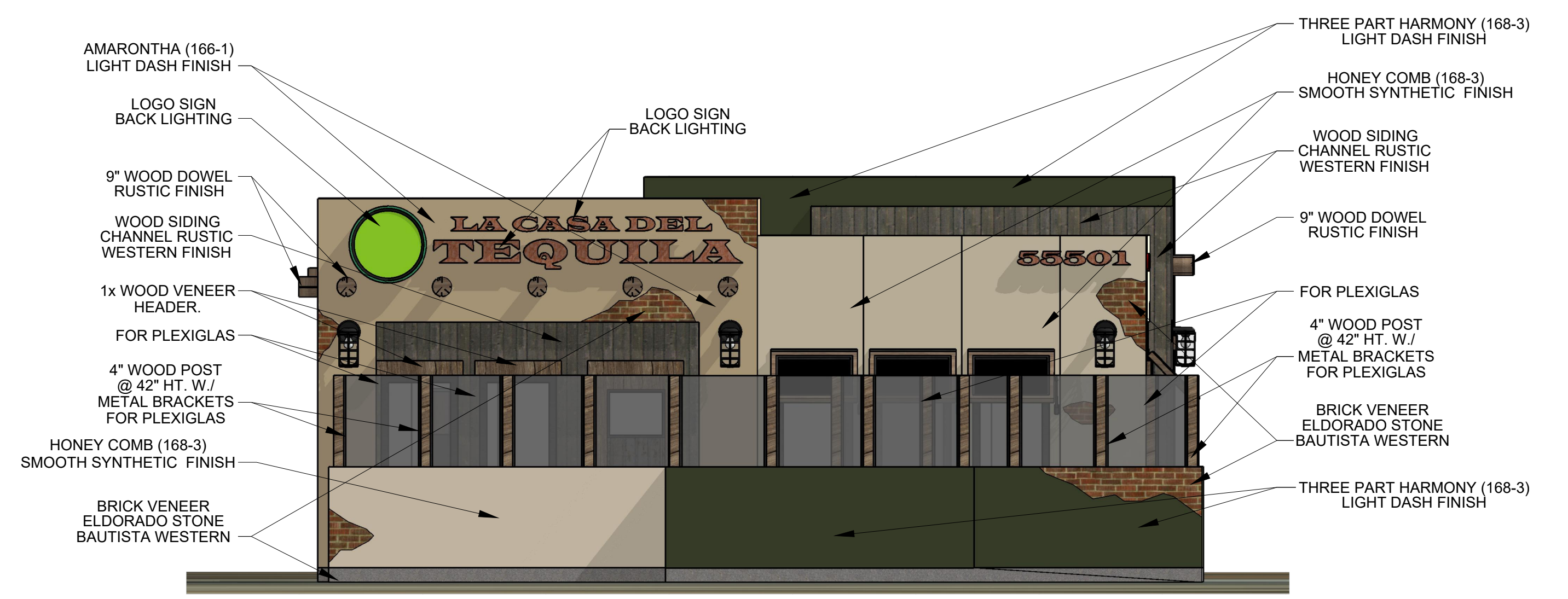
REVISIONS

PLAN PREPARED OCT. 05, 2023

PLAN CHECK

PLAN CHECK

M80 DESIGN LLC.
 7685 CHURCH STREET - YUCCA VALLEY, CA. 92284
 PHONE: 760-985-4457 - E-MAIL: M80DESIGNGROUP@OUTLOOK.COM



FRONT ELEVATION
 SCALE : 1/4" = 1'-0"

COLORS AND MATERIALS:

Three Part Harmony 155-6
 LIGHT DASH FINISH

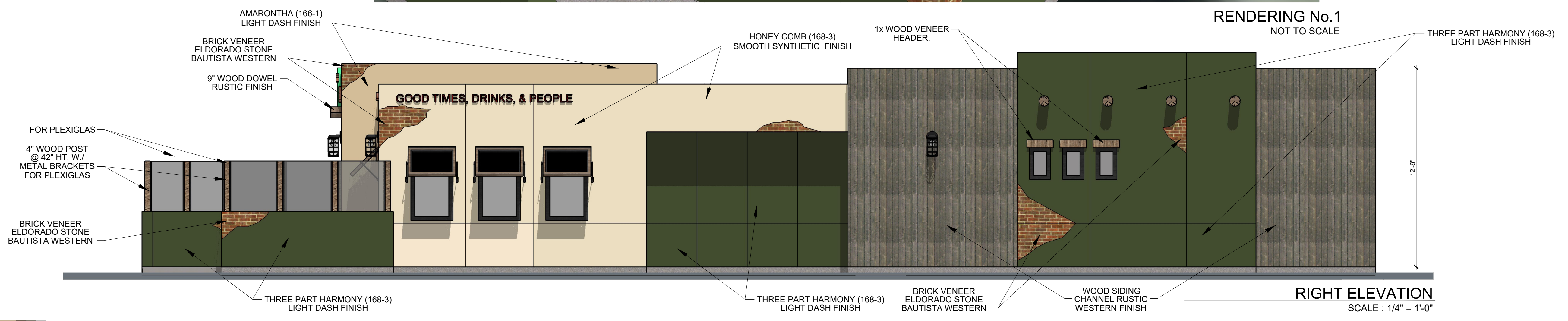
Honey Comb 168-3
 LIGHT DASH FINISH

Amarantha 166-1
 SMOOTH SYNTHETIC FINISH

WOOD SIDING CHANNEL RUSTIC WESTERN FINISH

BAUTISTA
 BRICK VENEER ELDERADO STONE BAUTISTA WESTERN

RENDERING No.1
 NOT TO SCALE



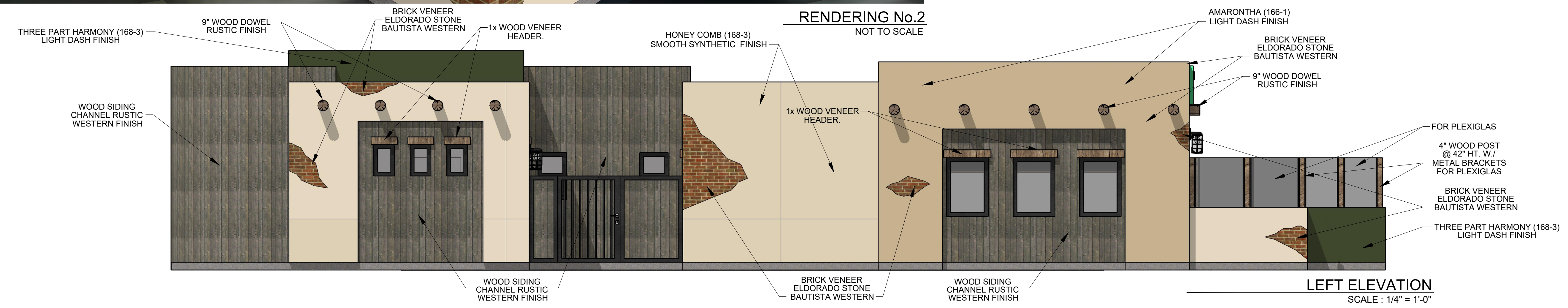
RIGHT ELEVATION
 SCALE : 1/4" = 1'-0"



RENDERING No.2
 NOT TO SCALE



REAR ELEVATION
 SCALE : 1/4" = 1'-0"



LEFT ELEVATION
 SCALE : 1/4" = 1'-0"

PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: RENDERINGS & PAINT / FINISH LAYOUT

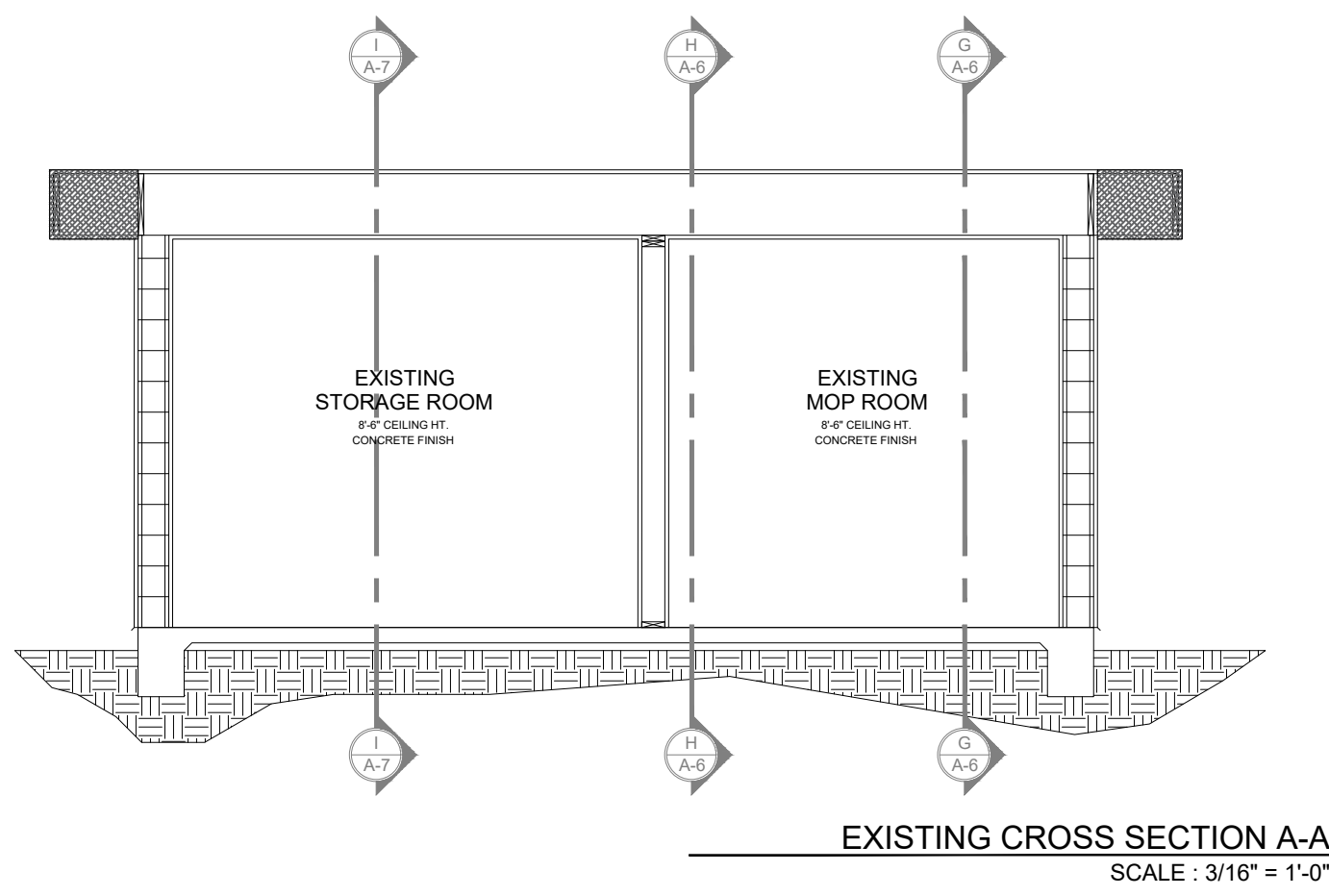
THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

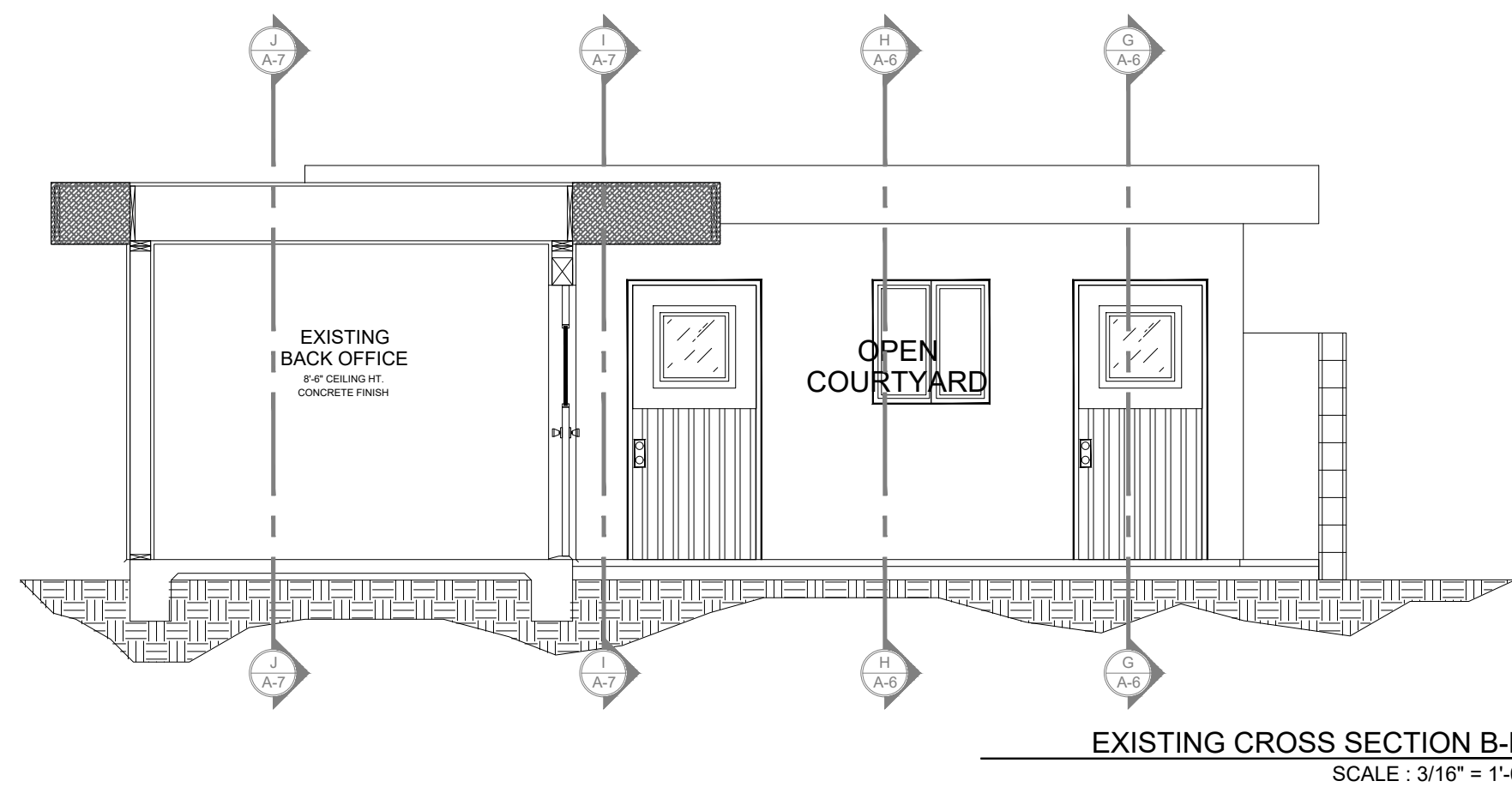
55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
 E-MAIL: YVWESTRINER@GMAIL.COM

DRAWN BY:	M. TELLEZ
DATE:	INDICATED
SCALE:	INDICATED

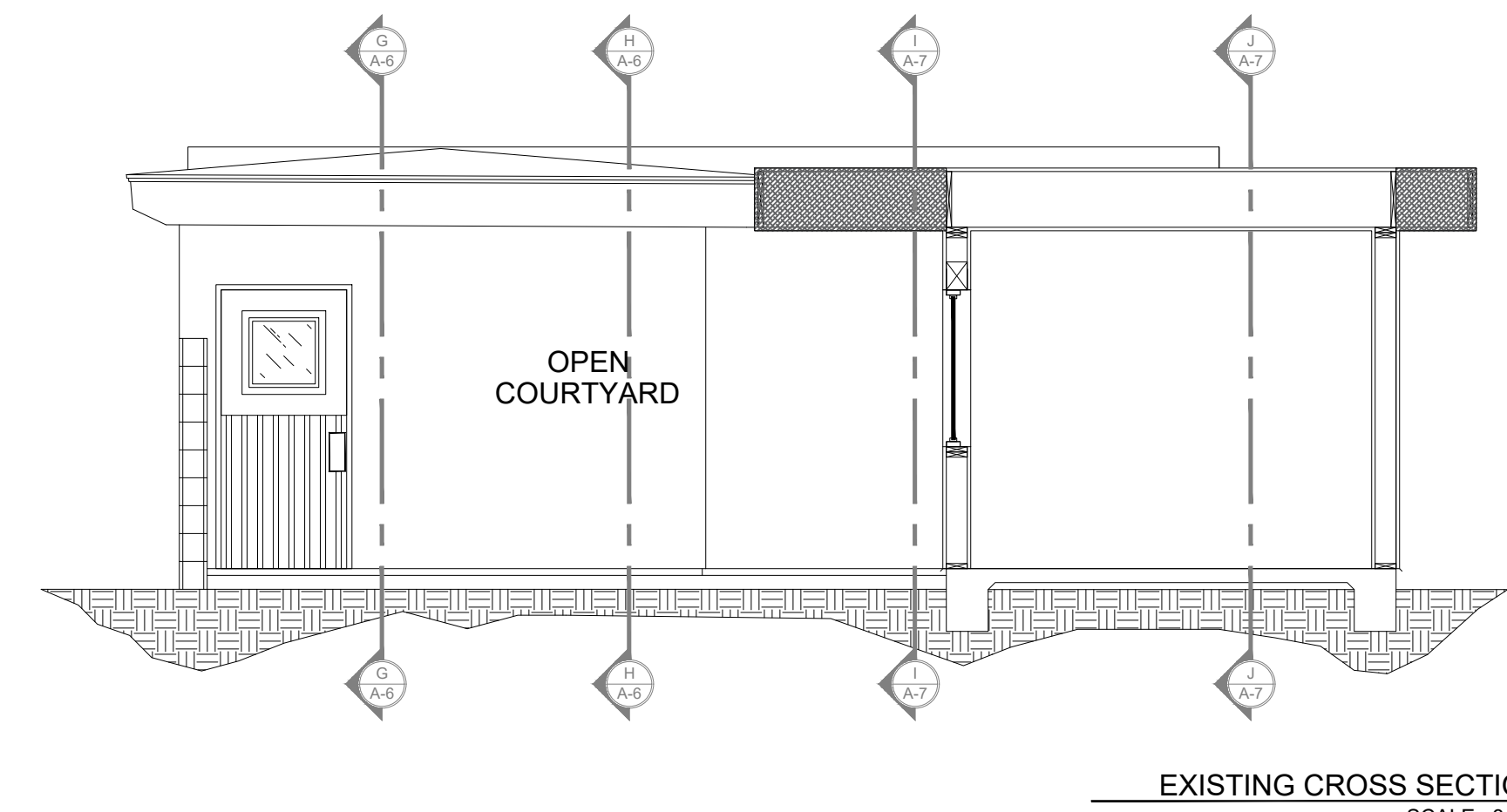
SHEET NO. **A-3**
 OF SHEETS



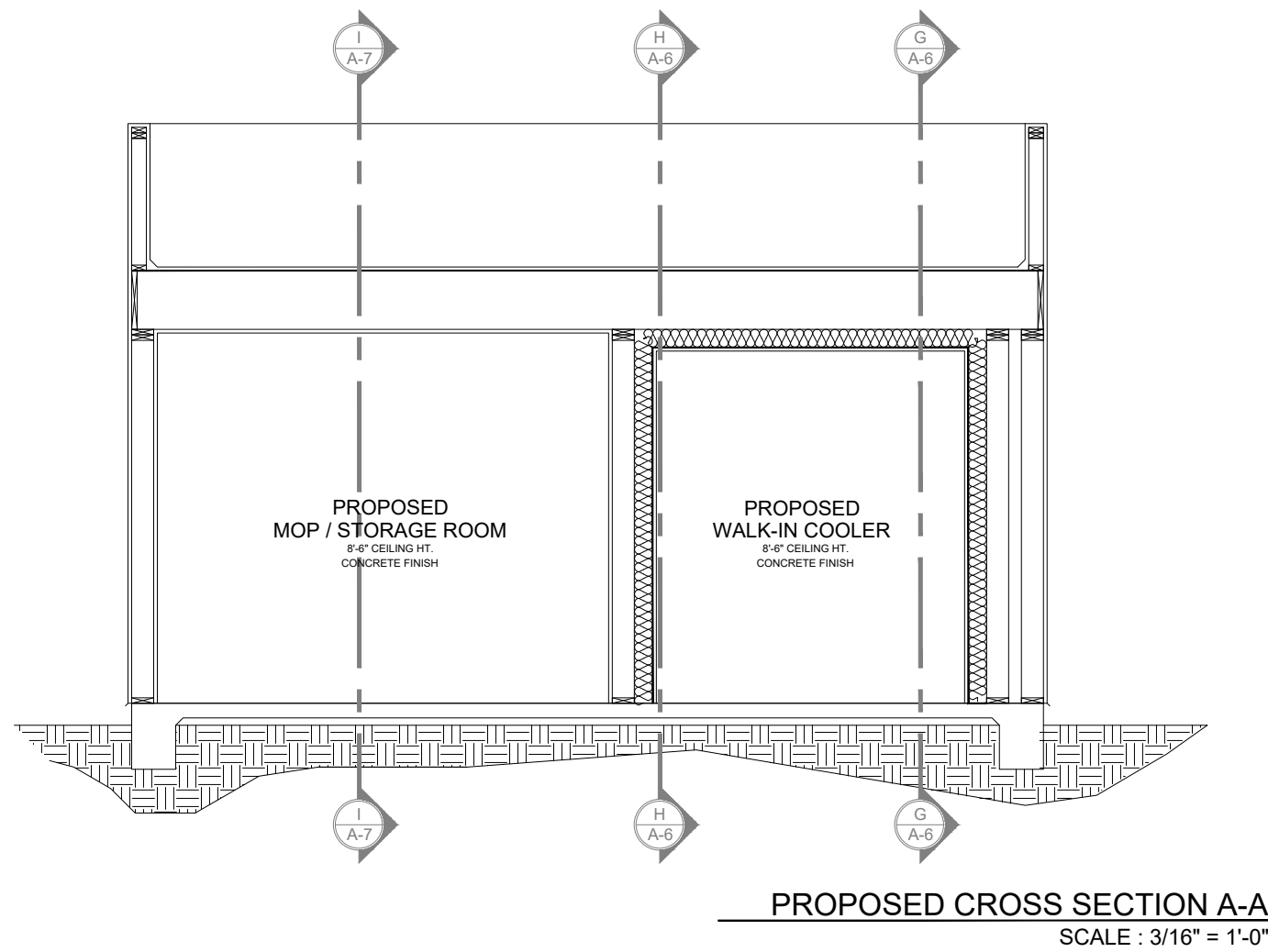
EXISTING CROSS SECTION A-A
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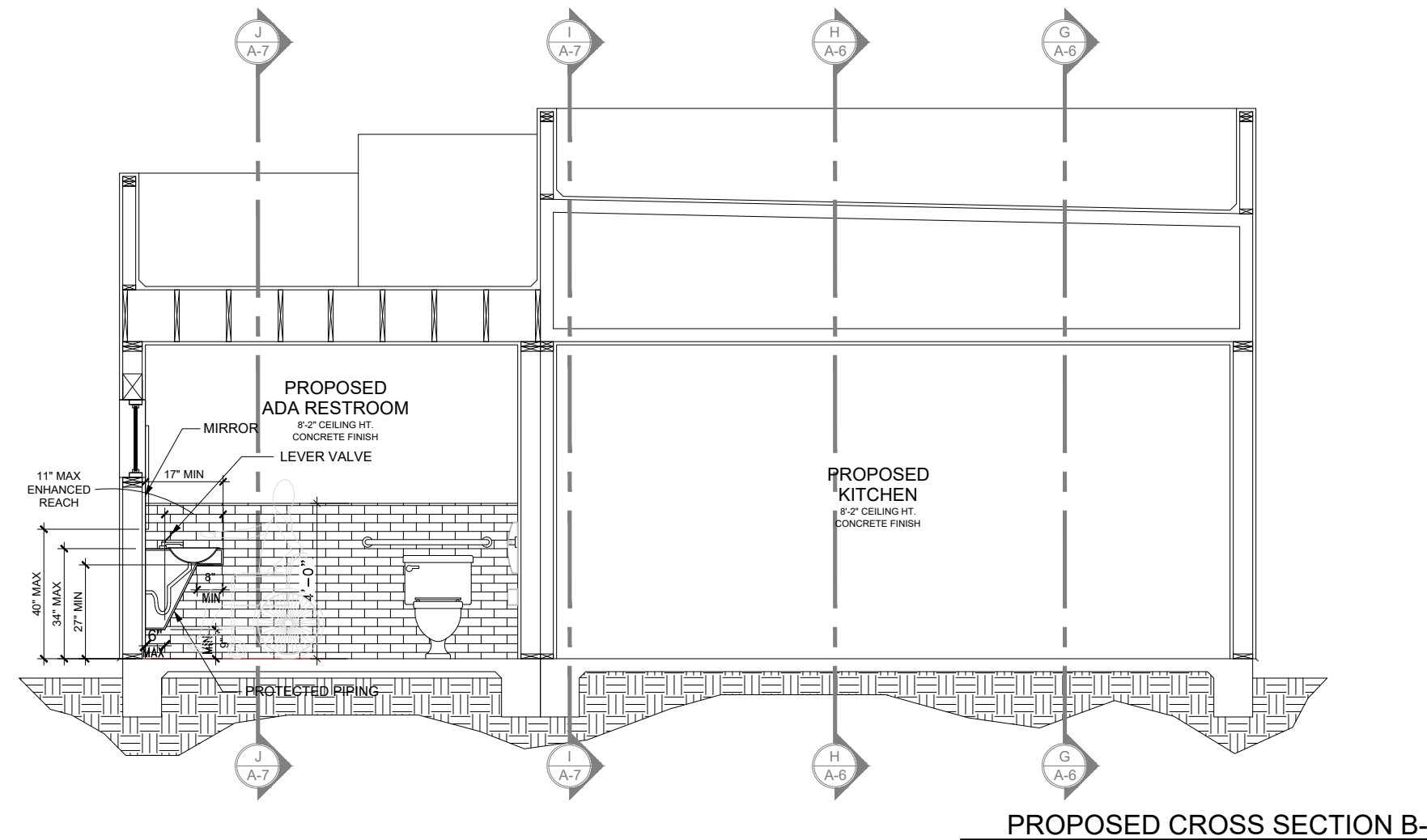
EXISTING CROSS SECTION B-B
 SCALE: 3/16" = 1'-0"



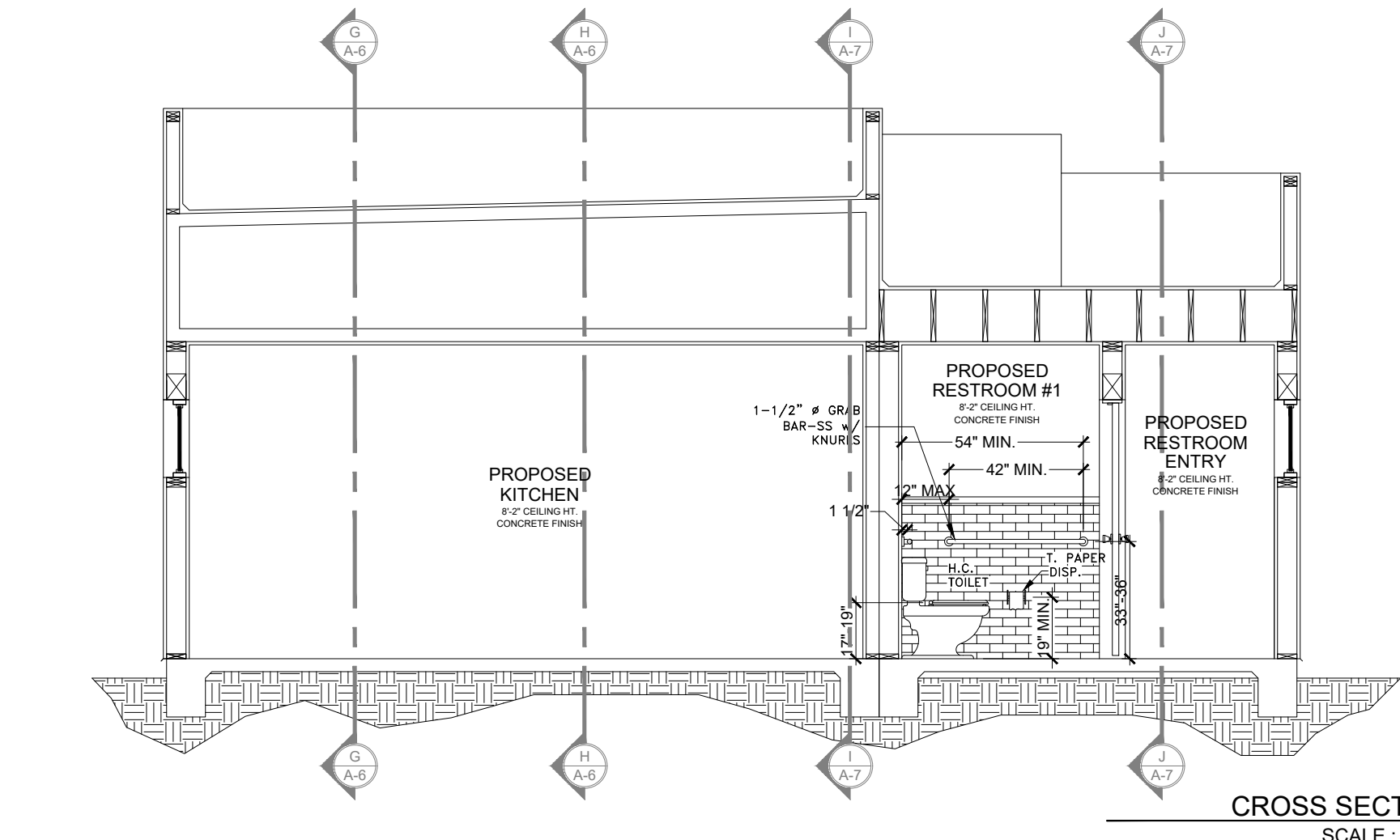
EXISTING CROSS SECTION C-C
 SCALE: 3/16" = 1'-0"



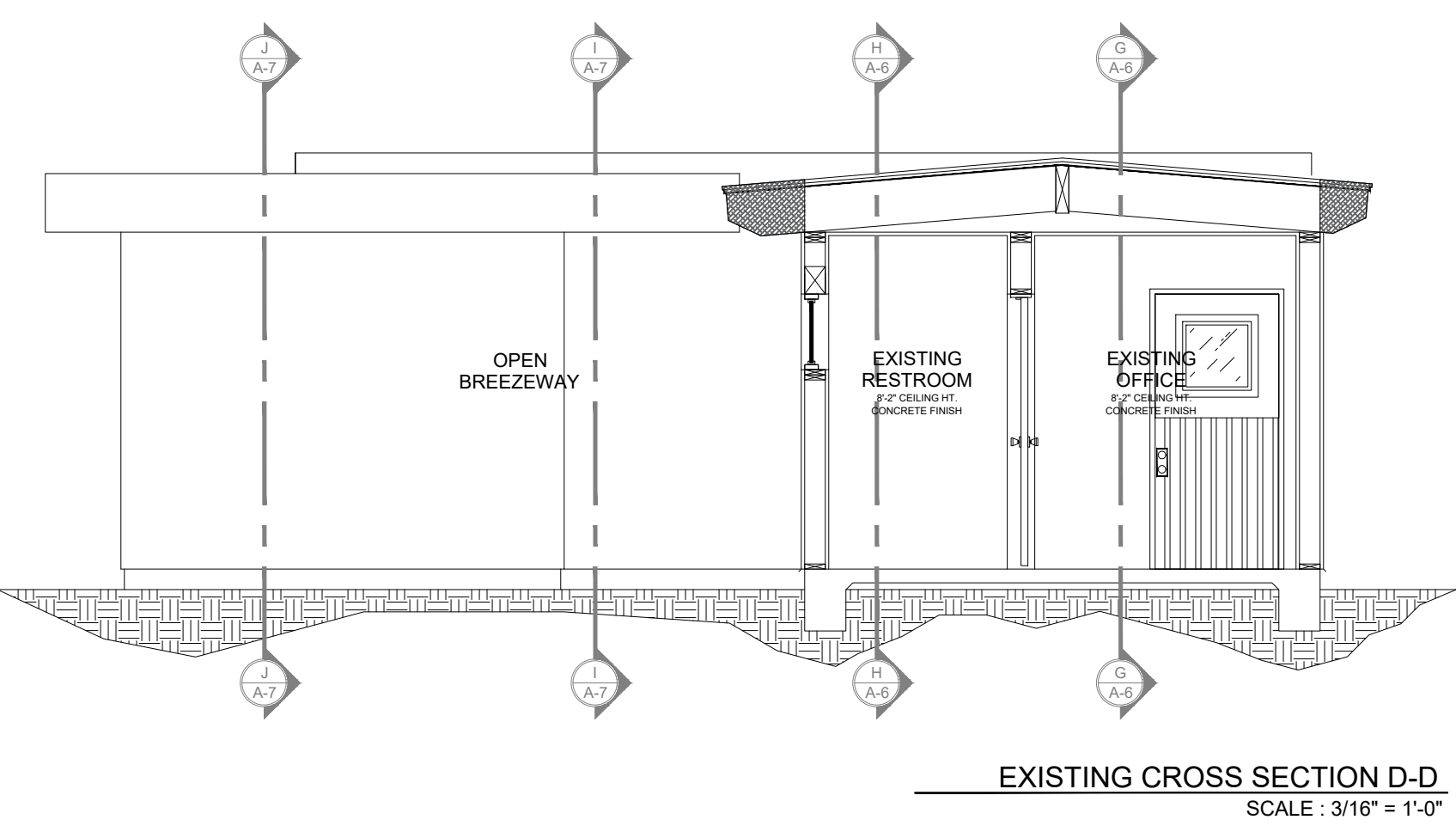
PROPOSED CROSS SECTION A-A
 SCALE: 3/16" = 1'-0"



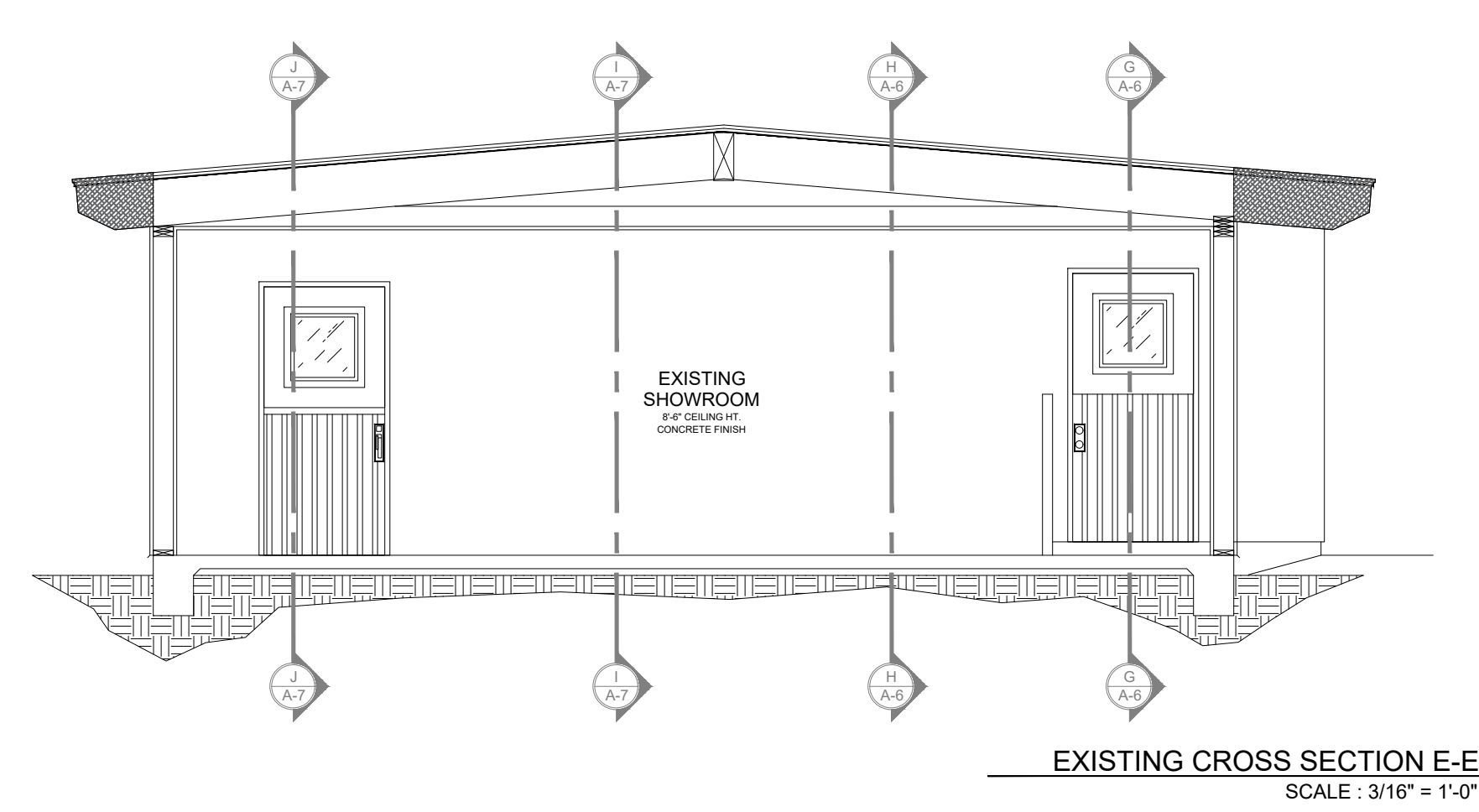
PROPOSED CROSS SECTION B-B
 SCALE: 3/16" = 1'-0"



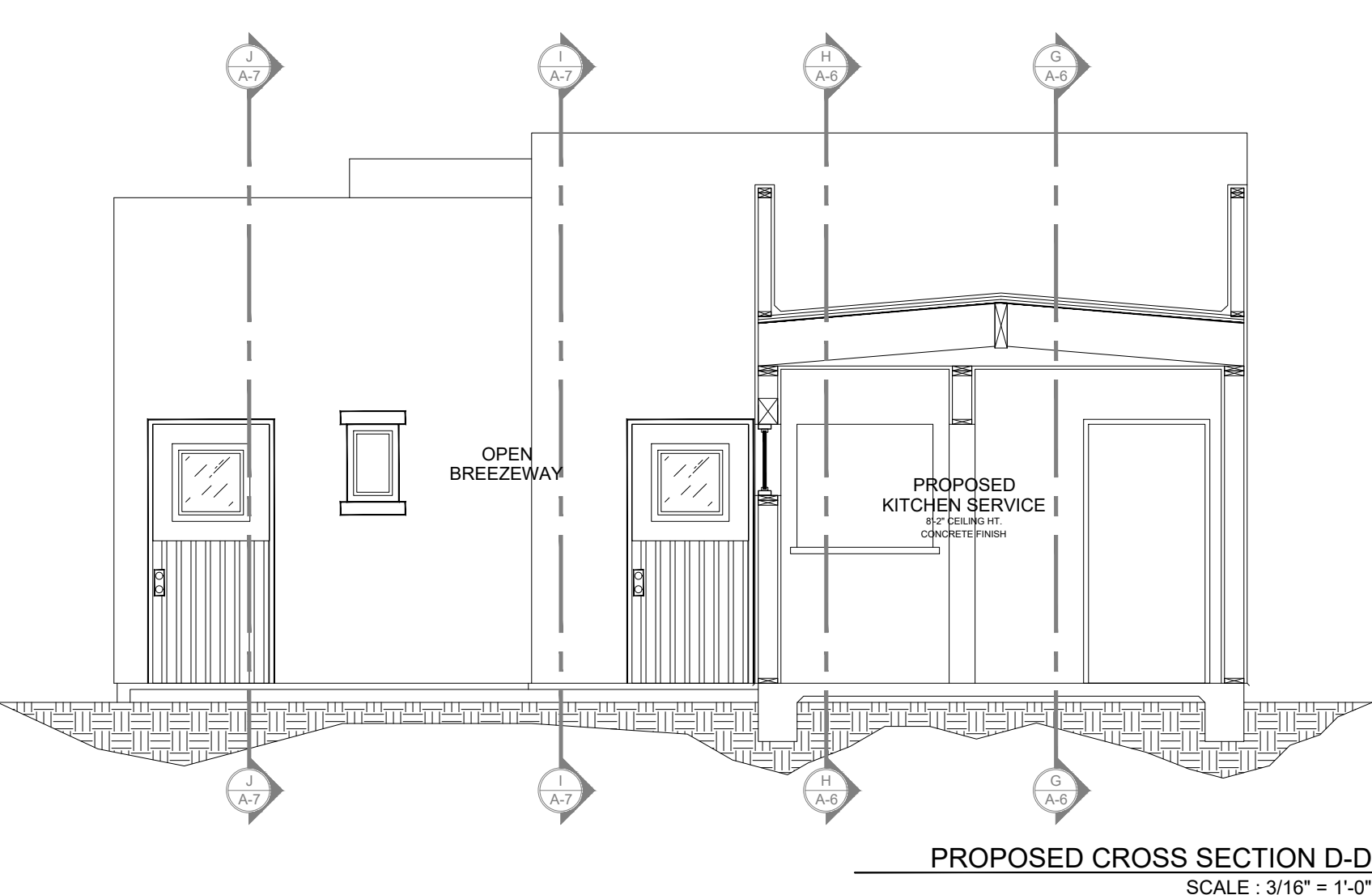
CROSS SECTION C-C
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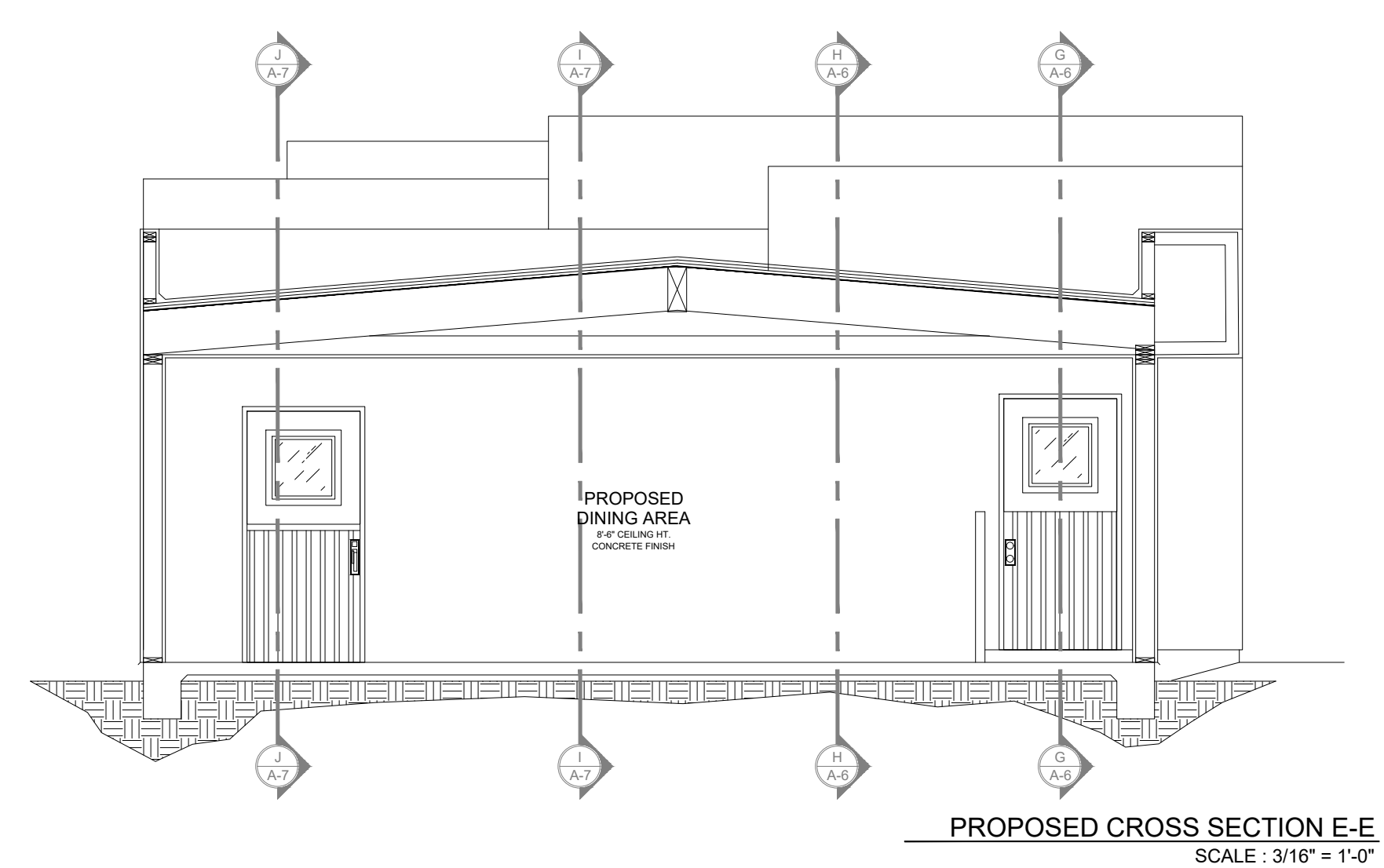
EXISTING CROSS SECTION D-D
 SCALE: 3/16" = 1'-0"



EXISTING CROSS SECTION E-E
 SCALE: 3/16" = 1'-0"



PROPOSED CROSS SECTION D-D
 SCALE: 3/16" = 1'-0"



PROPOSED CROSS SECTION E-E
 SCALE: 3/16" = 1'-0"

KEY NOTES:

- # - INDICATES SECTION NOTES, SEE NO. BELOW
- 1. 5/8" TYPE 'X' TYP. LOCATION BETWEEN GARAGE AND HOUSE.
- 2. 2x4 STUD WALL AT 16" O.C.
- 3. 2x6 STUD WALL AT 16" O.C.
- 4. 2x WOOD TRUSSES AT 24" O.C.
- 5. ROOF SHEATHING TO BE RADIANT BARRIER U.N.O.
- 6. CAVITY/FRAME: R-21 HD BATT @ 5.5 INCHES THICK. PER TITLE 24.
- 7. OVER CEILING JOIST R-38 HD BATT PER TITLE 24.
- 8. 6x HEADER
- 9. REFER TO EXTERIOR ELEVATIONS AND DETAILS FOR FASCIA AND BARGE.
- 10. PROVIDE 5/8" TYP 'X' DRYWALL FOR TRUSSES
- 11. CONCRETE SLAB, SLOPE MIN. 2" TO DRAIN.
- 12. CONCRETE SLAB.
- 13. 2X P.T. MUD SILL TYP.
- 14. CRICKET BUILD UP SLOPE TO DRAIN.
- 15. PROVIDE G.I. FLASHING AT ROOF TO WALL CONNECTION.
- 16. LINE OF WALL OR ELEVATION BEYOND.
- 17. STUCCO CEILING, TO MEET FIRE PROTECTED TO MEET CRC 337 PROVIDE DRAFTING STOPS AS REQUIRED. SEE FIRE NOTES.
- 18. 2X SOFFIT FRAMING.
- 19. CAVITY/FRAME: R-13.0 BATT INSULATION PER TITLE 24.
- 20. 2X DBL. PLATE.
- 21. 1/2" GYPSUM BOARD
- 22. EXTERIOR 3 COAT STUCCO FINISH. VERIFY COLOR AND FINISH. ALL EXTERIOR FINISHES TO BE FIRE PROTECTED ACCORDING TO CRC 337.
- 23. 2X12 TJS OR WOOD CEILING JOIST AT 16" O.C. U.O.N.
- 24. LOCATION OF ATTIC VENT. SEE CALCULATIONS FOR SIZE.
- 25. CLASS 'A' ROOFING MATERIAL. VERIFY WITH CONTRACTOR TO BE FIRE PROTECTED ACCORDING TO CRC 337.
- 26. 1" E.P.S. FOAM, R-4 RATING AT EXTERIOR WALLS.
- 27. 2X PARAPET
- 28. STUCCO WEEP SCREED PROVIDE MIN. 26 GA. (0.48MM) GALVANIZED WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" MIN. ABOVE EARTH OR 2" MIN. ABOVE PAVED AREAS.
- 29. PROVIDE DRAFTING STOPS AS REQUIRED. SEE FIRE NOTES.
- 30. 2x WOOD STUD FALSE WALL TO CREATE VOLUME STUCCO OVER TYPICAL UNLESS NOTED OTHERWISE.

FIRE NOTES:

- FIRE BLOCKS AND DRAFT STOPS (CRC R302.11, R302.12) FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS.
1. IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS AND AT 6-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. ALSO SEE SECTION 803.4.1
 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 3. IN CONCEALED SPACES BETWEEN STAIR AND STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND IN BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS ARE UNFINISHED.
 4. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEY, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON COMBUSTIBLE MATERIALS.
 5. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR A FACTORY-BUILT CHIMNEY.
 6. WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTIVE FLOORS, THE SPACE BETWEEN THE FLOOR AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH NONCOMBUSTIBLE OR FIRE BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPENING UNDER THE FLOORING THAT EXCEEDS 100 SQUARE FEET IN AN AREA SUCH SPACE SHALL BE FILLED SOLIDLY UNDER ALL PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINED ROOMS.
 7. FIRE BLOCKING CONSTRUCTION: FIRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER OR TWO THICKNESS OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 2X12 INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD.

NOTES:

- A. THESE SECTIONS ARE FOR PROFILES OF CEILING HEIGHTS, PLATES HEIGHTS, AND GENERAL SHAPES OF TRUSSES ONLY. REFER TO STRUCTURAL PLANS BY E.O.R. FOR FRAMING AND FOUNDATION INFORMATION AS SHEAR PANEL / BEAM SIZE AND LOCATION, DETAILS AND FRAMING LAYOUT. (IF APPLIES TO PROJECT, TRUSSES CALCULATIONS AND ROOF LAYOUT PROVIDED BY MANUFACTURER, SEE ATTACHED.)
- B. PROVIDE RADIANT BARRIER AS REQUIRED BY THE T-24 ENERGY REPORT.
- C. ALL VERTICAL ATTIC SURFACES (I.E. GABLE ENDS, PARAPET WALL, (ETC.) SHALL BE PROVIDED WITH RADIANT BARRIER. A MINIMUM 1 INCH AIR SPACE SHALL BE PROVIDED IN ENCLOSED RAFTER SPACE.
- E. PROVIDE WATER-RESISTENT GYPSUM BOARD BEHIND TUBS AND SHOWER ENCLOSURES MATERIALS TO A HEIGHT OF 70" MINIMUM ABOVE DRAIN.
- F. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME - SPREAD RATING OF NOT MORE THAN 75 AND A SMOKE - DEVELOPED RATING OF NOT MORE THAN 450.
- G. RADIANT BARRIER SHALL BE INSTALLED ON ALL VERTICAL SURFACES OF ALL ATTIC SPACES PER THE ENERGY REPORT (T-24) REQUIREMENTS.
- H. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGES OF FLAME AND PRODUCTS OF COMBUSTION. (CRC R302.5)
- I. PARCEL IS LOCATED WITHIN FIRE SAFETY OVERLAY (FS1). ALL MATERIALS AND CONSTRUCTION SHALL ADHERE TO CRC R337. ROOFING, VENTS, EXTERIOR COVERING UNDERSIDE OF CARPORT, ROOF EAVES, ETC. SHALL BE FIRE PROTECTED ACCORDING TO R337.

PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: EXISTING AND PROPOSED CROSS SECTIONS

THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

PHONE: 951-850-3102

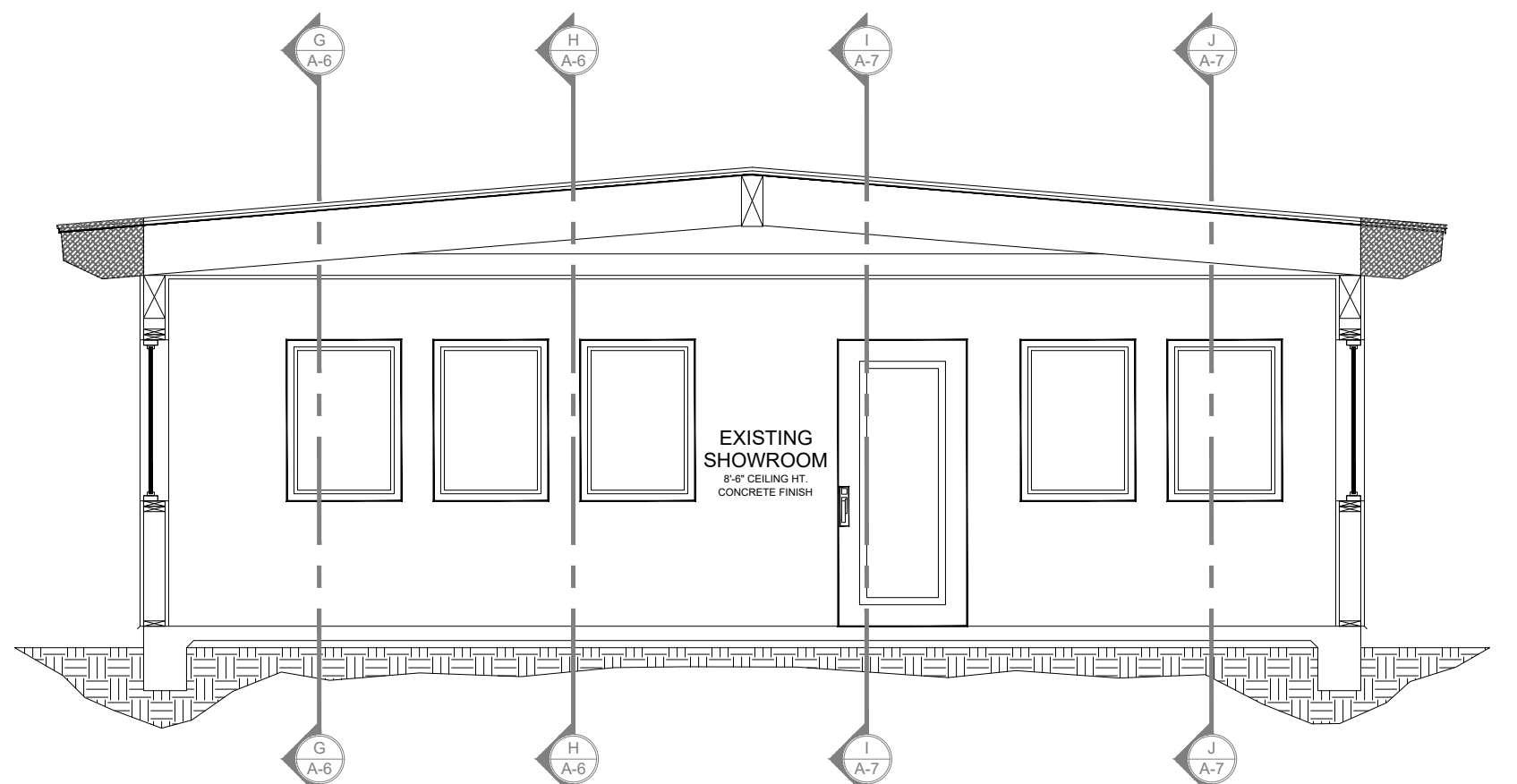
E-MAIL: YVWESTERDINER@GMAIL.COM

DRAWN BY: M. TELLEZ

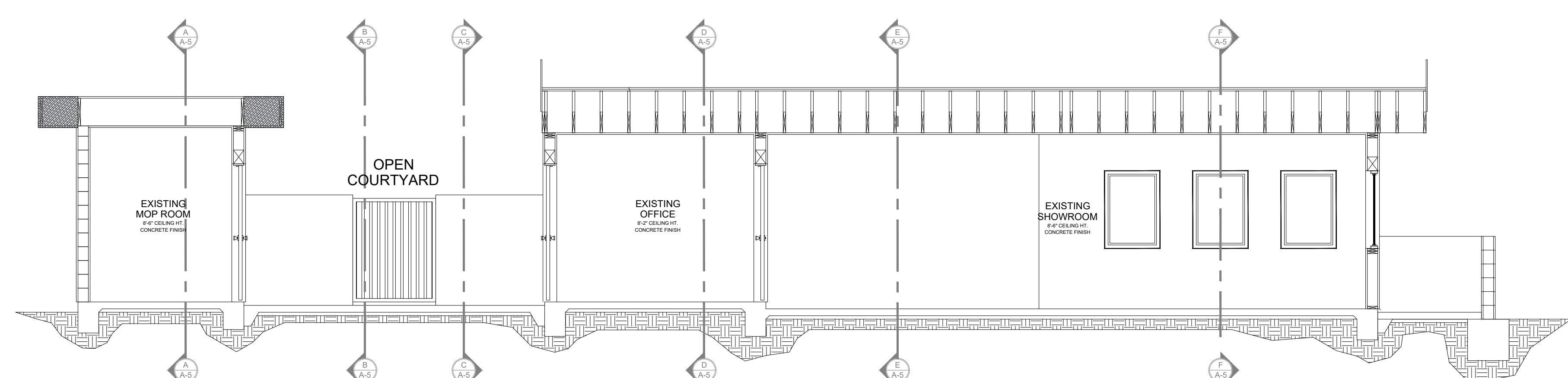
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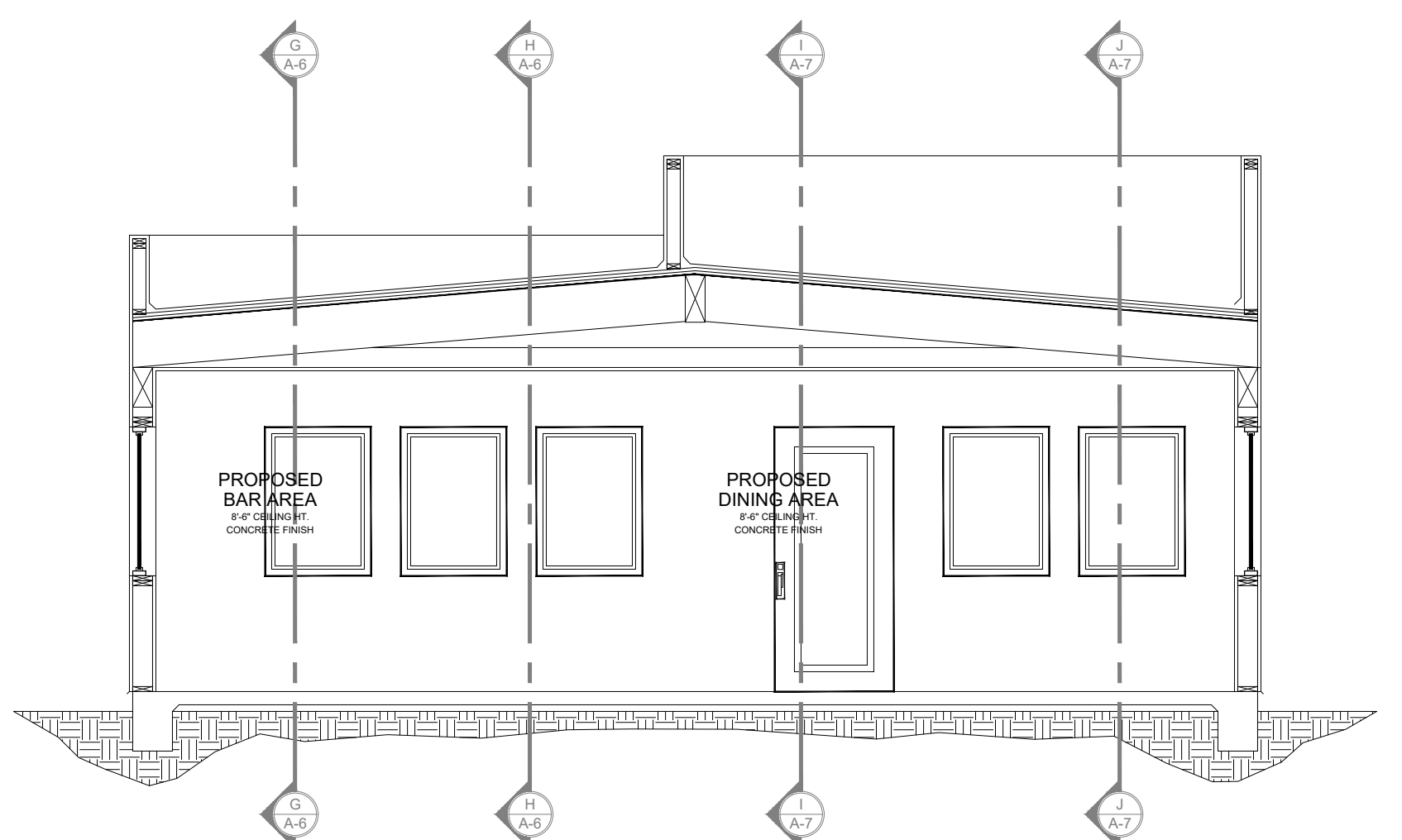
SHEET NO. **A-5**
 OF SHEETS



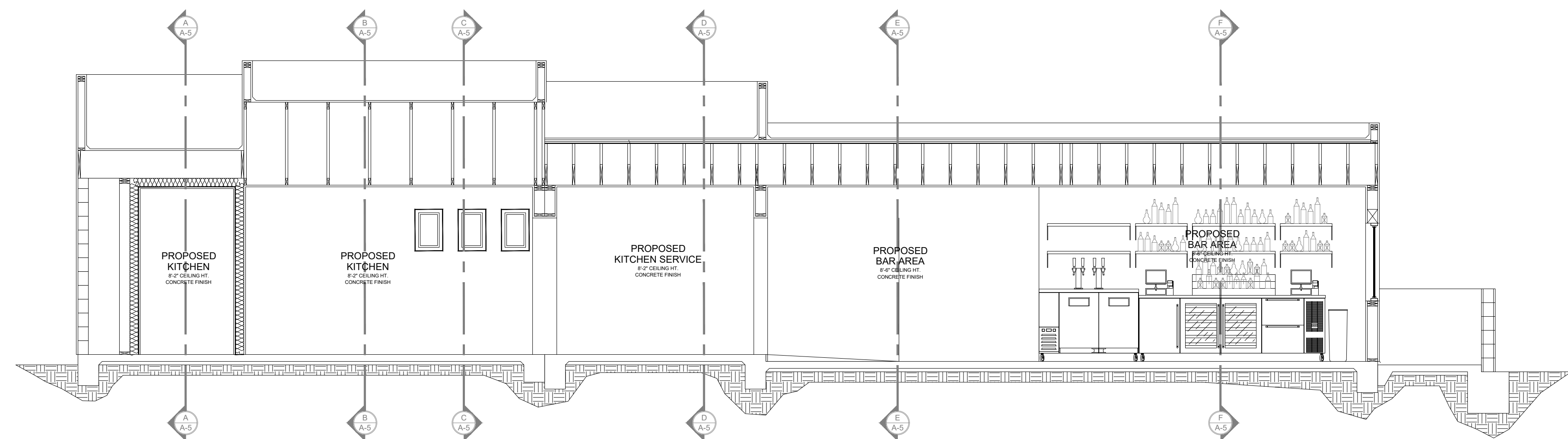
EXISTING CROSS SECTION F-F
 SCALE: 3/16" = 1'-0"



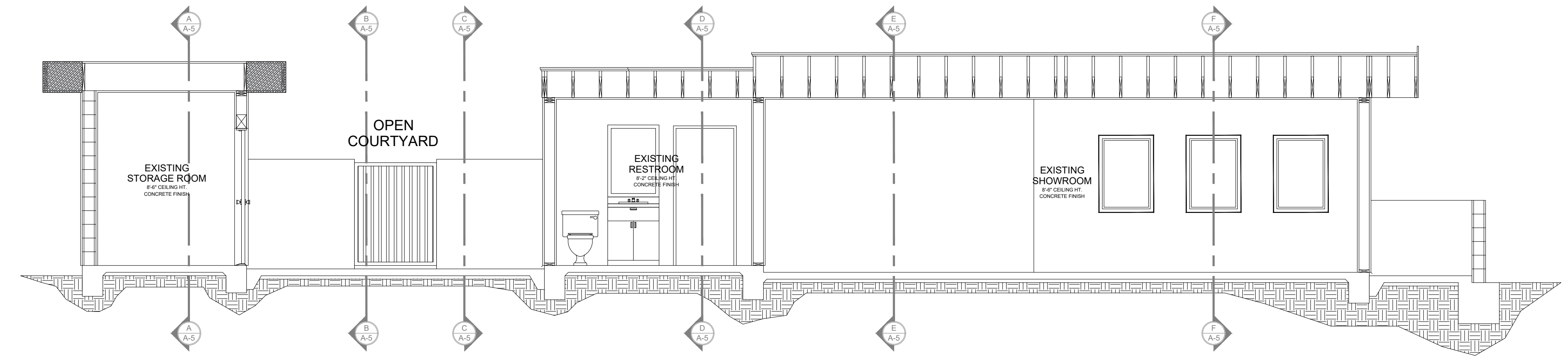
EXISTING CROSS SECTION G-G
 SCALE: 3/16" = 1'-0"



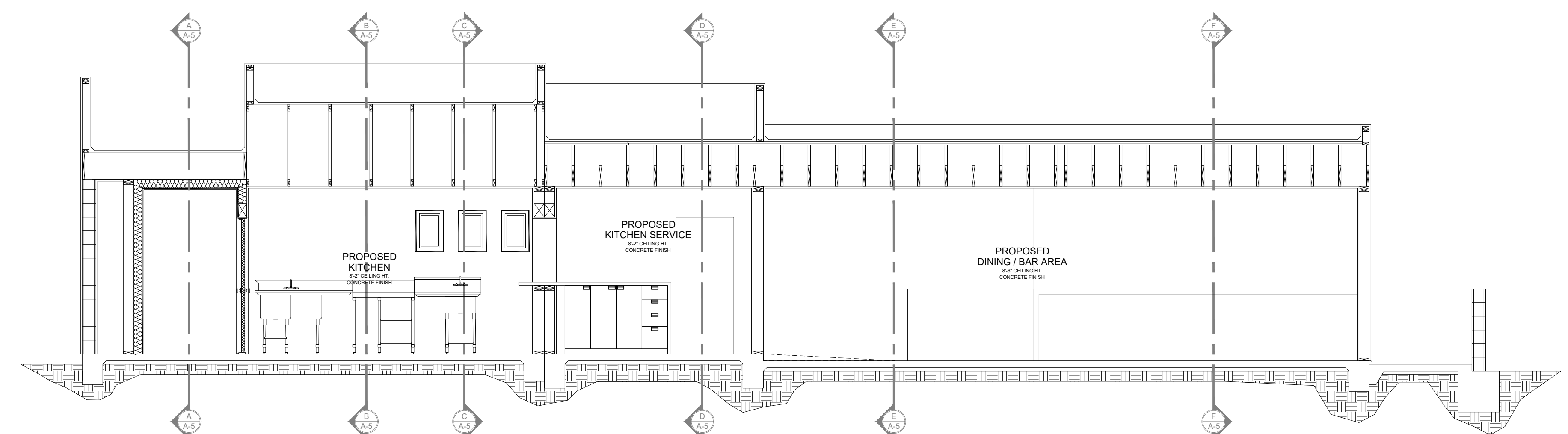
PROPOSED CROSS SECTION F-F
 SCALE: 3/16" = 1'-0"



PROPOSED CROSS SECTION G-G
 SCALE: 3/16" = 1'-0"



EXISTING CROSS SECTION H-H
 SCALE: 3/16" = 1'-0"



PROPOSED CROSS SECTION H-H
 SCALE: 3/16" = 1'-0"

KEY NOTES:

1. 5/8" TYPE 'X' TYP. LOCATION BETWEEN GARAGE AND HOUSE.
2. 2x4 STUD WALL AT 16" O.C.
3. 2x6 STUD WALL AT 16" O.C.
4. 2x WOOD TRUSSES AT 24" O.C.
5. ROOF SHEATHING TO BE RADIANT BARRIER U.N.O.
6. CAVITY/ FRAME: R-21 HD BATT @ 5.5 INCHES THICK. PER TITLE 24.
7. OVER CEILING JOIST R-38 HD BATT PER TITLE 24.
8. 6x HEADER
9. REFER TO EXTERIOR ELEVATIONS AND DETAILS FOR FASCIA AND BARGE.
10. PROVIDE 5/8" TYP 'X' DRYWALL FOR TRUSSES
11. CONCRETE SLAB, SLOPE MIN. 2" TO DRAIN.
12. CONCRETE SLAB.
13. 2X P.T. MUD SILL TYP.
14. CRICKET BUILD UP SLOPE TO DRAIN.
15. PROVIDE G.I. FLASHING AT ROOF TO WALL CONNECTION.
16. LINE OF WALL OR ELEVATION BEYOND.
17. STUCCO CEILING TO MEET FIRE PROTECTED TO MEET CRC 337 PROVIDE DRAFTING STOPS AS REQUIRED. SEE FIRE NOTES.
18. 2X SOFFIT FRAMING.
19. CAVITY/ FRAME: R-13.0 BATT INSULATION PER TITLE 24.
20. 2X DBL. PLATE.
21. 1/2" GYPSUM BOARD
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25. CLASS 'A' ROOFING MATERIAL. VERIFY WITH CONTRACTOR TO BE FIRE PROTECTED ACCORDING TO CRC 337
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27. 2X PARAPET
28. STUCCO WEEP SCREED PROVIDE MIN. 26 GA. (0.48MM) GALVANIZED WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" MIN. ABOVE EARTH OR 2" MIN. ABOVE PAVED AREAS.
29. PROVIDE DRAFTING STOPS AS REQUIRED. SEE FIRE NOTES.
30. 2x WOOD STUD FALSE WALL TO CREATE VOLUME STUCCO OVER TYPICAL UNLESS NOTED OTHERWISE.

FIRE NOTES:

- FIRE BLOCKS AND DRAFT STOPS:(CRC R302.11, R302.12)
 FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS.
1. IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. ALSO SEE SECTION 603.4.1
 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
 3. IN CONCEALED SPACES BETWEEN STAIR AND STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND IN BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS ARE UNFINISHED.
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 5. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR A FACTORY-BUILT CHIMNEY
 6. WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTIVE FLOORS, THE SPACE BETWEEN THE FLOOR AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH NONCOMBUSTIBLE OR FIRE BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPENING UNDER THE FLOORING THAT EXCEEDS 100 SQUARE FEET IN AN AREA SUCH SPACE SHALL BE FILLED SOLIDLY UNDER ALL PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINED ROOMS.
 7. FIRE BLOCKING CONSTRUCTION:
 FIRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER OR TWO THICKNESS OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 2X12 INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE-BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD.

NOTES:

- A. THESE SECTIONS ARE FOR PROFILES OF CEILING HEIGHTS, PLATES HEIGHTS, AND GENERAL SHAPES OF TRUSSES ONLY. REFER TO STRUCTURAL PLANS BY E.O.R. FOR FRAMING AND FOUNDATION INFORMATION AS SHEAR PANEL / BEAM SIZE AND LOCATION, DETAILS AND FRAMING LAYOUT. (IF APPLIES TO PROJECT, TRUSSES CALCULATIONS AND ROOF LAYOUT PROVIDED BY MANUFACTURER, SEE ATTACHED.)
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- C. ALL VERTICAL ATTIC SURFACES (I.E. GABLE ENDS, PARAPET WALL, ETC.) SHALL BE PROVIDED WITH RADIANT BARRIER.
 A. MINIMUM 1 INCH AIR SPACE SHALL BE PROVIDED IN ENCLOSED BAFER SPACE.
- E. PROVIDE WATER-RESISTENT GYPSUM BOARD BEHIND TUBS AND SHOWER ENCLOSURES MATERIALS TO A HEIGHT OF 70" MINIMUM ABOVE DRAIN.
- F. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME - SPREAD RATING OF NOT MORE THAN 75 AND A SMOKE - DEVELOPED RATING OF NOT MORE THAN 450.
- G. RADIANT BARRIER SHALL BE INSTALLED ON ALL VERTICAL SURFACES OF ALL ATTIC SPACES PER THE ENERGY REPORT (T-24) REQUIREMENTS.
- H. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGES OF FLAME AND PRODUCTS OF COMBUSTION. (CRC R302.5)
- I. PARCEL IS LOCATED WITHIN FIRE SAFETY OVERLAY (FS1). ALL MATERIALS AND CONSTRUCTION SHALL ADHERE TO CRC R337. ROOFING, VENTS, EXTERIOR COVERINGS UNDERSIDE OF CARPORT, ROOF EAVES, ETC. SHALL BE FIRE PROTECTED ACCORDING TO R337.

PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: EXISTING AND PROPOSED CROSS SECTIONS

THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

E-MAIL: YVWESTERDINER@GMAIL.COM

PHONE: 951-850-3102

DRAWN BY: M. TELLEZ

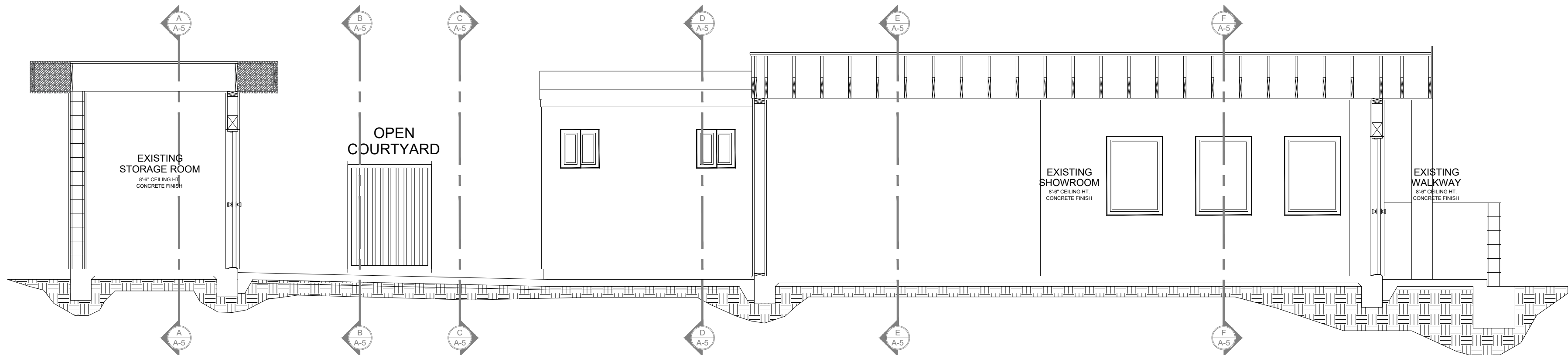
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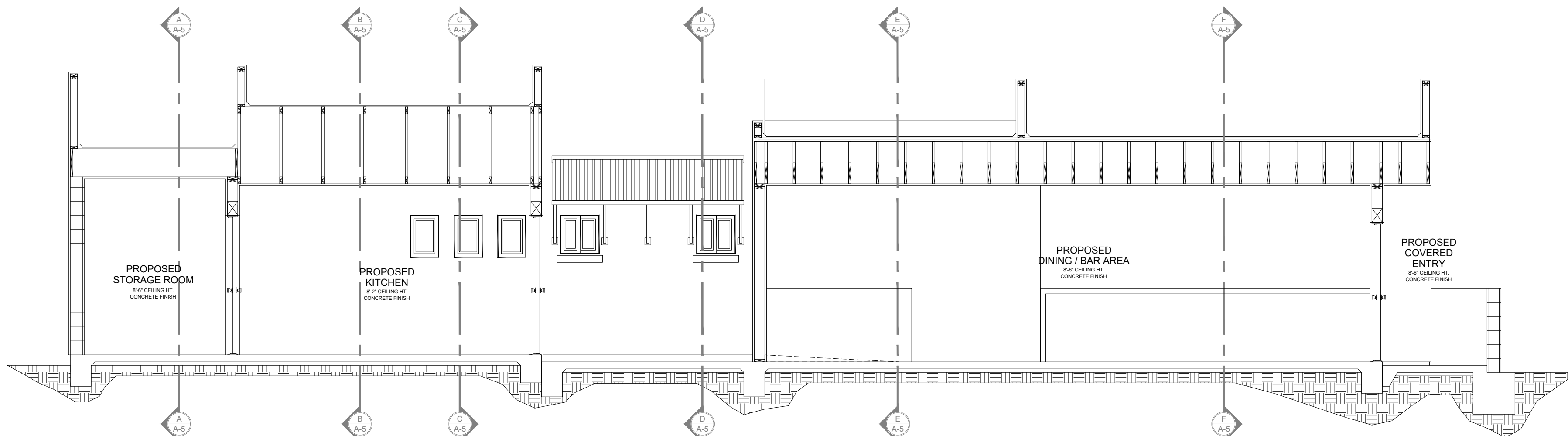
SHEET NO.

A-6

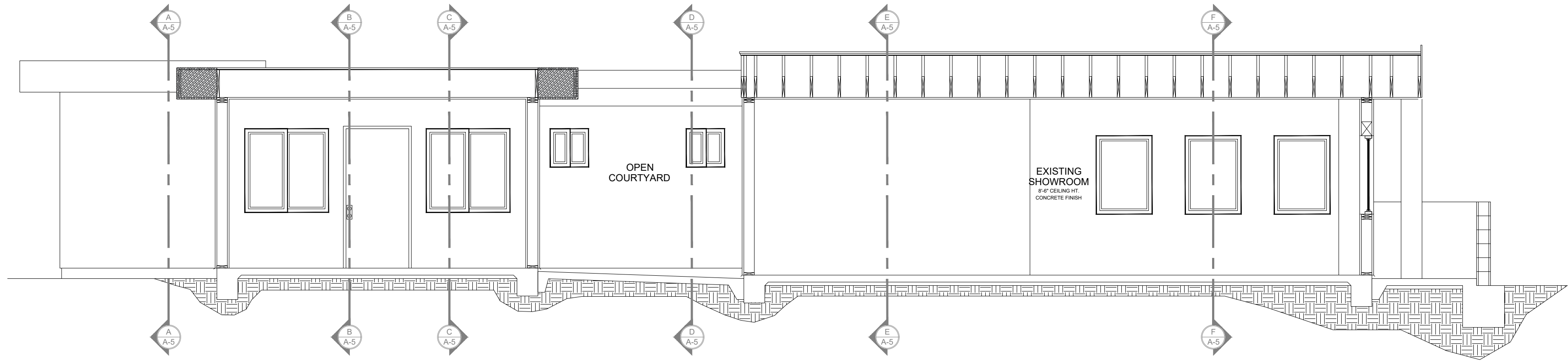
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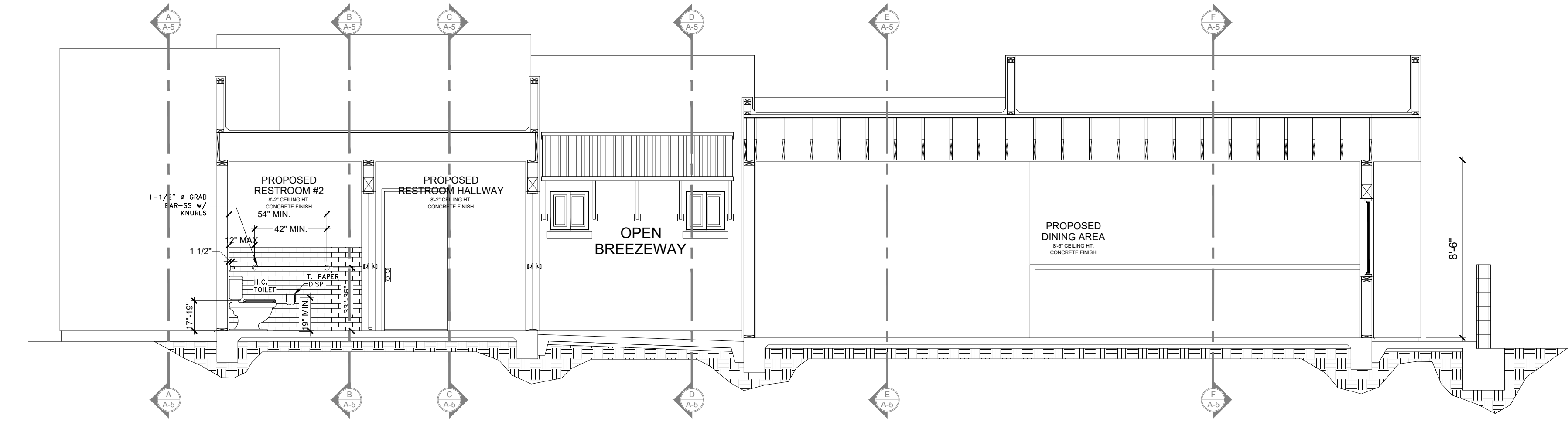
EXISTING CROSS SECTION I-I
SCALE: 3/16" = 1'-0"



PROPOSED COVERED CROSS SECTION I-I
SCALE: 3/16" = 1'-0"



CROSS SECTION J-J
SCALE: 3/16" = 1'-0"



CROSS SECTION J-J
SCALE: 3/16" = 1'-0"

KEY NOTES:

- # - INDICATES SECTION NOTES, SEE NO. BELOW
- 1. 5/8" TYPE "X" TYP. LOCATION BETWEEN GARAGE AND HOUSE.
- 2. 2x4 STUD WALL AT 16" O.C.
- 3. 2x6 STUD WALL AT 16" O.C.
- 4. 2x WOOD TRUSSES AT 24" O.C.
- 5. ROOF SHEATHING TO BE RADIANT BARRIER U.N.O.
- 6. CAVITY/ FRAME R-21 HD BATT @ 5.5 INCHES THICK. PER TITLE 24.
- 7. OVER CEILING JOIST R-38 HD BATT PER TITLE 24.
- 8. 6x HEADER
- 9. REFER TO EXTERIOR ELEVATIONS AND DETAILS FOR FASCIA AND BARGE.
- 10. PROVIDE 5/8" TYP "X" DRYWALL FOR TRUSSES
- 11. CONCRETE SLAB, SLOPE MIN. 2" TO DRAIN.
- 12. CONCRETE SLAB.
- 13. 2X P.T. MUD SILL TYP.
- 14. CRICKET BUILD UP SLOPE TO DRAIN.
- 15. PROVIDE G.I. FLASHING AT ROOF TO WALL CONNECTION.
- 16. LINE OF WALL OR ELEVATION BEYOND.
- 17. STUCCO CEILING. TO MEET FIRE PROTECTED TO MEET CRC 337 PROVIDE DRAFTING STOPS AS REQUIRED. SEE FIRE NOTES.
- 18. 2X SOFFIT FRAMING
- 19. CAVITY/ FRAME: R-13.0 BATT INSULATION PER TITLE 24.
- 20. 2X DBL. PLATE.
- 21. 1/2" GYPSUM BOARD
- 22. EXTERIOR 3 COAT STUCCO FINISH. VERIFY COLOR AND FINISH. ALL EXTERIOR FINISHES TO BE FIRE PROTECTED ACCORDING TO CRC 337
- 23. 2X12 TJS OR WOOD CEILING JOIST AT 16" O.C. U.O.N.
- 24. LOCATION OF ATTIC VENT. SEE CALCULATIONS FOR SIZE.
- 25. CLASS 'A' ROOFING MATERIAL. VERIFY WITH CONTRACTOR TO BE FIRE PROTECTED ACCORDING TO CRC 337
- 26. 1" E.P.S. FOAM R-4 RATING AT EXTERIOR WALLS.
- 27. 2X PARAPET
- 28. STUCCO WEEP SCREED PROVIDE MIN. 26 GA. (0.48MM) GALVANIZED WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" MIN. ABOVE EARTH OR 2" MIN. ABOVE PAVED AREAS.
- 29. PROVIDE DRAFTING STOPS AS REQUIRED. SEE FIRE NOTES.
- 30. 2x WOOD STUD FALSE WALL TO CREATE VOLUME STUCCO OVER TYPICAL UNLESS NOTED OTHERWISE.

FIRE NOTES:

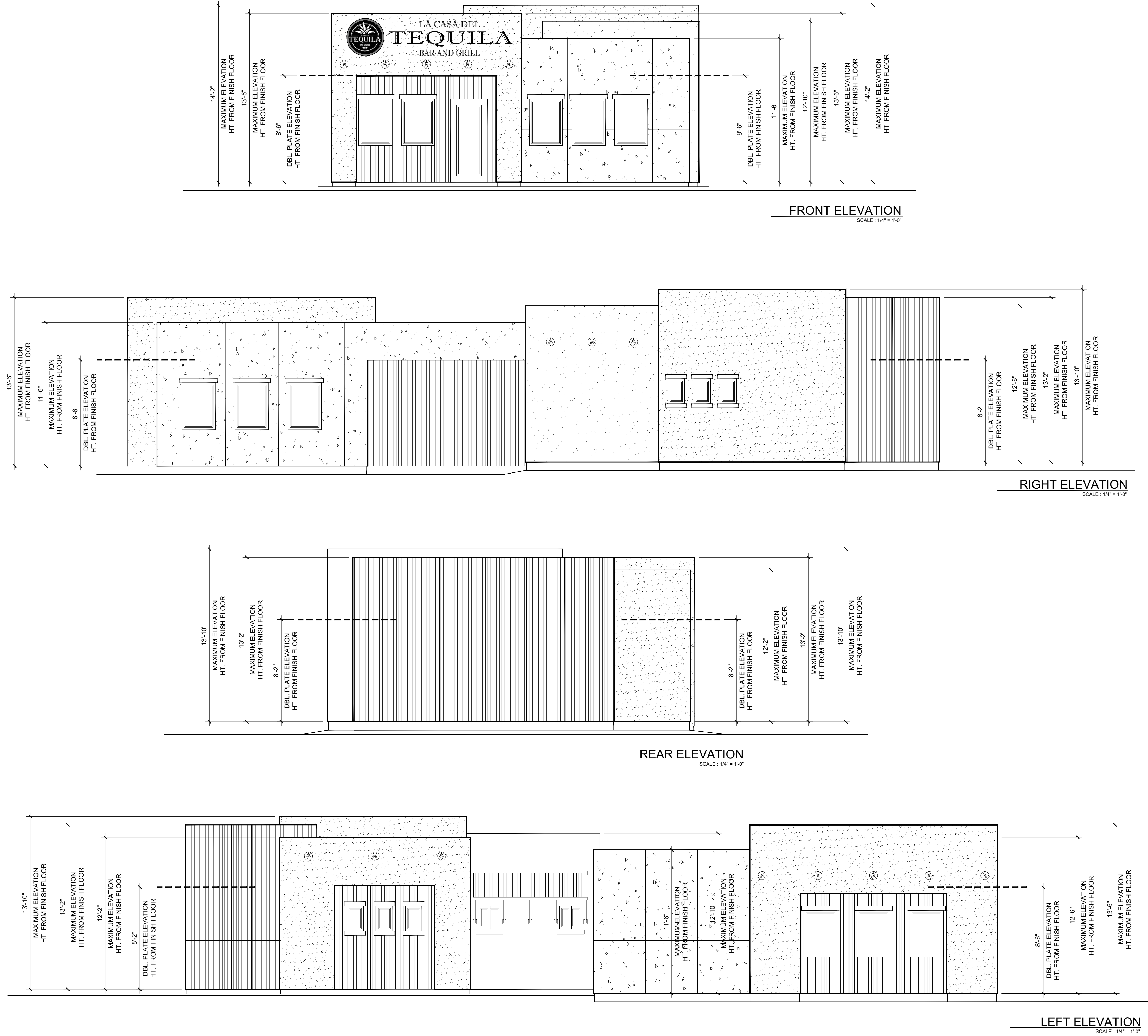
- FIRE BLOCKS AND DRAFT STOPS (CRC R302.11, R302.12) FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS.
1. IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. ALSO SEE SECTION 803.4.1
 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 3. IN CONCEALED SPACES BETWEEN STAIR AND STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND IN BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS ARE UNFINISHED.
 4. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEY, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON COMBUSTIBLE MATERIALS.
 5. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR A FACTORY-BUILT CHIMNEY.
 6. WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTIVE FLOORS, THE SPACE BETWEEN THE FLOOR AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH NONCOMBUSTIBLE OR FIRE BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPENING UNDER THE FLOORING THAT EXCEEDS 100 SQUARE FEET IN AN AREA SUCH SPACE SHALL BE FILLED SOLIDLY UNDER ALL PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJACENT ROOMS.
 7. FIRE BLOCKING CONSTRUCTION.
 8. FIRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER OR TWO THICKNESS OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 23/32 INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE-BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD.
- NOTES:
- A. THESE SECTIONS ARE FOR PROFILES OF CEILING HEIGHTS, PLATES HEIGHTS, AND GENERAL SHAPES OF TRUSSES ONLY. REFER TO STRUCTURAL PLANS BY E.O.R. FOR FRAMING AND FOUNDATION INFORMATION AS SHEAR PANEL / BEAM SIZE AND LOCATION, DETAILS AND FRAMING LAYOUT. (IF APPLIES TO PROJECT, TRUSSES CALCULATIONS AND ROOF LAYOUT PROVIDED BY MANUFACTURER, SEE ATTACHED.)
 - B. PROVIDE RADIANT BARRIER AS REQUIRED BY THE T-24 ENERGY REPORT.
 - C. ALL VERTICAL ATTIC SURFACES (I.E. GABLE ENDS, PARAPET WALL, ETC.) SHALL BE PROVIDED WITH RADIANT BARRIER. A MINIMUM 1 INCH AIR SPACE SHALL BE PROVIDED IN ENCLOSED RAFTER SPACE.
 - E. PROVIDE WATER-RESISTENT GYPSUM BOARD BEHIND TUBS AND SHOWER ENCLOSURES MATERIALS TO A HEIGHT OF 70" MINIMUM ABOVE DRAIN.
 - F. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME - SPREAD RATING OF NOT MORE THAN 75 AND A SMOKE - DEVELOPED RATING OF NOT MORE THAN 450.
 - G. RADIANT BARRIER SHALL BE INSTALLED ON ALL VERTICAL SURFACES OF ALL ATTIC SPACES PER THE ENERGY REPORT (T-24) REQUIREMENTS.
 - H. PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED (SUCH AS THOSE FOR VENTS, PIPES, DUCTS AND WIRES) WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGES OF FLAME AND PRODUCTS OF COMBUSTION. (CRC R302.5)
 - I. PARCEL IS LOCATED WITHIN FIRE SAFETY OVERLAY (FS1). ALL MATERIALS AND CONSTRUCTION SHALL ADHERE TO CRC R337. ROOFING, VENTS, EXTERIOR COVERING UNDERSIDE OF CARPORT, ROOF EAVES, ETC. SHALL BE FIRE PROTECTED ACCORDING TO R337.

M80 DESIGN LLC.
7835 CHURCH STREET - YUCCA VALLEY, CA. 92284
PHONE: 760-895-5157 EMAIL: M80DESIGNGROUP@OUTLOOK.COM

SHEET NAME: EXISTING AND PROPOSED CROSS SECTIONS
THIS IS A COMMERCIAL REMODEL & ADDITION FOR:
LA CASA DEL TEQUILA
55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
PHONE: 951-850-3102
YVWESTERB@GMAIL.COM

PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

DRAWN BY: M. TELLEZ
DATE: INDICATED
SCALE: INDICATED
SHEET NO. **A-7**
OF SHEETS



PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: PROPOSED EXTERIOR ELEVATIONS

THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

PHONE: 951-850-3102

E-MAIL: YVWESTERDINER@GMAIL.COM

DRAWN BY: M. TELLEZ

DATE: INDICATED

SCALE: INDICATED

SHEET NO.

A-8

OF SHEETS

REVISIONS
PLAN PREPARED OCT. 04, 2023
PLAN CHECK
PLAN CHECK

M80 DESIGN LLC.
7635 CHURCH STREET - YUCCA VALLEY, CA. 92284
PHONE: 760-905-3457 - E-MAIL: M80DESIGNSGROUP@OUTLOOK.COM

MARK	DESCRIPTION	MANUFACTURER	MODEL
Ⓚ	Kitchen Vent Type 2 condensate hood system 48"x48"	Halifax	421CHP448
Ⓚ	80 Gallon electric water heater	RHEEM	RHEEM
Ⓚ	Restroom Exhaust Fan	Revent	RV550
Ⓚ	Air curtain	CURTRON Air-Pro	CURTRON Air-Pro
Ⓚ	Air Hand dryer	Bobrick	B-712B
Ⓚ	Bathroom ventilation fan	Revent	RV550
MARK	DESCRIPTION	MANUFACTURER	MODEL
Ⓚ	Comfport Height one-piece elongated 1.28 gpf toilet	KOHLER Co.	K-3946-RA
Ⓚ	Pinior Wall-mount bathroom sink w/ Bin widespread faucet holes	KOHLER Co.	2035-8-0
Ⓚ	Widespread bathroom sink faucet	KOHLER Co.	K-24857-4-CP
Ⓚ	Floor Drain	Zurn	EZ-PV2-R6-SS
Ⓚ	Floor Sink	Regency	600-FS-1212-SS
Ⓚ	Face Mount Faucet	Advance Tabco	K-101
Ⓚ	Mop Sink Service Faucet	Advance Tabco	K-240
Ⓚ	Grease Inspector	ENDURA	3950A03
Ⓚ	ADA 16 Inch Vertical grab bar	Bobrick	B-6806x36
Ⓚ	ADA 48 Inch Grab Bar	Bobrick	B-6806X48
Ⓚ	Recessed wall mounted Combo Towel / Waste Unit	Bobrick	B-3948
Ⓚ	Wall mounted Commercial Toilet seat cover dispenser	Bobrick	B-221
Ⓚ	Wall mounted Commercial Double roll Toilet paper dispenser	Bobrick	B-265
Ⓚ	Wall mounted Commercial Touch-less Soap dispenser	ASI	20364
Ⓚ	Fixed angle tilted mirror	ASI	0535-1830
MARK	DESCRIPTION	MANUFACTURER	MODEL
Ⓚ	Clover All-in-one POS Register	Clover	Clover-POS-Bundle
Ⓚ	Sandwich/Salad Prep Table w/ Refrigerated base	True	K-24857-4-CP
Ⓚ	12" X 16" Wall mounted hand sink w/ side splash	Regency	HS-12-SP 18 gauge 304
Ⓚ	Prep Sink w/ Drian board	Atlanta Cutlery	SE15151R
Ⓚ	Corner 3-Comp. w/ 18" bowl, 14" deep	Advance Tabco	FC-K6-18D-X
Ⓚ	48" 3 Wire shelf	Winco	VCS-1848
Ⓚ	10 Button soda gun w./ 3' Hose - 5 Carb., 3 Non-Carb.	WUNDER-BAR	938WBM10530
Ⓚ	12" S.S. Custom	Custom	18 gauge 304
Ⓚ	24" S.S. Custom	Custom	18 gauge 304
Ⓚ	36" S.S. Custom	Custom	18 gauge 304
Ⓚ	48" S.S. Custom	Custom	18 gauge 304
Ⓚ	Auto-Fryer	AUTO-FRYER	MTI-40C
Ⓚ	Turbo Chef Double Batch	TurbOchef	HHD-9500-814-DL
Ⓚ	Panini press	Globe	GSG14D
Ⓚ	Tall Reach in Freezer	Beverage Air	WTFCS2HC
Ⓚ	52 Inch Chef base freezer	Beverage Air	185MMRF49BACH
Ⓚ	Ice Machine w/ Ice Bin	Avantco ice	KMC-H-322-A 22"
Ⓚ	Bar Sink w/ 12" Splash Guard	TBD	TBD
Ⓚ	Black 12" x 12" x 78", 2 tier locker	Regency	LC-36-122-KK
Ⓚ	Bar 3-Compartment Sink	Advance Tabco	PRB-24-33C
Ⓚ	Bar Refrigerator	Perlick	BBS108
Ⓚ	Horizontal bottle cooler	FRIDGCON	FBC-65
Ⓚ	58 Inch Keg cooler	FRIDGCON	FKC-58
Ⓚ	Uni-serv speed bar - 60" x 21" (left side ice bin)	Advance Tabco	CRU-60L-7
Ⓚ	Stainless steel ice bin sliding lid- 30" x 18"	Advance Tabco	109-SSC-30X

MARK	DESCRIPTION	MANUFACTURER	MODEL
Ⓚ	72"x30" Beverage table w/ Right sink, Stainless steel	Beverage Air	600TBV3072R
Ⓚ	Enclosed Stainless Steel base open front table	Regency	TSSU-72-18-HC
Ⓚ	18"x36" Stainless Steel Heavy Duty Wall shelf	Regency	600S1836HD
Ⓚ	18"x48" Stainless Steel Heavy Duty Wall shelf	Regency	600S1848HD
Ⓚ	18"x72" Stainless Steel Heavy Duty Wall shelf	Regency	600S1872HD
Ⓚ	16"x36" Stainless Steel Heavy Duty Tubular Dish Wall shelf	Regency	600TWMS1636
Ⓚ	16"x48" Stainless Steel Heavy Duty Tubular Dish Wall shelf	Regency	600TWMS1648
Ⓚ	Commercial Blender 48 oz High performance	Hamilton	HBH750 Eclips
Ⓚ	Pour over coffee brewer w/ 2 warmers	Bunn	VP17-2SS Low profile
Ⓚ	Janitorial 23 GA, Black slim rectangular trash can	Lavax	475WH23BK
Ⓚ	42"x20" Utility bussing cart w/ 3 shelves	Choice	109CARTBLGKB

AREA	# OF SPACES PER S.F.	S.F. OF AREA	# OF SPACES REQ.
BUILDING	1 PER 250.0 S.F.	1,467.0 S.F.	6 OF SPACES REQ.
SEATING	1 PER 150.0 S.F.	185.0 S.F.	4 SPACES REQ.

ADA PARKING CALCULATION (SECTION 9.3.3.05)
1-2S SPACES = 1 ADA PARKING SPOT REQUIRED
PARKING SPACES REQUIRED = 10
PARKING SPACES REQUIRED = 15

HEALTH DEPARTMENT NOTES

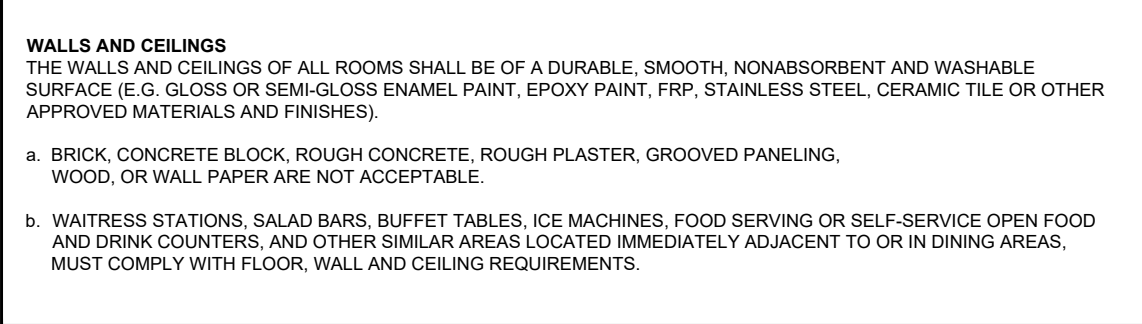
- COVE BASE SHALL BE MINIMUM 3/8" RADIUS AND MINIMUM 4" HIGH.
- FLOOR SHALL BE SMOOTH, DURABLE, EASY TO CLEAN AND NON-ABSORBENT.
- PROVIDE MINIMUM OF 50 FOOT CANDLES OF LIGHT, MEASURED 30" ABOVE THE FLOOR IN ALL FOOD PREP AREAS, STOREROOM AND RESTROOMS.
- ALL EXIT / ENTRANCE DOORS MUST BE RODENT PROOF, TIGHT FITTING AND SELF-CLOSING EXISTING VENTILATION RATES COMPLY WITH SECTION 403 OF 2016 CMC. FOOD FACILITY IS FULLY ENCLOSED.
- ALL WINDOWS ARE FIXED.
- RESTROOM AND EXIT DOORS MUST HAVE SELF-CLOSERS. PROVIDE EXHAUST FAN IN TOILET ROOMS INTERLOCKED WITH LIGHT SWITCH.
- ALL ICE BINS SHALL HAVE SLIDING LIDS.
- ALL HAND SINKS SHALL HAVE 6" SPLASH GUARDS ON BOTH SIDES.
- INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.

NOTES

- SOAP AND TOWEL DISPENSERS LOCATED AT EACH HAND SINK.
- EXHAUST FANS FOR RESTROOMS AND DRESSING AREAS ARE PROVIDED OF THE PROPER SIZE AND QUANTITY OF AIR FLOW AND BE OPERATED BY ROOM LIGHT SWITCH. ALL SYSTEMS TO BE CAPABLE TO KEEP ALL AREAS FREE FROM EXCESSIVE HEAT, STEAM, CONDENSATION, SMOKE AND VAPORS AND TO PROVIDE TEMPERED AIR FOR A REASONABLE COMFORT FOR ALL EMPLOYEES/CUSTOMERS ON PREMISES.
- DISHWASHING - NSF STANDARD #3 APPROVED MANUFACTURED LOW TEMP CHEMICALLY SANITIZED WITH +140 DEGREE F WATER AND CHEMICAL.
- LIGHTING REQUIREMENTS - LIGHTING SHALL BE PROVIDED - AT WALK INS AND DRY STORAGE AREAS WITH A MINIMUM OF 10 FOOT CANDLES OF LIGHT AT 30" AFF. AT CUSTOMER SELF SERVICE, WHERE FRESH PRODUCE/PREPACKAGED FOODS ARE OFFERED, INSIDE EQUIPMENT AREAS, HAND WASHING, WARE WASHING, EQUIPMENT, UTENSIL, AND REST ROOMS WITH A MINIMUM OF 20 FOOT CANDLES OF LIGHT AT 30" AFF. AT FOOD PREP/COOKING AREAS WHERE EMPLOYEES WORK WITH FOOD, UTENSILS, KNIVES, SLICERS, GRINDERS ETC. WITH A MINIMUM OF 50 FOOT CANDLES OF LIGHT AT 30" AFF. ALL LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER RESISTANT IN AREAS WHERE OPEN FOOD READY TO EAT FOODS, CLEAN EQUIPMENT AND LINENS OR UNWRAPPED SINGLE USE ARTICLES (CFRC-11492-1).
- GARBAGE AND TRASH AREA - S/TOWN ON PLO PLAN SHEET
- THIS DRAWING IS FOR EQUIPMENT LAYOUT PURPOSES ONLY. PLEASE SEE FLOOR PLAN FOR FULLY DIMENSIONED PARTITION LOCATIONS AND ASSEMBLIES.
- NOTE: PLEASE SEE SHEET T01, COVER SHEET, FOR CODE SUMMARY, BUILDING DATA AND EXIT ACCESS REQUIREMENTS.
- G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
- ALL FIRE EXTINGUISHERS SHALL BE STATE CERTIFIED. ALL FIRE EXTINGUISHERS SHALL BE PROPERLY MOUNTED AT THE HEIGHT REQUIREMENTS OF NO HIGHER THAN 4'-6" A.F.F. TO THE TOP OF THE EXTINGUISHER AND AT LEAST 8' FROM FLOOR TO THE BOTTOM OF EXTINGUISHER. (NFPA 10.6.1.3.3)
- ALL PROPERLY MOUNTED FIRE EXTINGUISHERS SHALL NOT EXCEED 75' OF TRAVEL DISTANCE APART. (NFPA 1.6.1)
- FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. (NFPA 10.6.1.3)
- FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL INCLUDING EXITS FROM AREAS. (NFPA 10.6.1.3)
- FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. (NFPA 10.6.1.3.3)
- TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:
A. TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN.
B. TACTILE SIGNAGE SHALL READ AS FOLLOWS: "EXIT".
C. TACTILE SIGNAGE SHALL COMPLY WITH ICCANS# A117.1

FINISH NOTES

- PORCELAIN TILE COVE BASE, TIME 20, SILVER, THROUGH BODY PORCELAIN P36C9 PAINT (BACK OF HOUSE); FRAZEE SEMI-GLOSS ENAMEL, COLOR: WHITE WHITE. ALL IN FOOD AREAS TO HAVE A LIGHT REFLECTIVE VALUE OF NOT LESS THAN 70%.
- KITCHEN CEILING SHALL BE SMOOTH, CLEANABLE, DURABLE, AND NON-ABSORBENT. AND OF LIGHT COLOR WITH LIGHT REFLECTIVE VALUE OF 70% OR GREATER (GLOSS OR SEMI-GLOSS).
- ALL FINISHES BEHIND ALL SINKS AND EQUIPMENT AT BARS SHALL BE MOISTURE RESISTANT.
- INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.



ALL WALL SURFACES SHALL BE COVERED WITH A GLOSS OR SEMI-GLOSS ENAMEL, EPOXY, FIBERGLASS REINFORCED POLYESTER PANELS (FRP), CERAMIC TILE OR OTHER APPROVED MATERIALS.

a. DUE TO THE HIGH MOISTURE PRESENT, WALLS BEHIND ALL UTENSIL WASHING SINKS, JANITORIAL SINKS, FOOD PREPARATION SINKS, HAND WASH SINKS, AND THE AREA SURROUNDING AUTOMATIC WAREWASHERS (DISH-MACHINES) AND ACCOMPANYING DRAIN-BOARDS SHALL BE FINISHED WITH A WANSCOIT OF FIBERGLASS REINFORCED POLYESTER (FRP), STAINLESS STEEL, CERAMIC TILE OR EQUIVALENT. THE APPROVED WALL FINISH MATERIAL SHALL EXTEND FROM THE TOP OF THE COVED BASE TO A HEIGHT OF AT LEAST FOUR (4) FEET EXCEPT BEHIND WAREWASHING MACHINES WHERE THE WANSCOIT MUST EXTEND TO EIGHT (8) FEET FROM THE FINISHED FLOOR. ALL WANSCOITING MUST EXTEND AT LEAST 18 INCHES TO THE SIDES OF SINKS AND WAREWASHERS.

b. IN RESTROOMS, AN APPROVED WANSCOIT SHALL EXTEND FROM THE TOP OF THE COVED BASE TO A HEIGHT OF AT LEAST FOUR (4) FEET ON ALL RESTROOM WALLS.
c. LAMINATE OR FIBERBOARDS IS UNACCEPTABLE.
d. THE WALL SURFACES BEHIND AND WITHIN EIGHTEEN (18) INCHES OF ANY COOKING EQUIPMENT AND OTHER HIGH TEMPERATURE GENERATING EQUIPMENT MUST BE STAINLESS STEEL OR EQUIVALENT. THE LOCAL BUILDING AND FIRE AUTHORITIES WILL NORMALLY DETERMINE THE ACCEPTABILITY OF WALL SURFACES IN AREAS SUBJECT TO FLAMMABILITY.
e. WALK-IN COOLERS AND FREEZERS, EXHAUST HOODS, AND SOME LARGE BAKERY EQUIPMENT MUST BE FLASHED TO THE CEILING WITH AN APPROVED WASHABLE MATERIAL TO CLOSE OFF AN AREA THAT OTHERWISE IS NOT EASILY ACCESSIBLE FOR CLEANING.

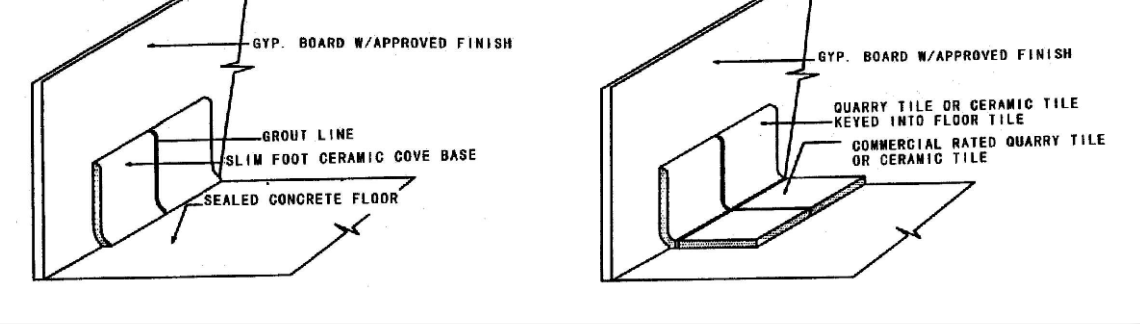
COOLER NOTES

- COOLER INSULATION VALUES FOR WALLS, CEILING, AND DOORS SHALL BE MIN. R-25
- AUTOMATIC DOOR CLOSERS SHALL BE PROVIDED THAT FULLY CLOSE WALK-IN DOORS THAT HAVE BEEN CLOSED TO WITHIN INCH OF CLOSURE.
- DOORWAYS SHALL HAVE STRIP DOORS, CURTAINS, SPRING-OPEING DOORS OR OTHER METHOD OF MINIMIZING INFILTRATION WHEN DOORS ARE OPEN

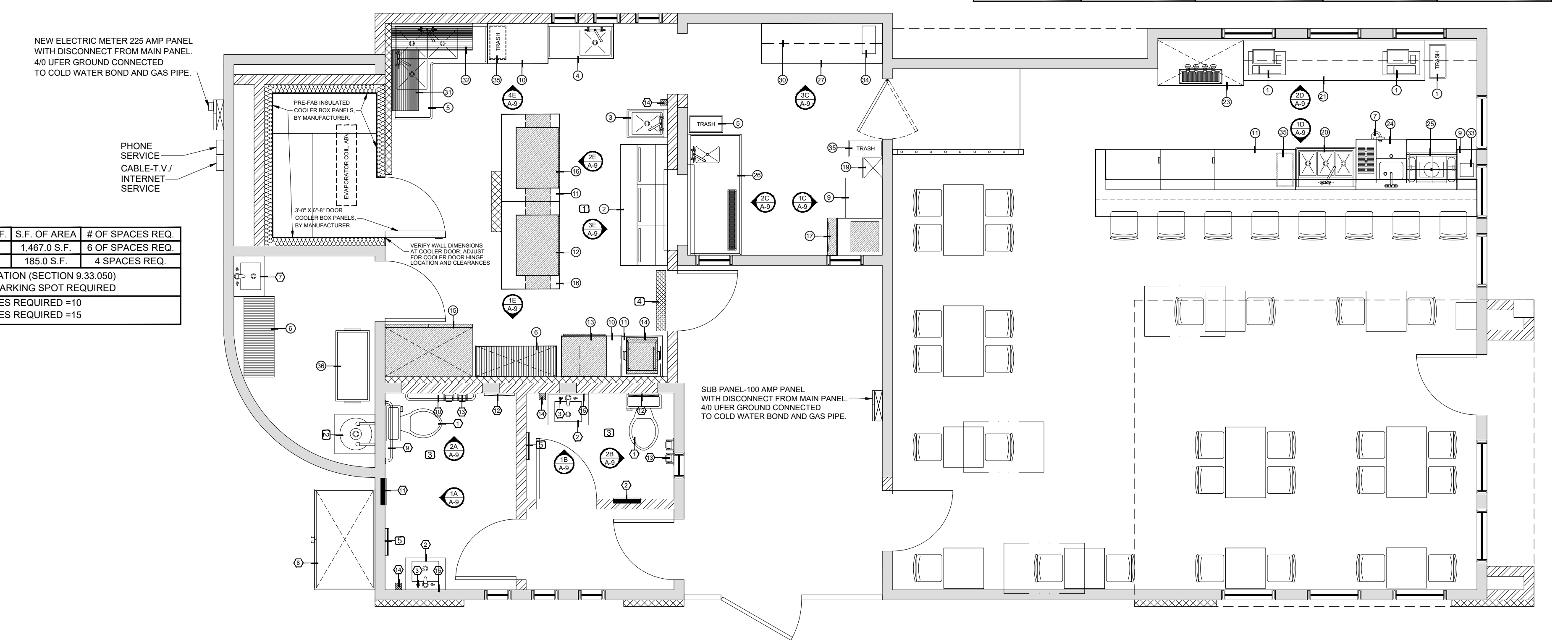
FLOORING

- FLOORING NOTES:
- NON-SKID FLOORING WITH AN ABRASIVE TEXTURE SHALL BE LIMITED TO TRAFFIC AREAS ONLY AND NOT UNDER EQUIPMENT. IF THE ABRASIVE TEXTURE IS DEEMED EXCESSIVE A HIGH PRESSURE HOT WATER CLEANING SYSTEM AND FLOOR DRAINS MAY BE REQUIRED.
 - EQUIPMENT CABINET BASES, EQUIPMENT CURBS, AND LARGE PIECES OF EQUIPMENT DESIGNED TO BE SEALED TO THE FLOOR ARE REQUIRED TO HAVE AN APPROVED COVED BASE AROUND ALL EXPOSED SIDES.
 - ALL COVED BASE MUST BE COMPATIBLE AND INTEGRAL WITH FLOOR MATERIALS.
- APPROVED FLOORING MATERIALS ARE REQUIRED IN ALL OF THE FOLLOWING AREAS:
- KITCHEN AREAS
- FOOD PREPARATION AND FOOD HANDLING AREAS
- ALL SINK AREAS (FOOD PREP, HAND WASH, UTENSIL, AND MOP SINKS)
- UTENSIL WASHING AND STORAGE AREAS
- DRY STORAGE AREAS WITH UNPACKAGED FOODS
- WALK-IN REFRIGERATORS AND FREEZERS
 - ICE MACHINE AREAS
 - WAITRESS STATIONS
- SELF-SERVE FOOD AND DRINK AREAS (I.E. SALAD BARS, BUFFETS, DRINK COUNTERS)
 - RESTROOMS
- GARBAGE AND REFUSE STORAGE AREAS
- VINYL COMPOSITION TILE (VCT SQUARES) FLOORING AND FOUR (4) INCH VINYL OR RUBBER TPO SET BASE MATERIALS WILL BE PERMITTED ONLY IN THE FOLLOWING AREAS:
- CUSTOMER AREAS
- DRY FOOD STOREROOMS WITH FOOD PRODUCTS IN ORIGINAL UNOPENED PACKAGING
 - DRESSING ROOMS
 - OFFICES

- NOTE:
CAL CODE, CALIFORNIA RETAIL FOOD CODE SECTION 114268 STATES:
"... FLOOR SURFACES SHALL BE SMOOTH AND OF DURABLE CONSTRUCTION AND NON-ABSORBENT MATERIAL THAT IS EASILY CLEANABLE."
"... FLOOR SURFACES SHALL BE COVED AT THE JUNCTURE OF THE FLOOR AND WALL WITH A 3/8 INCH (TEN [10] MILLIMETER) MINIMUM RADIUS COVING AND SHALL EXTEND UP THE WALL AT LEAST 4 INCHES (TEN [10] CENTIMETERS)..."



EACH PERMANENT FOOD FACILITY SHALL BE FULLY ENCLOSED IN A BUILDING CONSISTING OF PERMANENT FLOORS, WALLS, AND AN OVERHEAD STRUCTURE THAT MEETS THE MINIMUM STANDARDS.

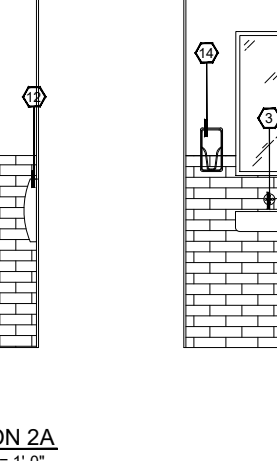
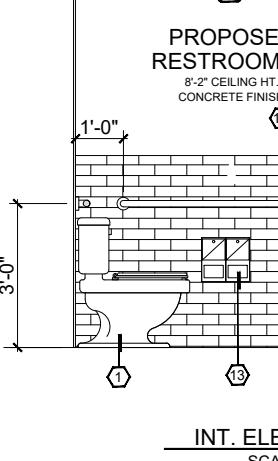
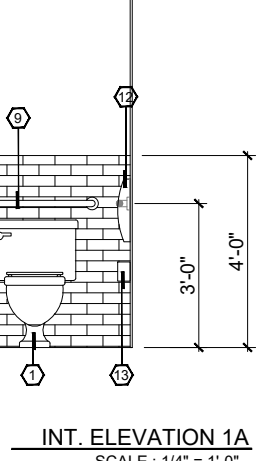
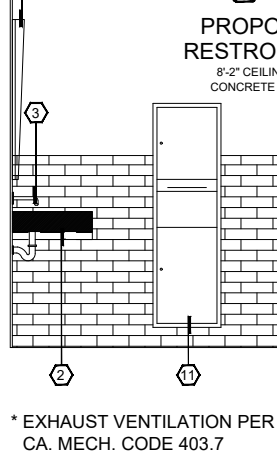


PROPOSED RESTROOM #2

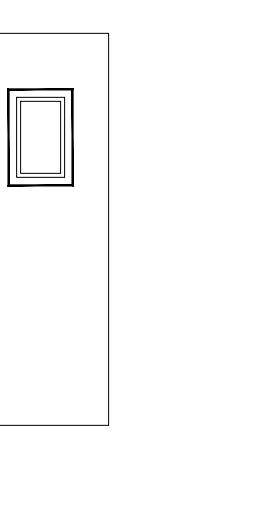
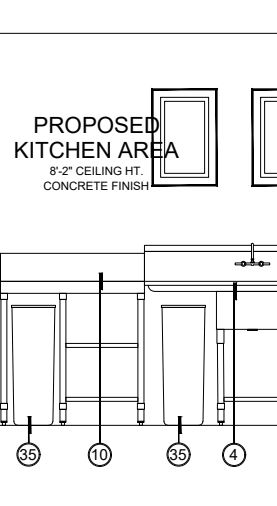
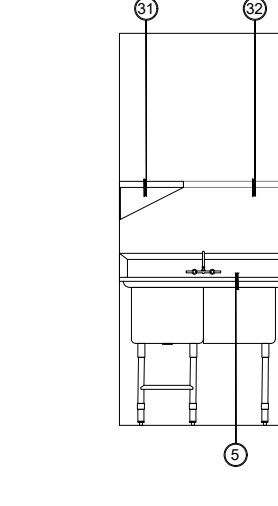
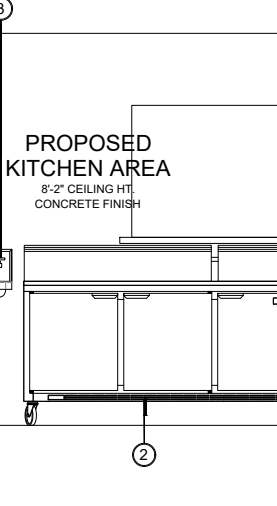
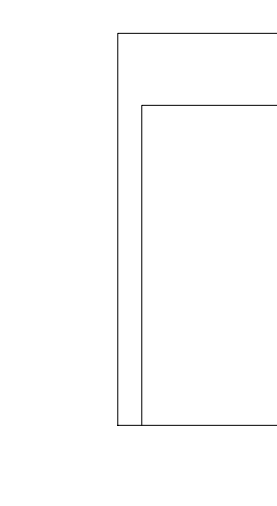
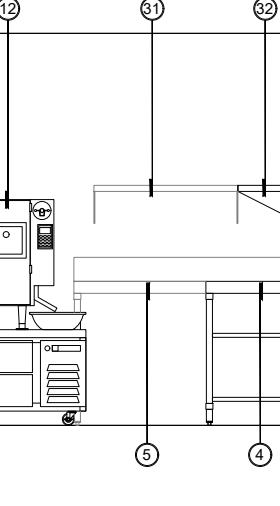
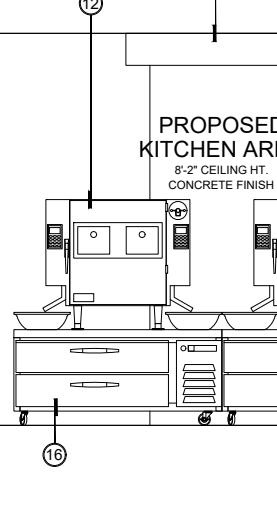
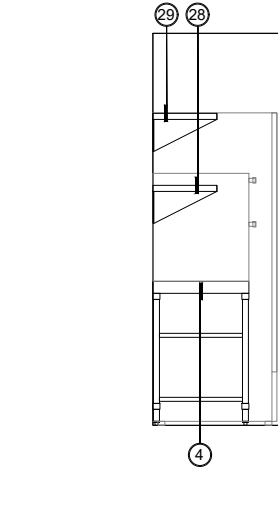
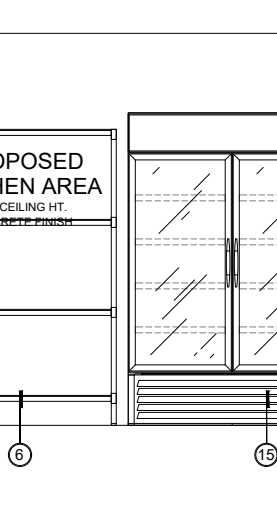
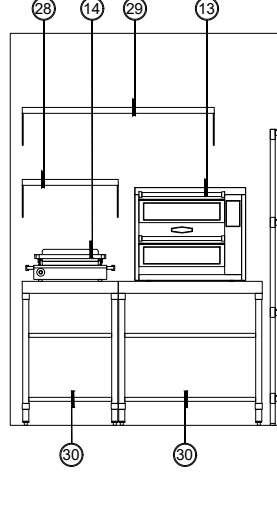
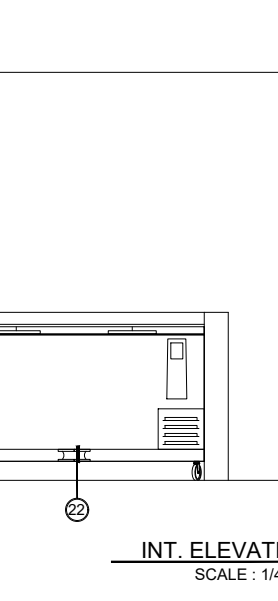
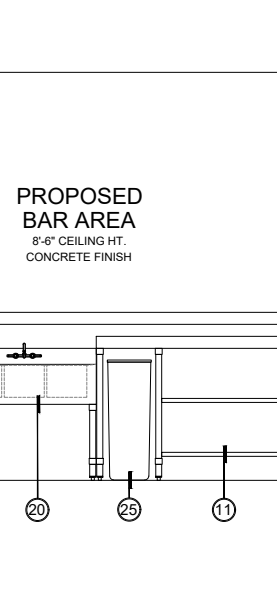
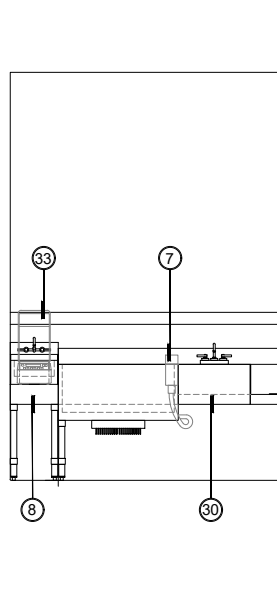
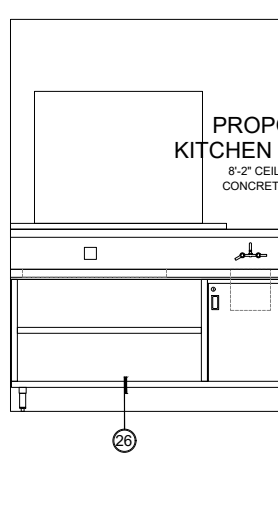
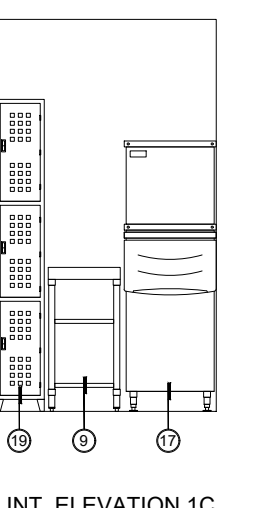
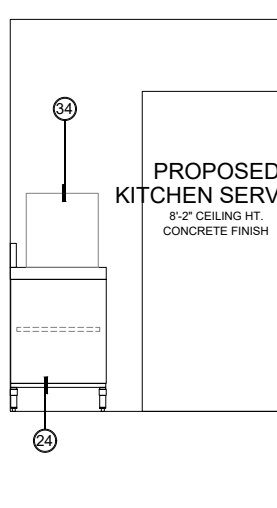
PROPOSED RESTROOM #2

PROPOSED RESTROOM #1

PROPOSED RESTROOM #1



REMODEL / ADDITION FLOOR PLAN LAYOUT
SCALE: 1/4" = 1'-0"



MENU:

LA CASA DEL TEQUILA BAR & GRILL

APPETIZERS AND SNACKS

- Mozzarella Sticks
- French Fries
- Chicken Fingers
- Strawberry Coughlores
- nachos borrachos
- eggs rolls
- pretzel bites
- garlic fries

SALAD

- garden salad
- western salad
- caesar salad
- tequila salad

SANDWICH

- beef slice max sliders taco
- avocado turkey panini
- crispy chicken
- sweet and sour chicken

PIZZA

- pepperoni
- bbq chicken
- Vegetable luxury
- Four Cheese
- Mushroom Swiss

WINGS

- teriyaki
- bbq
- parmesan garlic
- sweet sour
- honey & soy sauce
- mango Habanero
- Chili / lemon
- buffalo
- spicy bbq
- sriracha

16 8 4

Go to website

REVISIONS	
PLAN PREPARED	OCT. 04, 2023
PLAN CHECK	
PLAN CHECK	

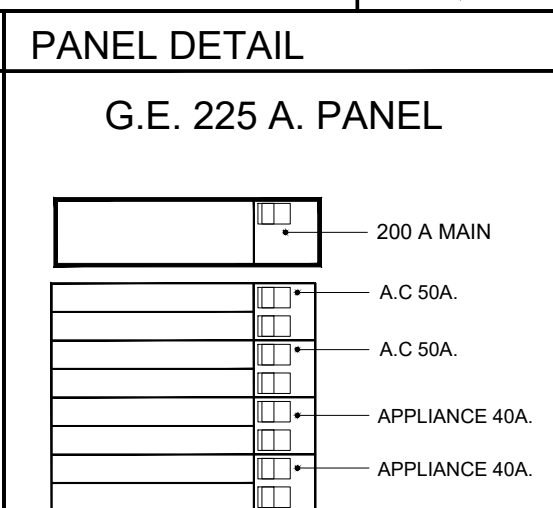
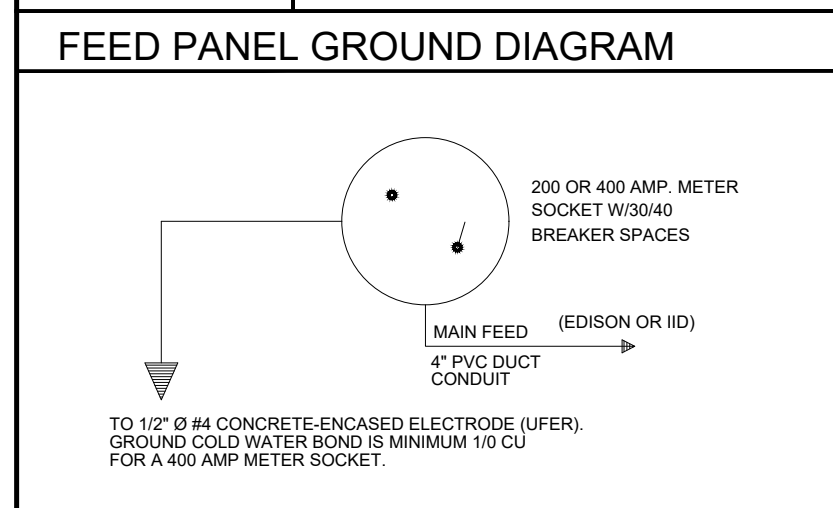
M80 DESIGN LLC.
7835 CHURCH STREET - YUCCA VALLEY, CA 92284
PHONE: 951-950-3102 E-MAIL: M80DESIGNGROUP@OUTLOOK.COM

REMODEL AND ADDITION DIMENSION PLAN
THIS IS A COMMERCIAL REMODEL & ADDITION FOR:
LA CASA DEL TEQUILA
55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284
E-MAIL: YVWESTERDINER@GMAIL.COM
PHONE: 951-950-3102

DRAWN BY: M. TELLEZ
DATE: INDICATED
SCALE: INDICATED
SHEET NO. **A-9** OF SHEETS

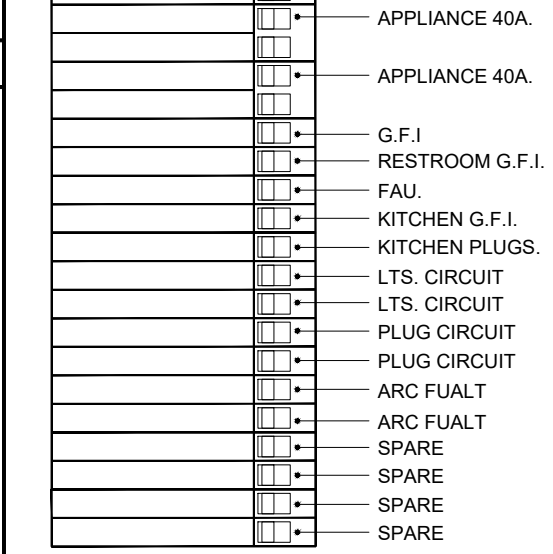
ELECTRICAL SYMBOLS: *(e) = EXISTING

	WALL SCONCE LIGHT FIXTURE OUTLET. FIXTURE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.		DOOR BELL BUTTON HARDWIRED. VERIFY SELECTION WITH GENERAL.
	FLUORESCENT ROPE LIGHTING. VERIFY LENGTH WITH GENERAL. TO BE MOUNTED UNDER BASE CABINETS UNLESS NOTED OTHERWISE.		DUPLEX CONVENIENCE OUTLET. MOUNTED @ 12" ABV FLR UNLESS OTHERWISE NOTED.
	5" 28-WATT CFL RECESSED (IC&AT) CAN WITH AN ELECTRONIC BALLAST AND WHITE OR ALUMINUM REFLECTOR AND TRIM		INTERIOR FLUORESCENT WALL BRACKET LIGHT FIXTURE. VERIFY SELECTION AND HEIGHT ABOVE FLOOR.
	RECESSED FLUORESCENT CEILING DOWNLIGHT, LED SERIES OR APPROVED EQUAL. VERIFY TRIM SELECTION.		METAL ADDRESS NUMBERS AT 72" FROM FINISH FLOOR WITH DOWN LIGHT FOR VISIBILITY IN EVENING HOURS.
	NUTONE EXHAUST FAN MODEL # QTN80E ENERGY STAR RATED WITH HUMIDSTAT CONTROL 80 CFMS @ 0.8 SONES		220 VOLT OUTLET OR JUNCTION BOX
	PHOTO CELL FOR LIGHT FIXTURES /SWITCH OPERATED ALSO.		ACR-FAULT CIRCUITS INTERRUPTER FOR ALL CIRCUITS SUPPLYING 125-VOLTS, SINGLE PHASE, 15-20 AMPERE RECEPTACLES IN BEDROOMS.
	WALL OR CEILING MOUNTED FLUORESCENT FIXTURE. VERIFY SELECTION, LOCATION & MOUNTING HEIGHT.		TELEPHONE JACK. VERIFY EXACT LOCATION.
	1x4" RECESSED OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE WITH 32-WATT T8 LAMPS AND ELECTRONIC BALLAST.		TELEVISION CABLE OUTLET. VERIFY EXACT LOCATION.
	120V ELECTRIC SMOKE / CARBON DETECTOR W/ BATTERY BACKUP & INTERCONNECTED.		SINGLE POLE SWITCH
	CEILING MOUNTED LIGHT FIXTURE. VERIFY SELECTION AND HEIGHT ABOVE FLOOR.		3 WAY SWITCH
	EXTERIOR FLUORESCENT SCONCE. VERIFY SELECTION AND STYLE WITH GENERAL CONTRACTOR.		DIMMER SWITCH SINGLE POLE
	DOOR BELL RINGER HARDWIRED. VERIFY SELECTION WITH GENERAL.		SWITCH WITH OCCUPANCY SENSOR
	SURFACE MOUNTED TRACK LIGHT FIXTURE. VERIFY SELECTION AND HEIGHT ABOVE FLOOR.		SECURITY LIGHTS WITH MOTION SENSOR PHOTO CELL FOR LIGHT FIXTURES
			DUPLEX CONV. OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER. W/P = GFI OUTLET MOUNTED IN WEATHERPROOF BOX.
			CEILING MOUNTED LIGHT FIXTURE. VERIFY SELECTION AND HEIGHT ABOVE FLOOR.

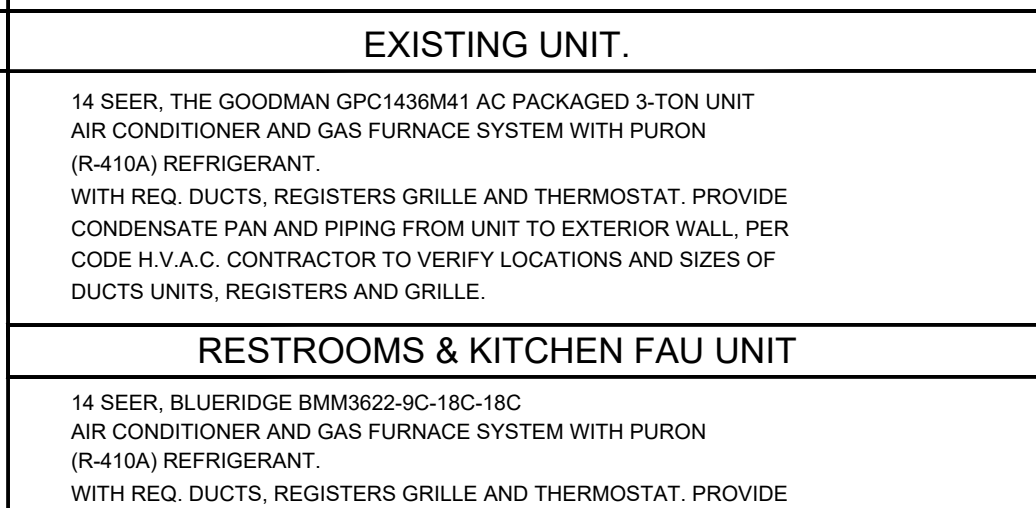
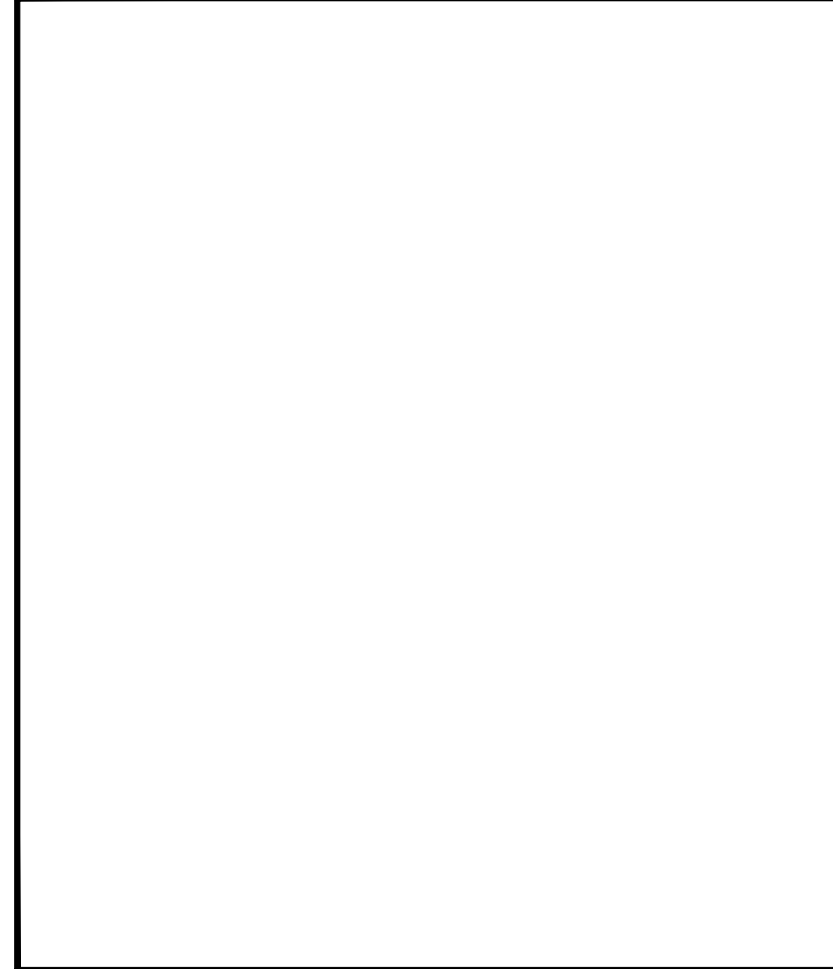
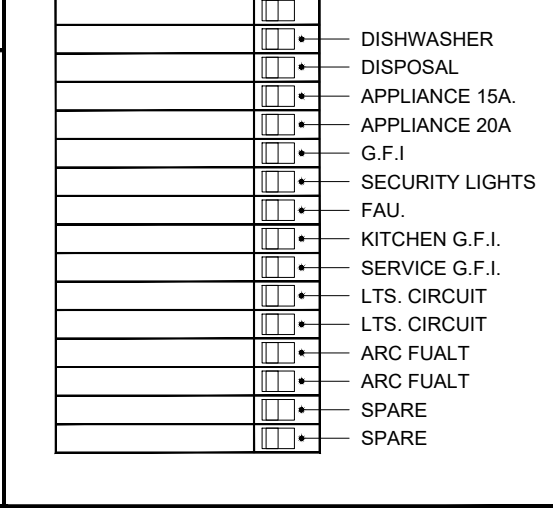
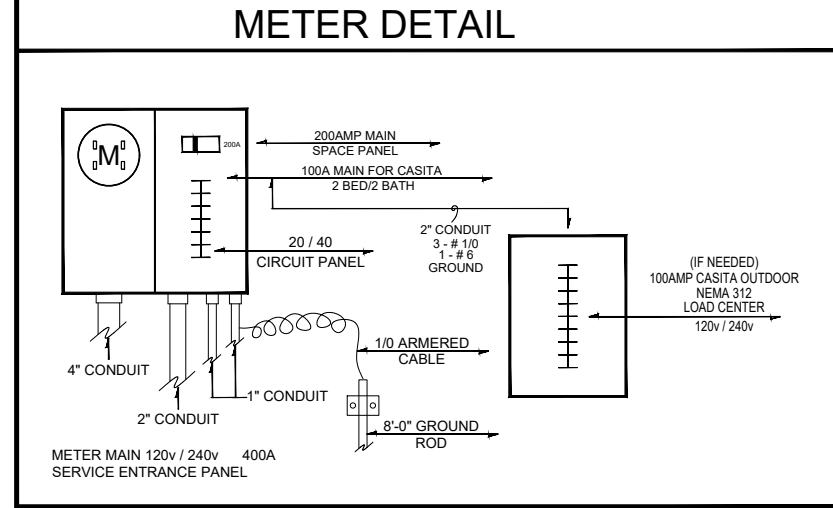
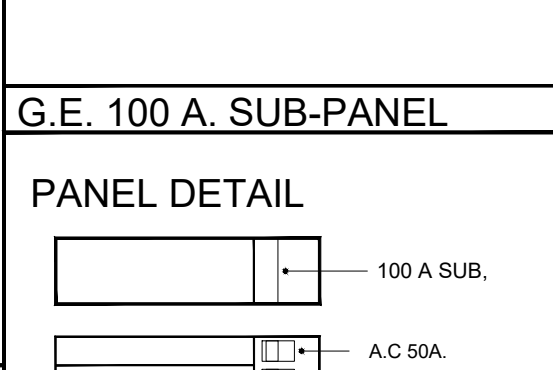


ELECTRIC LOAD CALCULATIONS

GENERAL LIGHTING 3 w. / SQ.FT. 3 w. x 1,467.0 SQ.FT. =	4,401.0
4 - SMALL APPLIANCES CIRCUITS @ 1800 watts =	7,200.0
3 - LARGE APPLIANCES CIRCUITS @ 9600 watts =	28,000.0
4 - BAR APPLIANCES CIRCUITS @ 1500 watts =	6,000.0
1 - GARBAGE DISPOSAL @ 1500 watts =	1,500.0
2 - MICROWAVES @ 1500 watts =	1,500.0
1 - 50 GALLON WATER HEATER @ 5500 watts =	5,500.0
1 - KITCHEN EXHAUST FAN @ 1500 watts =	1,500.0
1 - WALK-IN COOLER @ 9500 watts =	9,500.0
1 - 3 TON F.A.U. @ 3,600.0 watts x 1 =	2,000.0
1 - 2.5 TON F.A.U. 1,800.0 watts x 1 =	2,000.0
SUBTOTAL =	70,501.0 watts

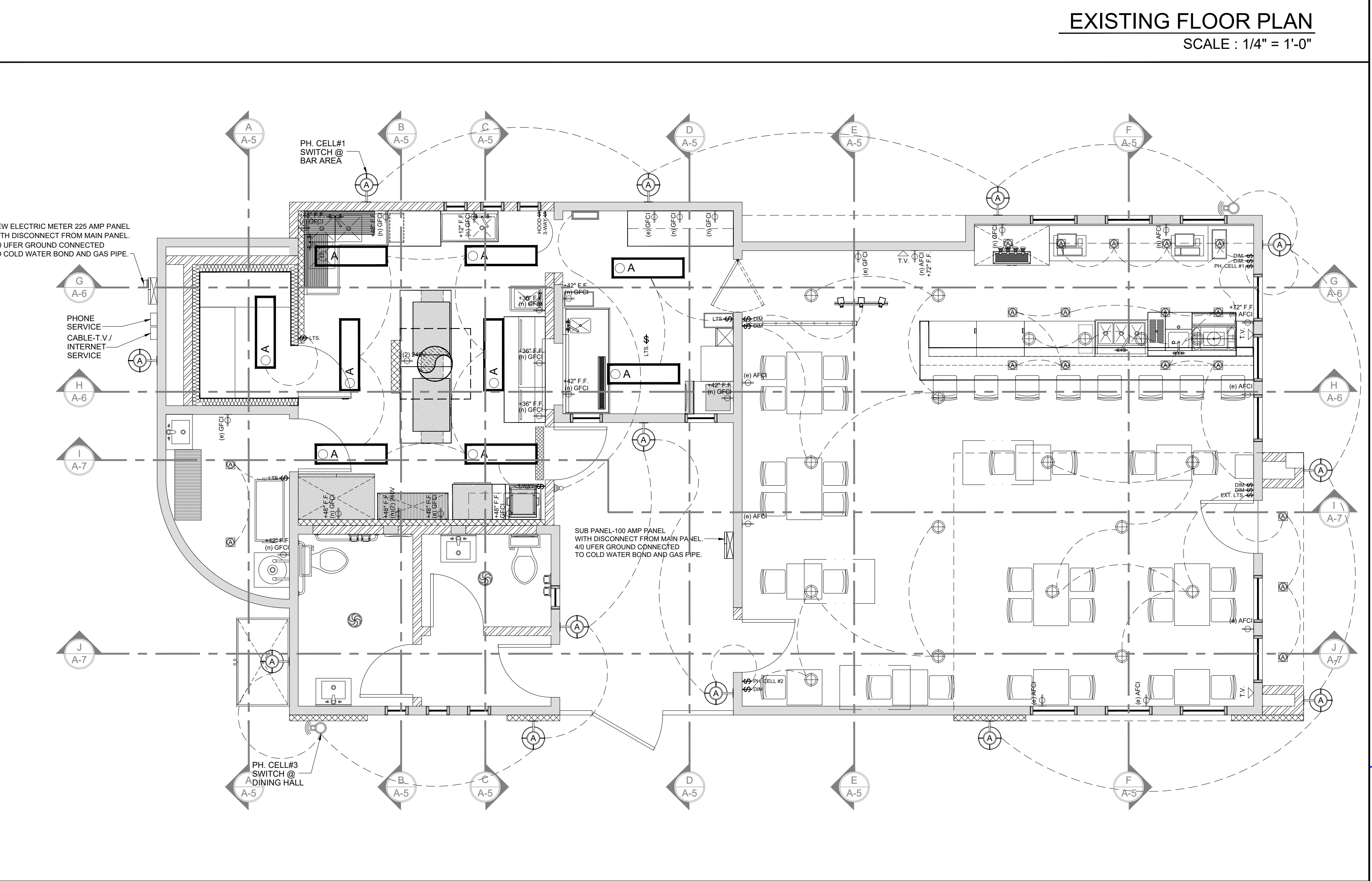
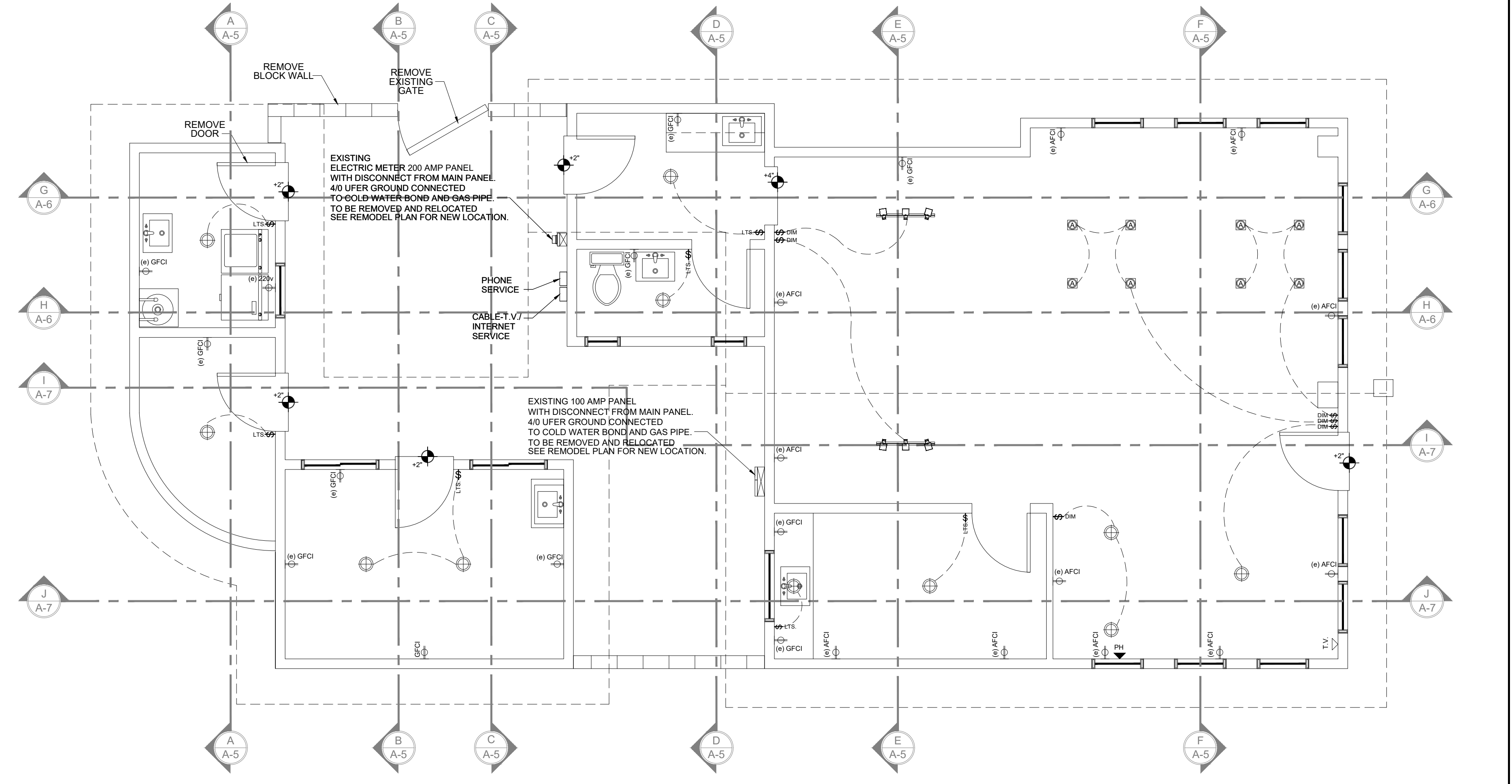
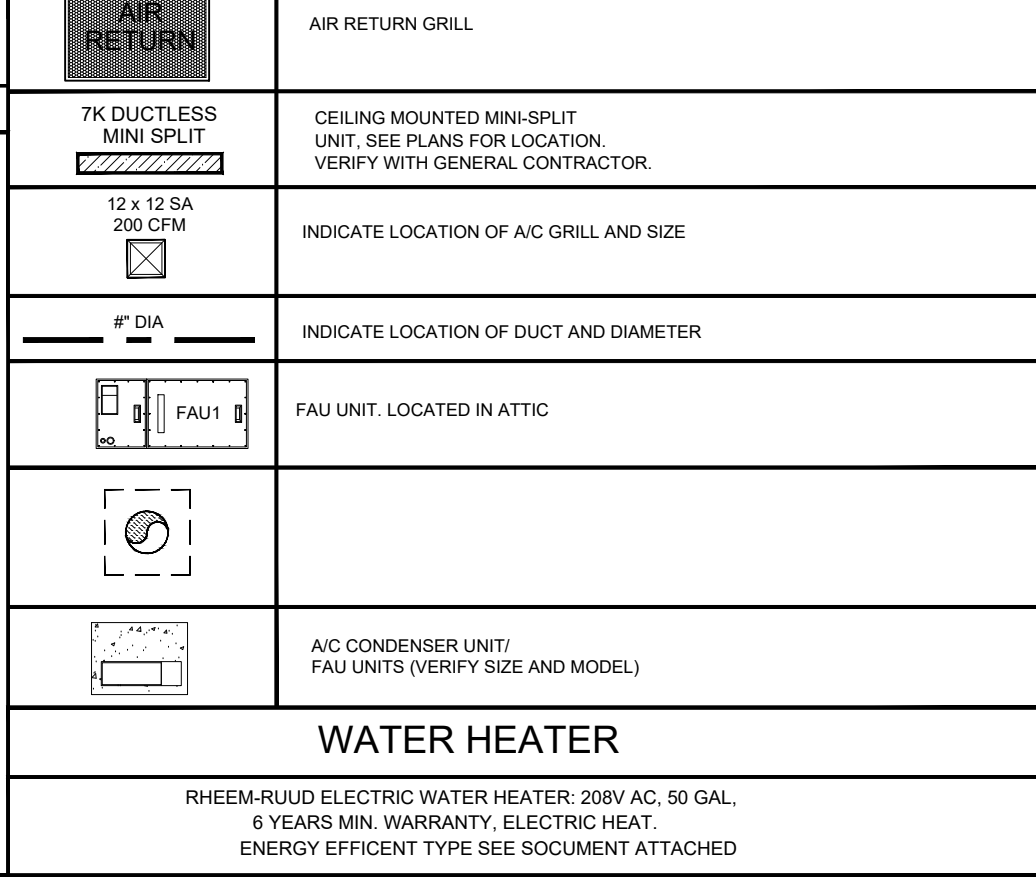


METER DETAIL



H.V.A.C. SYMBOLS

	INDICATED LOCATION 22" x 30" ATTIC ACCESS
	INDICATE LOCATION OF THERMOSTAT
	DISCONNECT SWITCH FOR A/C FOR CONDENSER SET AT REQUIRED HEIGHT
	NUTONE EXHAUST FAN MODEL # DTN9RE ENERGY STAR RATED WITH HUMIDSTAT CONTROL 80 CFMS @ 0.8 SONES
	AIR RETURN GRILL
	CEILING MOUNTED MINI-SPLIT UNIT. SEE PLANS FOR LOCATION. VERIFY WITH GENERAL CONTRACTOR.
	INDICATE LOCATION OF A/C GRILL AND SIZE
	INDICATE LOCATION OF DUCT AND DIAMETER
	FAU UNIT. LOCATED IN ATTIC
	A/C CONDENSER UNIT/ FAU UNITS (VERIFY SIZE AND MODEL)



PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: PROPOSED ELECTRICAL & HVAC PLAN

THIS IS A COMMERCIAL REMODEL & ADDITION FOR:

LA CASA DEL TEQUILA

55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

PHONE: 951-850-3102

REVISIONS
OCT. 04, 2023

PLAN CHECK
PLAN CHECK

M80 DESIGN LLC.
7835 CHURCH STREET - YUCCA VALLEY, CA. 92284
PHONE: 760-985-9457 - E-MAIL: M80DESIGNGROUP@OUTLOOK.COM

DRAWN BY: M. TELLEZ

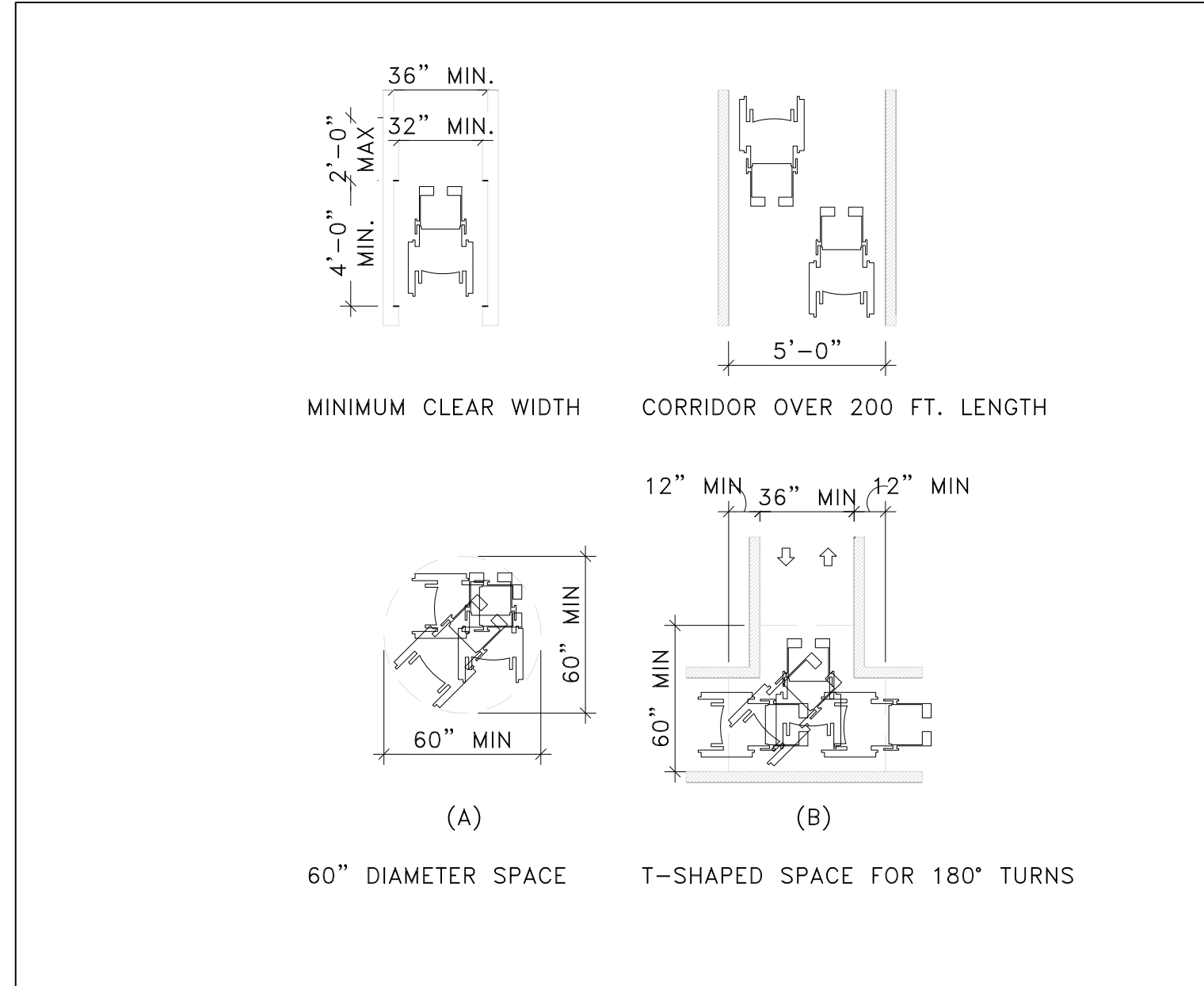
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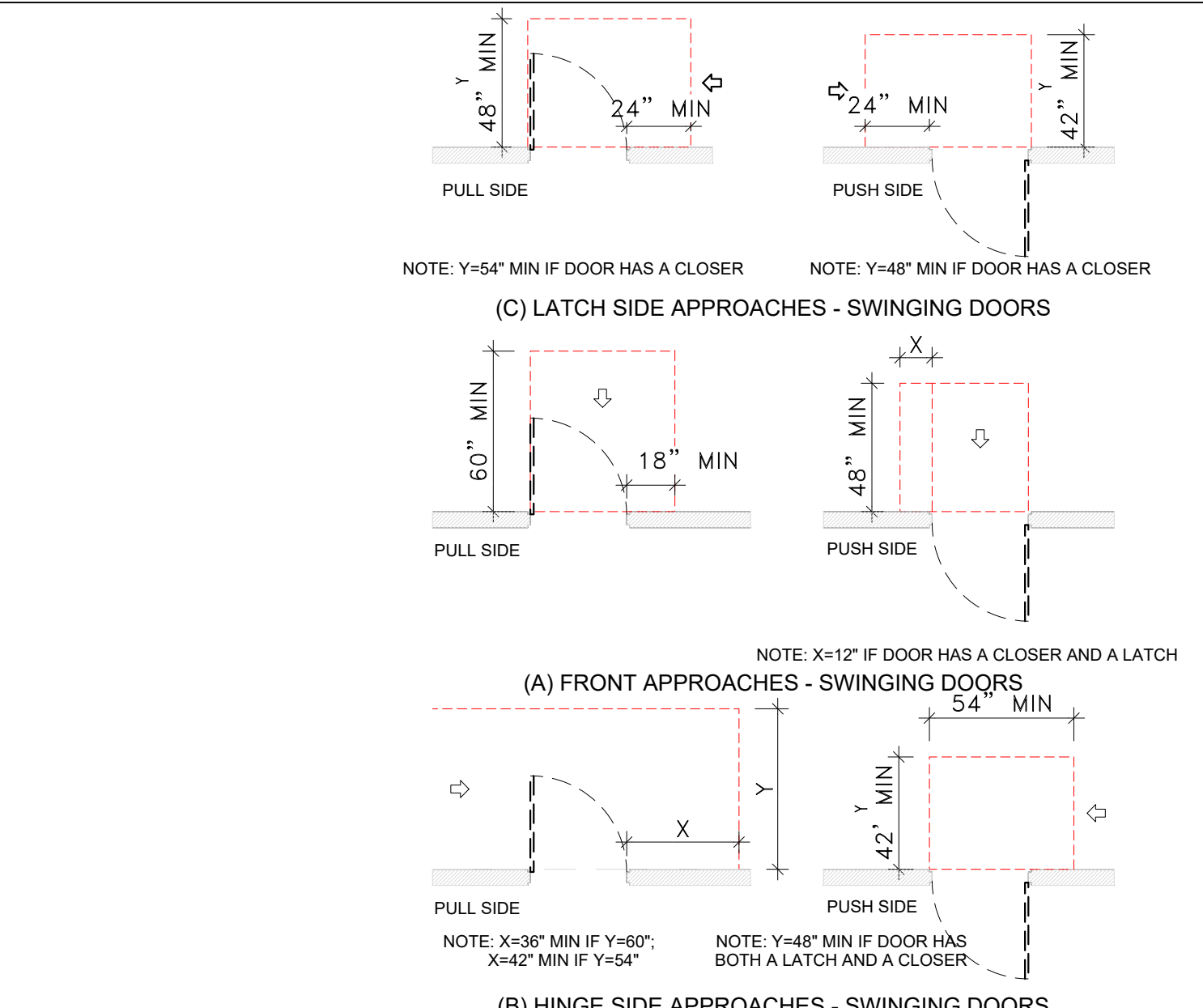
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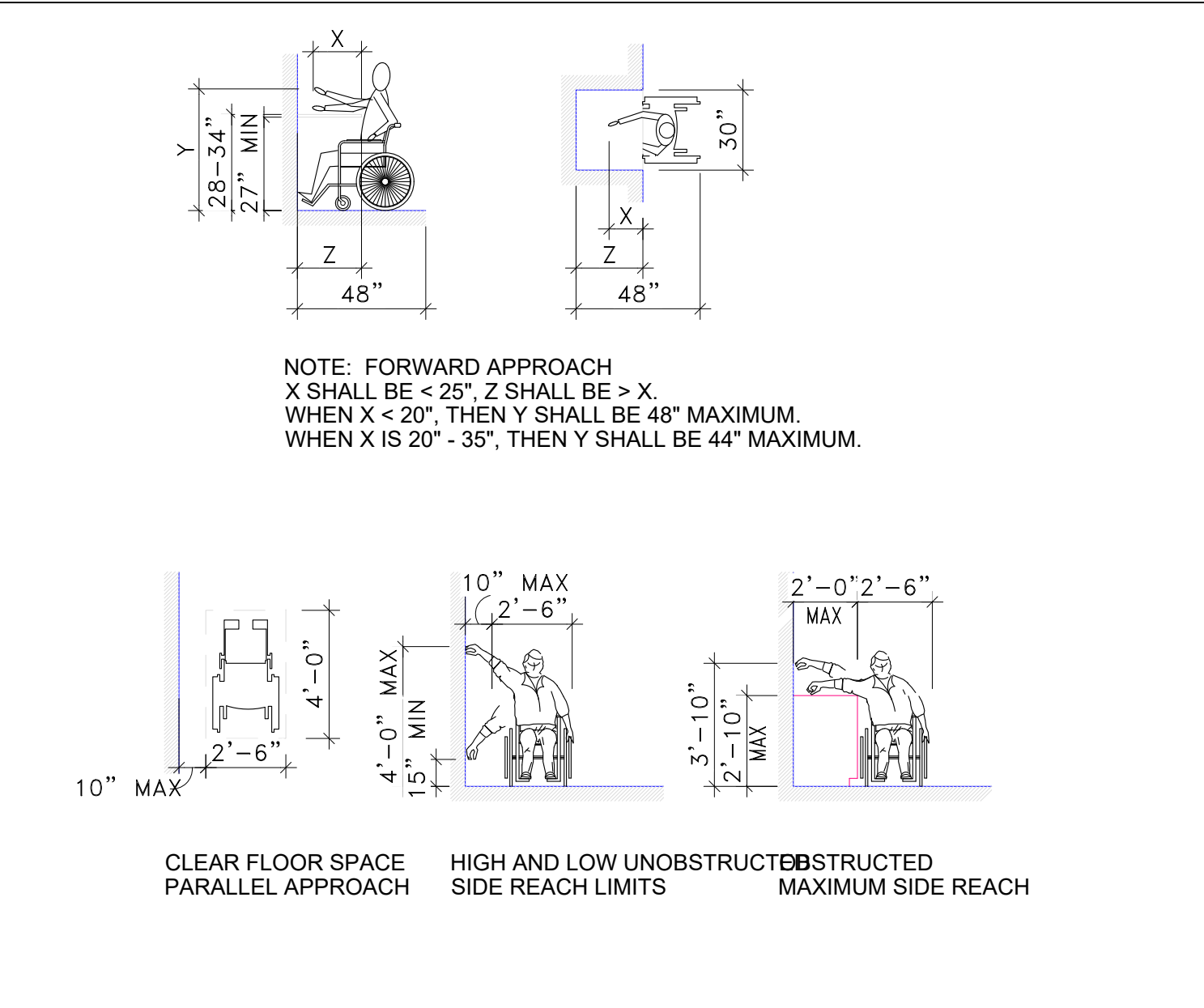
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1 TURNING RADIUS & SPACE
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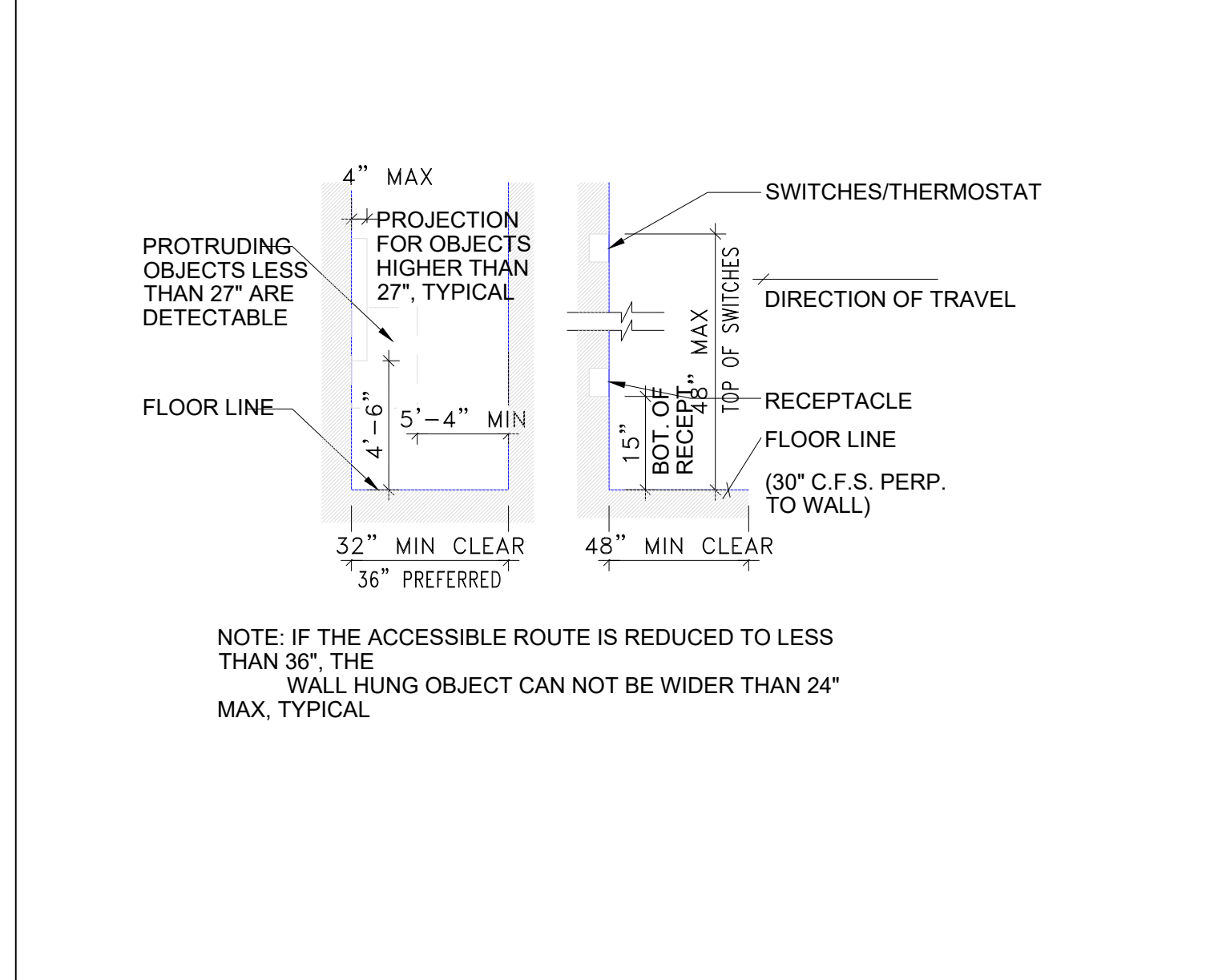
2 PUSH/PULL REQUIREMENTS
SCALE: N.T.S.



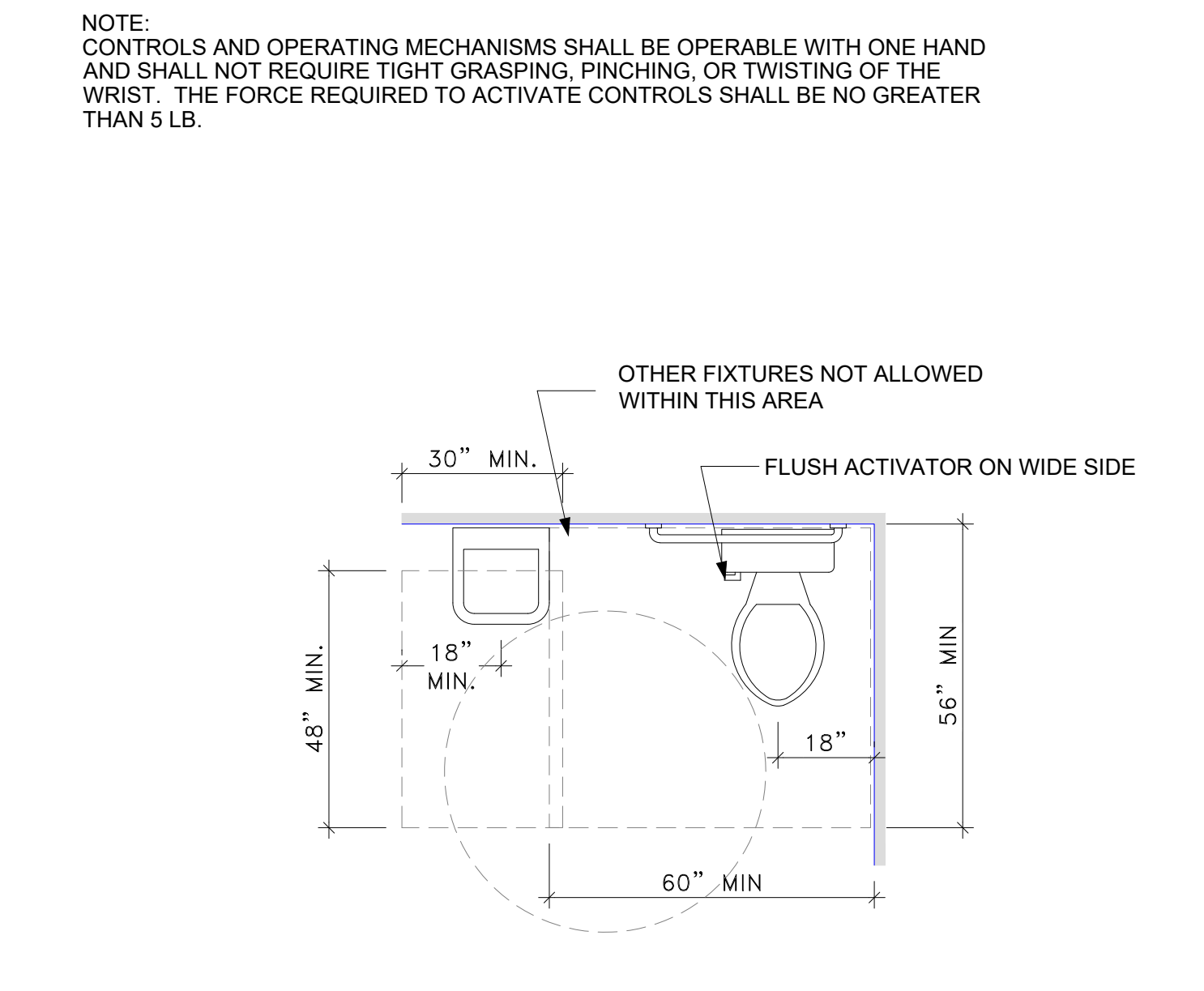
3 REACH RANGE LIMITATIONS
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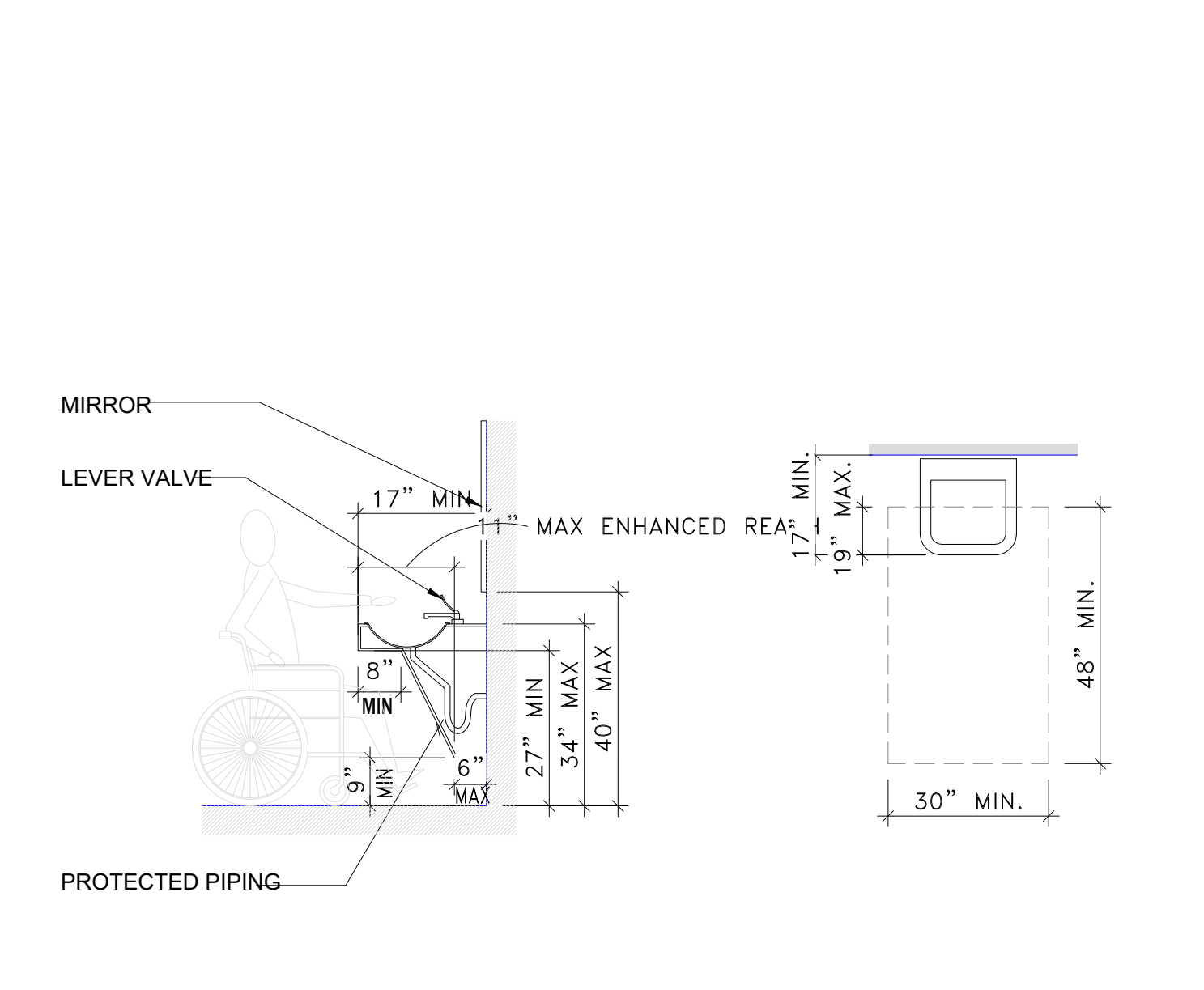
4 NOT USED
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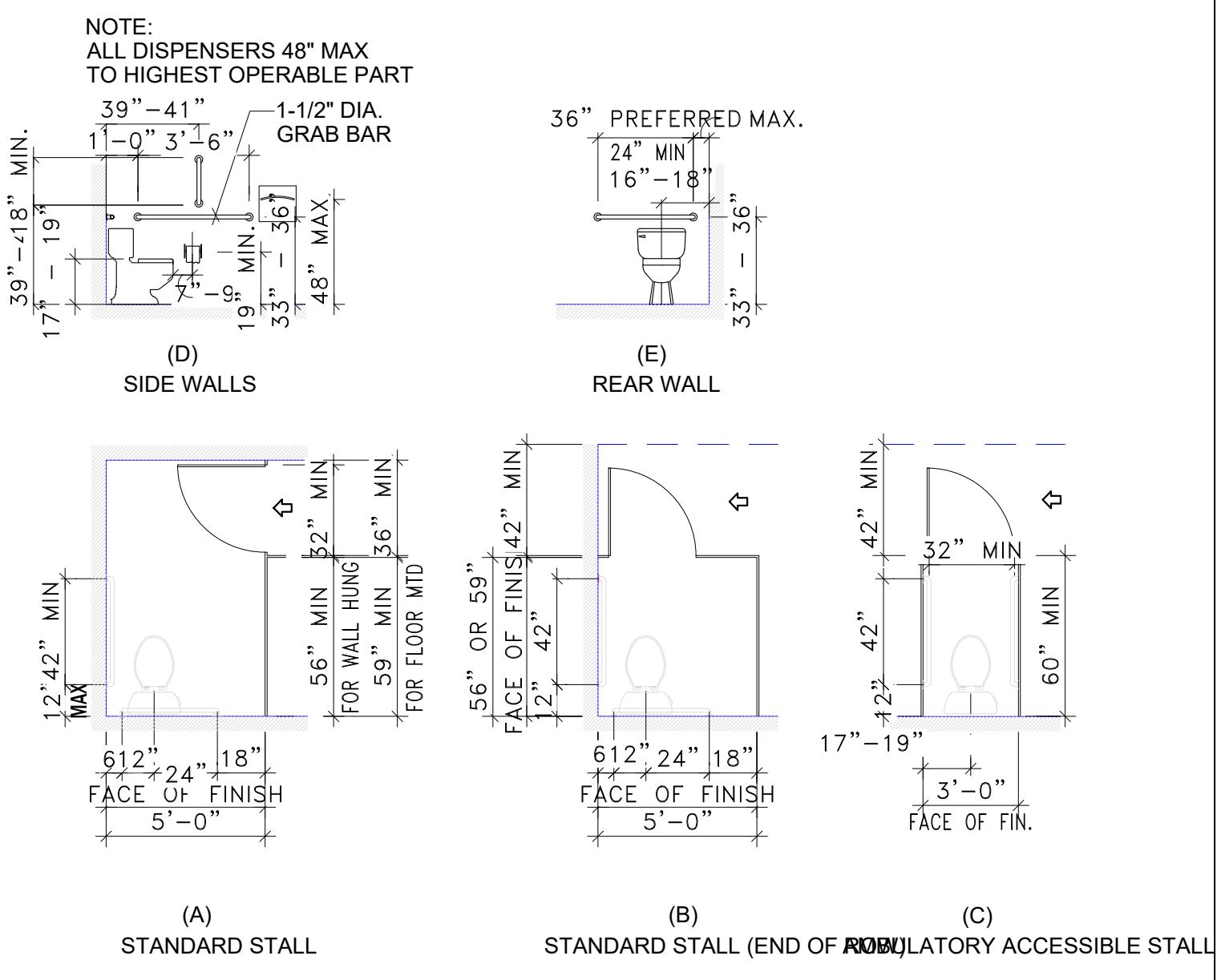
5 TYPICAL MOUNTING HEIGHTS
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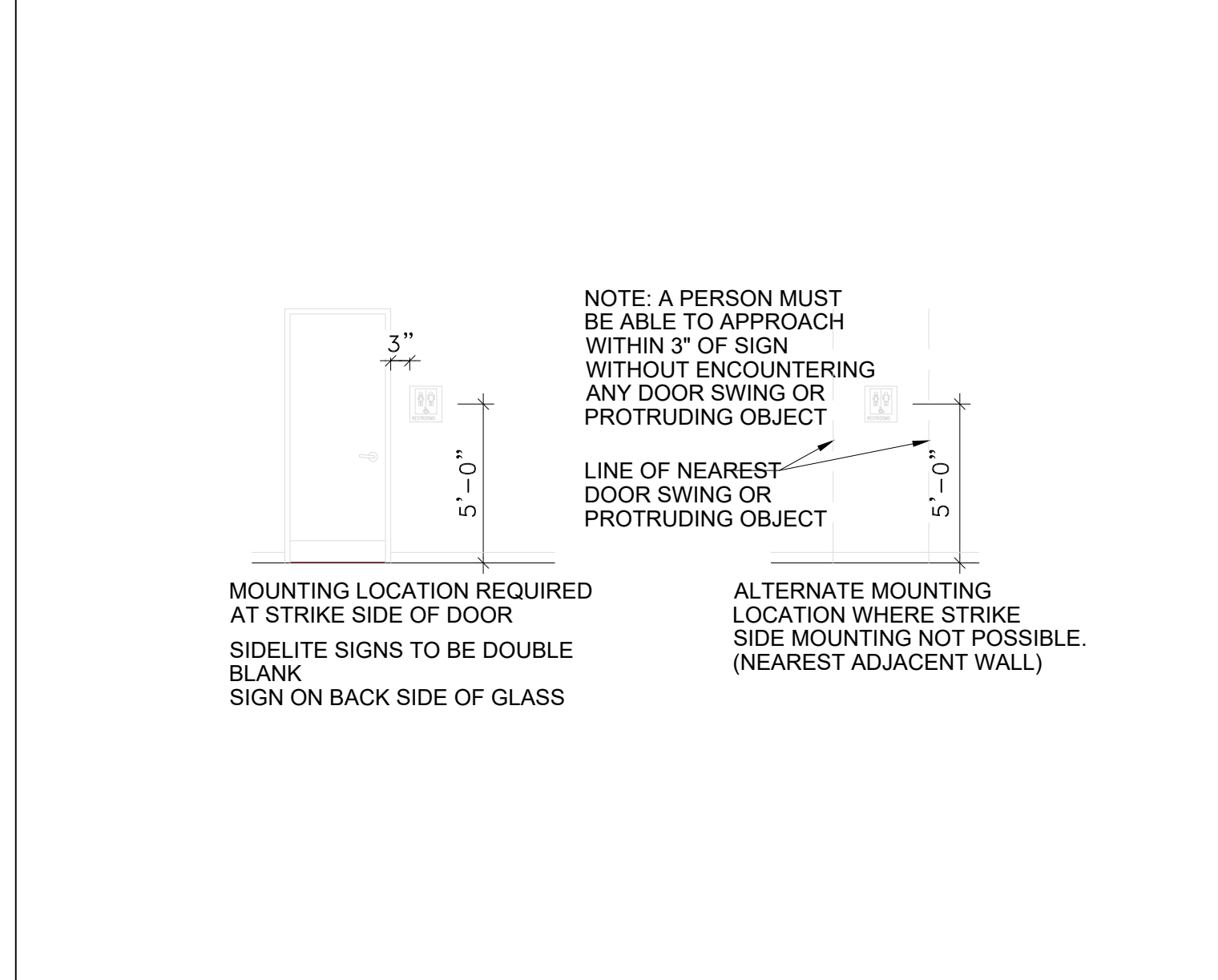
6 ACCESSIBLE SPACE @ W.C.
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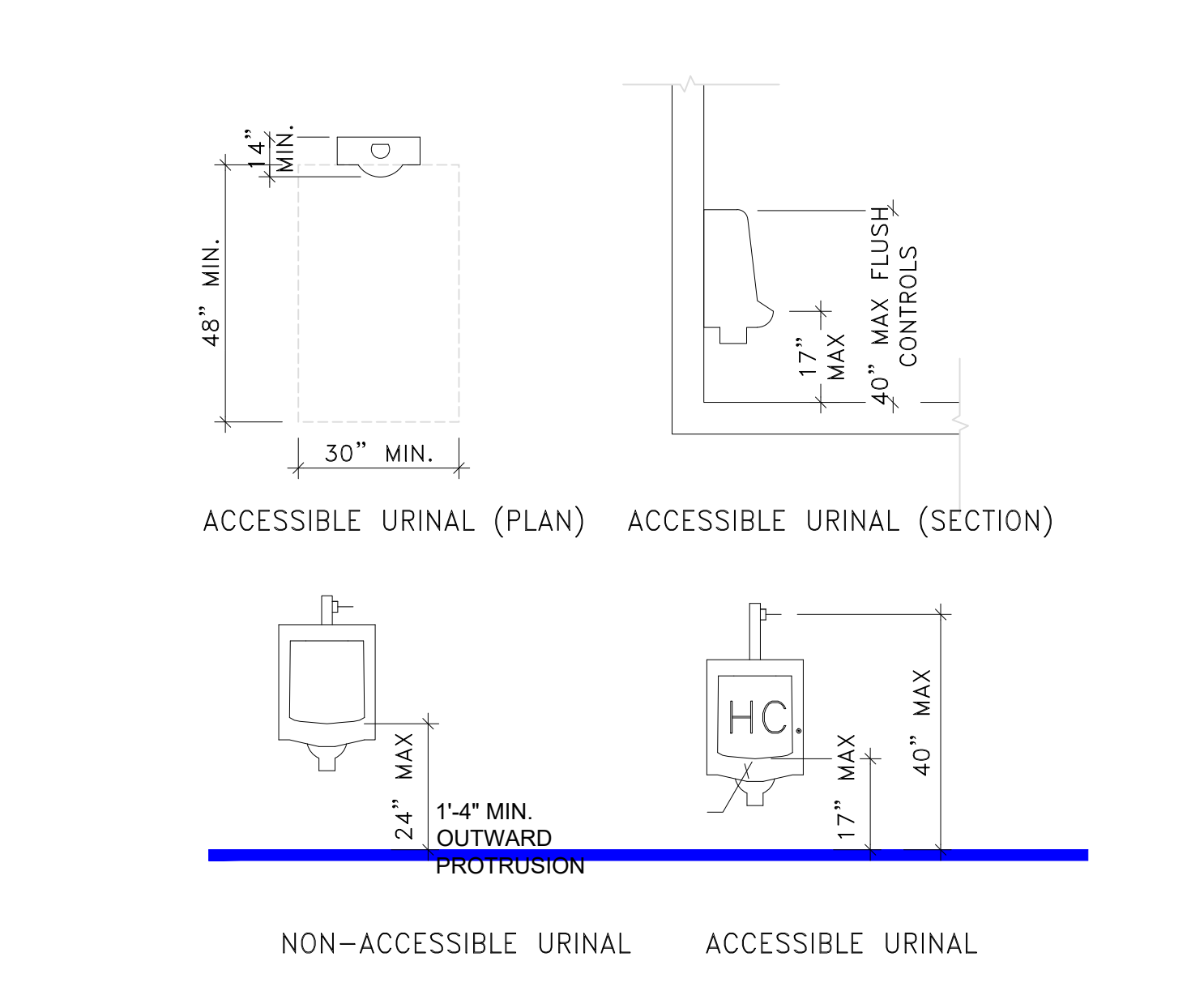
7 ACCESSIBLE LAVATORY
SCALE: N.T.S.



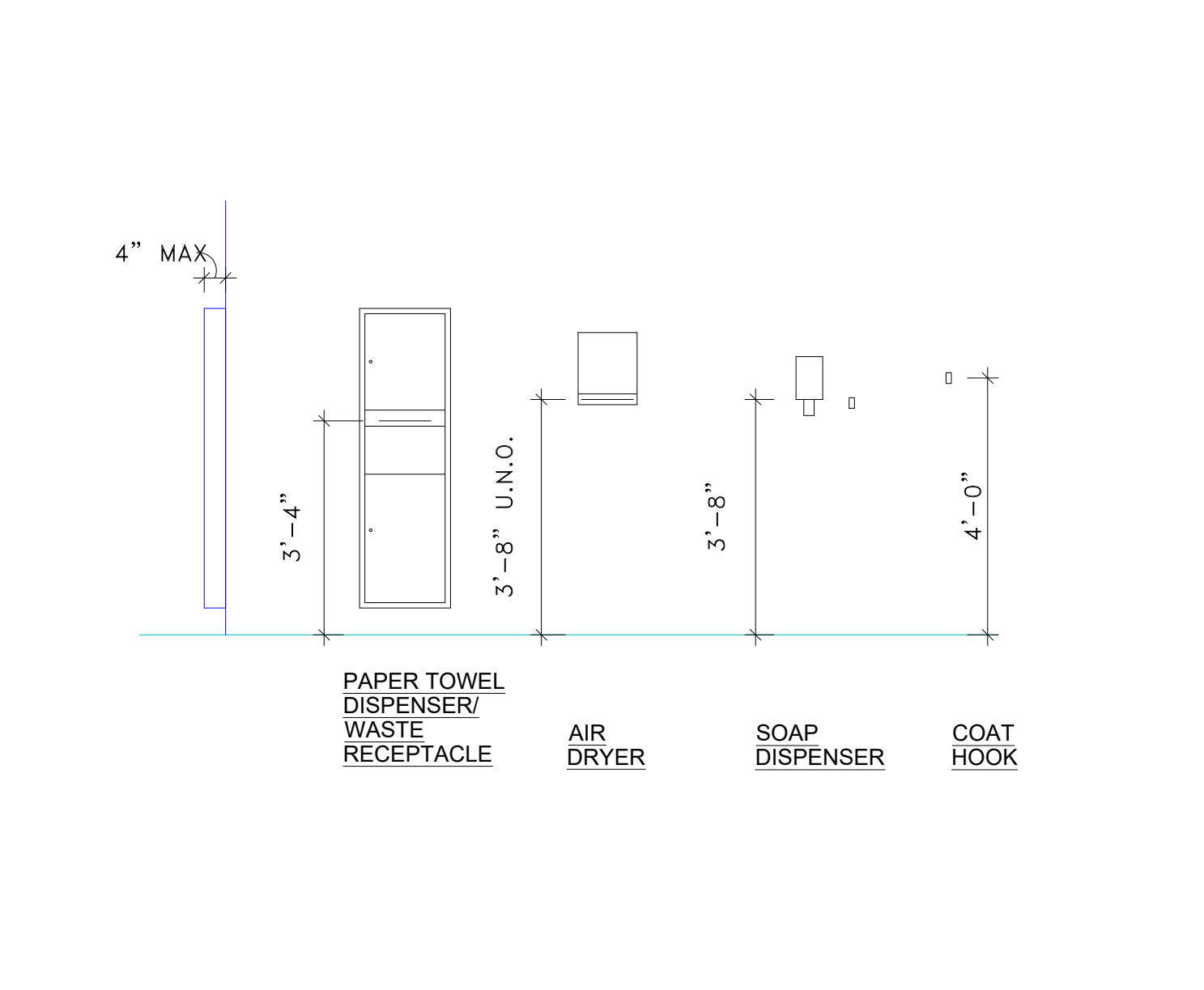
8 ACCESSIBLE WATER CLOSET STALL & GRAB BARS
SCALE: N.T.S.



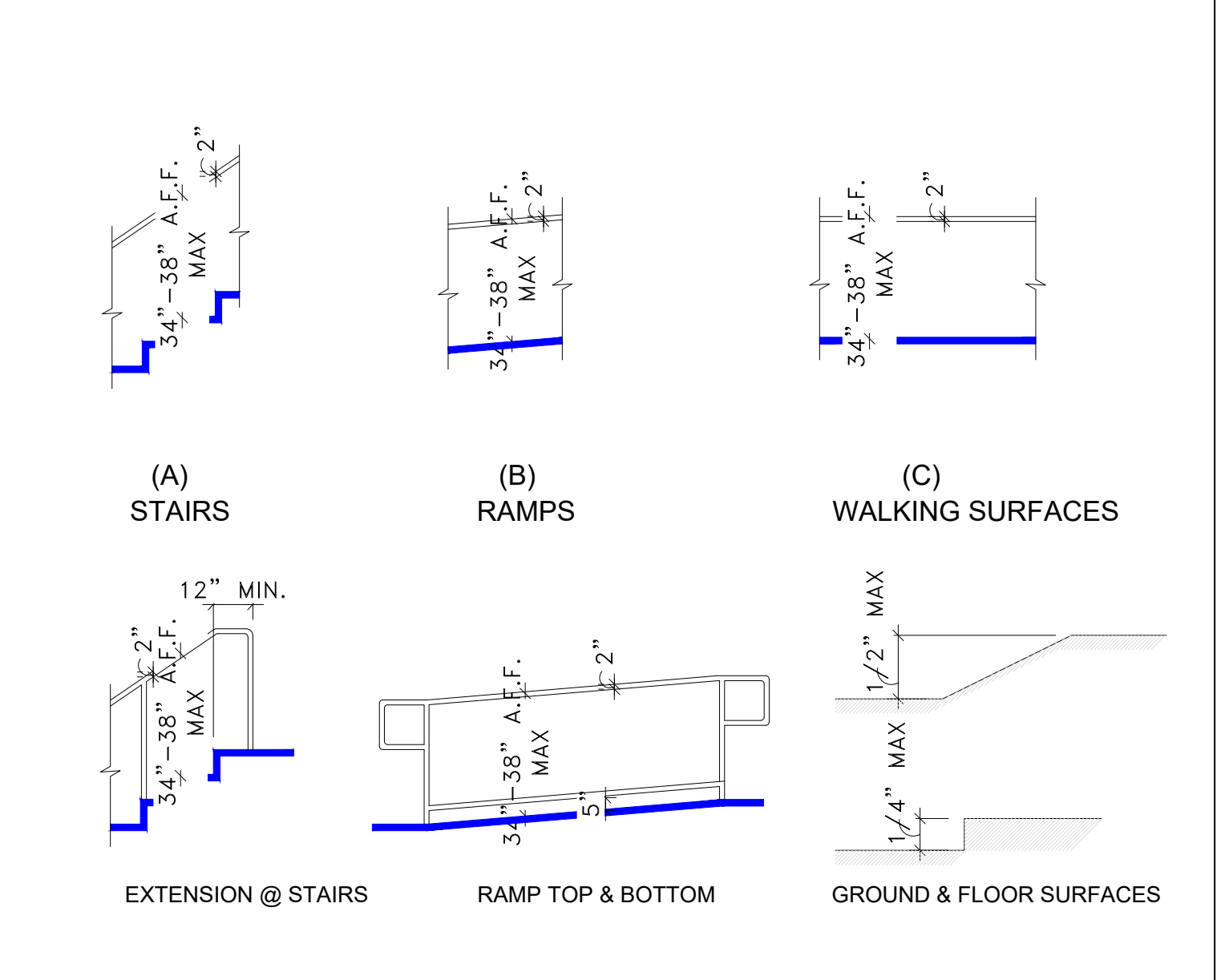
9 ACCESSIBLE RESTROOM SIGNAGE
SCALE: N.T.S.



10 ACCESSIBLE / NON-ACCESSIBLE URINALS
SCALE: N.T.S.



11 PUBLIC ACCESSIBLE ACCESSORIES
SCALE: N.T.S.



12 HANDRAIL HEIGHTS & EXTENSIONS
SCALE: N.T.S.

PROJECT ADDRESS: 55501 29 PALMS HWY. - YUCCA VALLEY, CA. 92284

SHEET NAME: ACCESSIBILITY DETAILS

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PHONE: 951-850-3102

DRAWN BY: M. TELLEZ

DATE: INDICATED

SCALE: INDICATED

SHEET NO.

ADA
OF SHEETS