

**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- E. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR TO CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

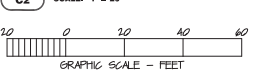
**SYMBOLS LEGEND**

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF NEW PAVING
	NEW POLE SIGN LOCATION
	NEW CONCRETE PARKING BLOCK
	NEW LIGHT POLE LOCATION
	NEW MASONRY FENCE CONSTRUCTION
	AREA OF STAMPED CONCRETE (SEE KEY NOTE #24 THIS SHEET)

**KEY NOTES:**

- 1 CONCRETE PAVING. REFER TO SHEET C1.
- 2 CONCRETE HANDICAP RAMP: TO BE INSTALLED IN ACCORDANCE WITH CAL TRANS STANDARDS.
- 3 CONCRETE CURB: REFER TO DETAIL 3/C3.
- 4 CONCRETE SIDEWALK: REFER TO DETAIL 4/C3.
- 5 CONCRETE DOOR LANDING: REFER TO DETAIL 4/C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED, LANDING CAN BE POURED MONOLITHIC.
- 6 STEEL BOLLARD: REFER TO DETAIL 3/C3. PROVIDE (2) AT TRASH PAD AND OVERHEAD DOOR. PROVIDE (9) AT SIDEWALK. REFER TO STRUCTURAL PLAN FOR LOCATION.
- 7 HANDICAP PARKING SIGN: REFER TO DETAIL 3/C3.
- 8 CONCRETE HANDICAP RAMP: REFER TO DETAIL 3/C3.
- 9 HANDICAP PARKING SYMBOL: REFER TO DETAIL 3/C3.
- 10 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX EACH WAY (ADA COMPLIANT) THE LOADING AND UNLOADING ACCESSIBLE SHALL BE MARKED BY A BORDER PAINTED BLUE, HATCHED LINES A MAXIMUM OF 30" C/C. SHALL BE PAINTED A COLOR OR CONTRASTING WITH PAVING SURFACE. PREFERABLY BLUE OR WHITE WITHIN THE BLUE BORDER. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITH LETTERS NO LESS THAN 12" IN HEIGHT.
- 11 BICYCLE PARKING: EQUAL TO COLUMBIA CASCADE 21703-C. POWDER COATED COLOR TO BE EVERGREEN.
- 12 6'-0" TALL MASONRY ENCLOSURE AND METAL GATE: REFER TO DETAIL 11/C3.
- 13 CONCRETE BUMPER BLOCK: 8" x 5" x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-0" LONG #4 REBAR TO SET LEVEL WITH PAVING. PROVIDE 8" x 5" x 3'-0" LONG CONCRETE BUMPER BLOCK AT ACCESSIBLE PARKING AREAS.
- 14 PARKING LOT LIGHTS: REFER TO SITE UTILITIES PLAN FOR LOCATION AND TYPE.
- 15 LIMITS OF NEW PAVING: MATCH EXISTING PER CITY AND OR STATE STANDARDS.
- 16 ROLL DOWN CURB: TERMINATE AND ROLL DOWN NEW CURB WHERE INDICATED. ROLL DOWN AT 12.
- 17 CONCRETE CURB: NEW CONCRETE CURB TO MATCH EXISTING ADJACENT CURB.
- 18 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 19 ACCESSIBLE TOW-AWAY SIGN: POST AT ENTRANCE TO OFF-STREET PARKING FACILITIES. REFER TO DETAIL 1/C3.
- 20 SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO SITE UTILITIES PLAN FOR DETAILS.
- 21 CONCRETE DRIVE APRON: TO BE INSTALLED PER CITY AND OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE PAVING CONSTRUCTION AS SHOWN ON DETAIL 1/C3.
- 22 CONCRETE SIDEWALK: TO BE INSTALLED PER CITY AND OR STATE STANDARDS (TO MATCH EXISTING SIDEWALK IN BOTH THICKNESS AND WIDTH).
- 23 5'-0" WIDE STRIPED PEDESTRIAN PATH. PROVIDE 4" STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 24 STAMPED CONCRETE: PAVING TO BE INTEGRALLY COLORED (COLOR TO BE DETERMINED FROM ADJACENT PAVEMENT AND SELECTED BY O'REILLY REPRESENTATIVE) WITH STAMPED PATTERN EQUAL TO "HERRINGBONE USED BRICK" BY CALICO CONSTRUCTION PRODUCTS (800) 221-4489. REFER TO DETAIL 4/C3 SIMILAR. PROVIDE 5" THICK CONCRETE PAVING AT THIS LOCATION.
- 25 INSTALL TRUNCATED DOMES AT EDGE OF SIDEWALK. REFER TO DETAIL 2/C3.
- 26 ACCESSIBLE TOW-AWAY SIGN: POST AT ENTRANCE TO OFF-STREET PARKING FACILITIES. REFER TO DETAIL 1/C3.
- 27 CONCRETE HANDICAP RAMP: INSTALL PER CITY AND OR STATE STANDARDS.
- 28 KNOX-BOX PER LOCAL FIRE DEPARTMENT REQUIREMENTS. INSTALL PER MANUFACTURER'S REQUIREMENTS. VERIFY EXACT LOCATION WITH LOCAL FIRE MARSHALL.
- 29 EXISTING ENTRANCE DRIVE TO REMAIN. PROTECT AS REQUIRED.

**1 SITE DEVELOPMENT PLAN**  
C2



REFER TO LANDSCAPE PLANS FOR PLANTINGS



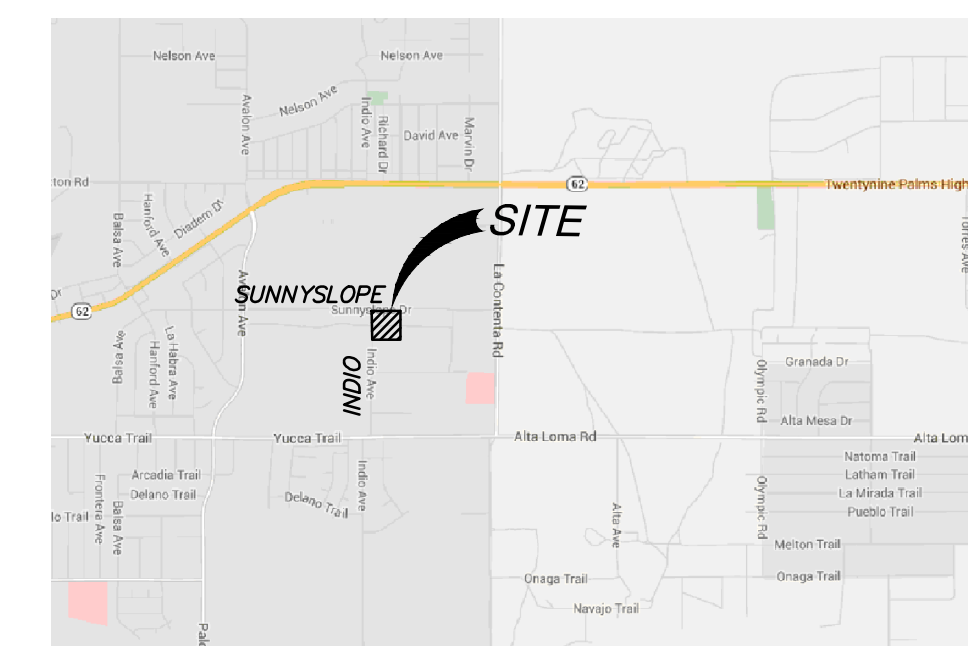
Know what's below.  
Call before you dig.

**THOMAS A. LUNDBERG**  
ARCHITECT  
1750 East Sumner, Suite 417  
Springfield, Missouri 65804  
Tel: 417-862-0558  
Fax: 417-862-3205  
e-mail: architec@cityofspringfield.com

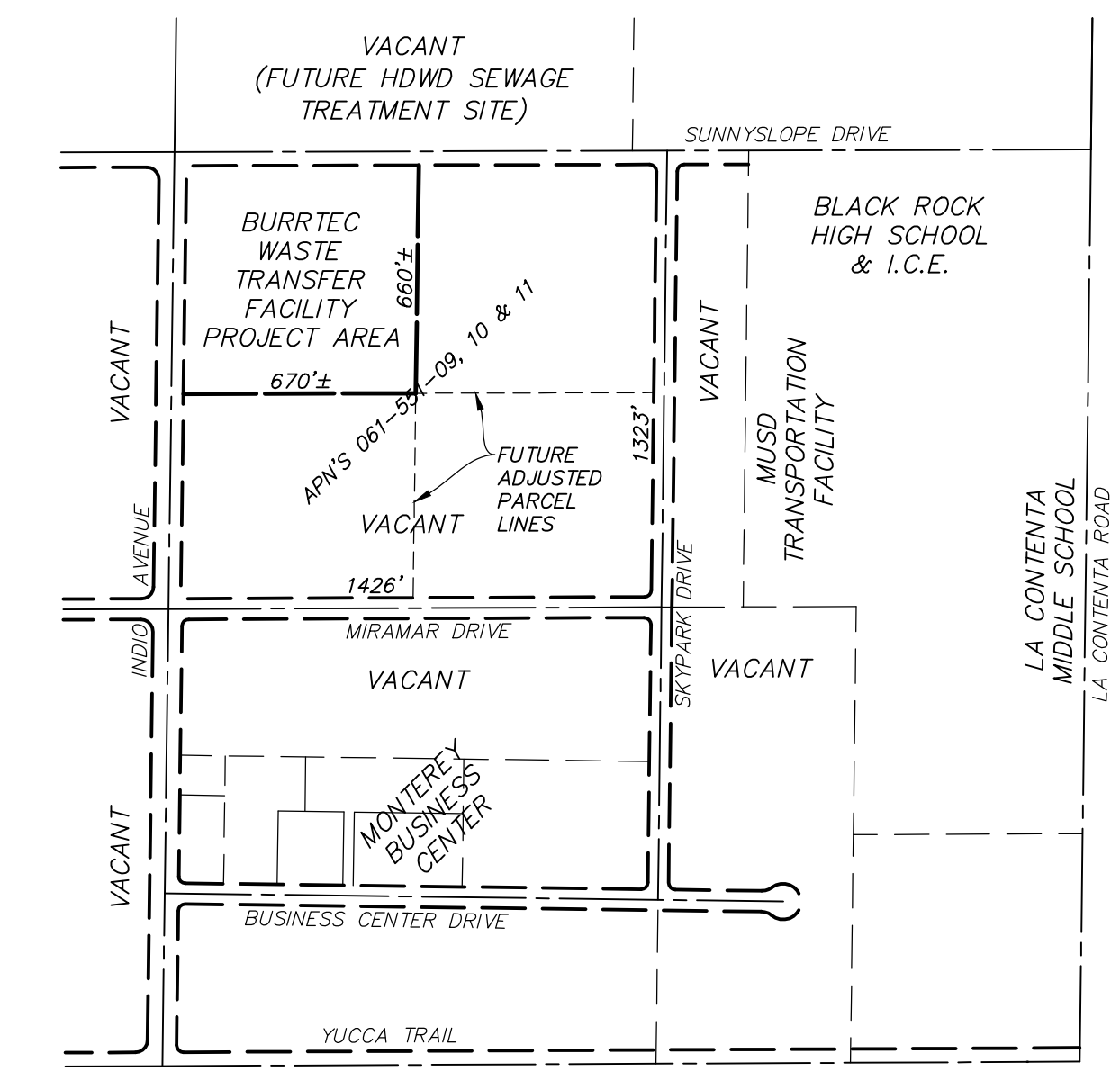
**O'Reilly AUTO PARTS**  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

NOT FOR CONSTRUCTION

COMM # \_\_\_\_\_  
DATE: 8.1.16  
REVISION DATE: \_\_\_\_\_



**VICINITY MAP**



**LOCATION MAP**  
SCALE: 1" = 500'

**OWNER'S**  
ANDREW DAE WONG &  
SUSAN MIJUN BYUN  
1601 PERKINS DRIVE  
ARCADIA, CA 91007

**APPLICANT**  
BURRTEC WASTE & RECYCLING SERVICES  
ATTN: GARY KOONITZ  
41575 ECLECTIC STREET  
PALM DESERT, CA 92260

**ASSESSOR'S PARCEL NO.'S:**  
0601-551-09, 0601-551-10 & 0601-551-09

**PROJECT AREA:**  
10.1-ACRES (APPROXIMATE)

**LEGAL DESCRIPTION:**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF YUCCA VALLEY, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: PARCELS 3, 4 AND 5 OF PARCEL MAP NO. 9708, IN THE CITY OF YUCCA VALLEY, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 106 OF PARCEL MAPS, PAGE(S) 76 TO 78 INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**LAND USE NOTES:**

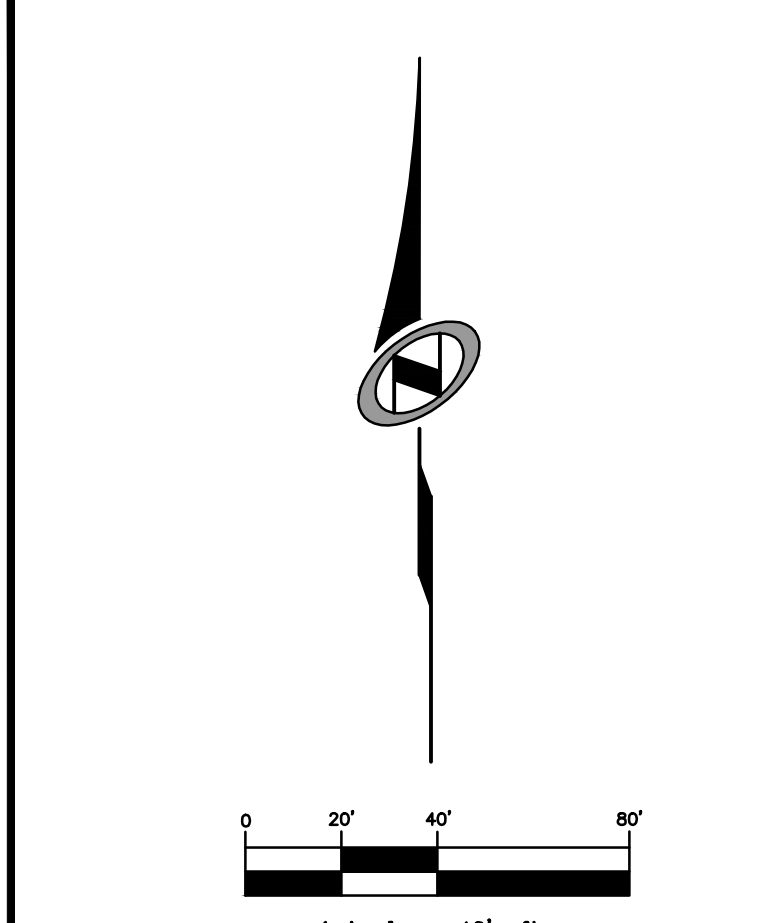
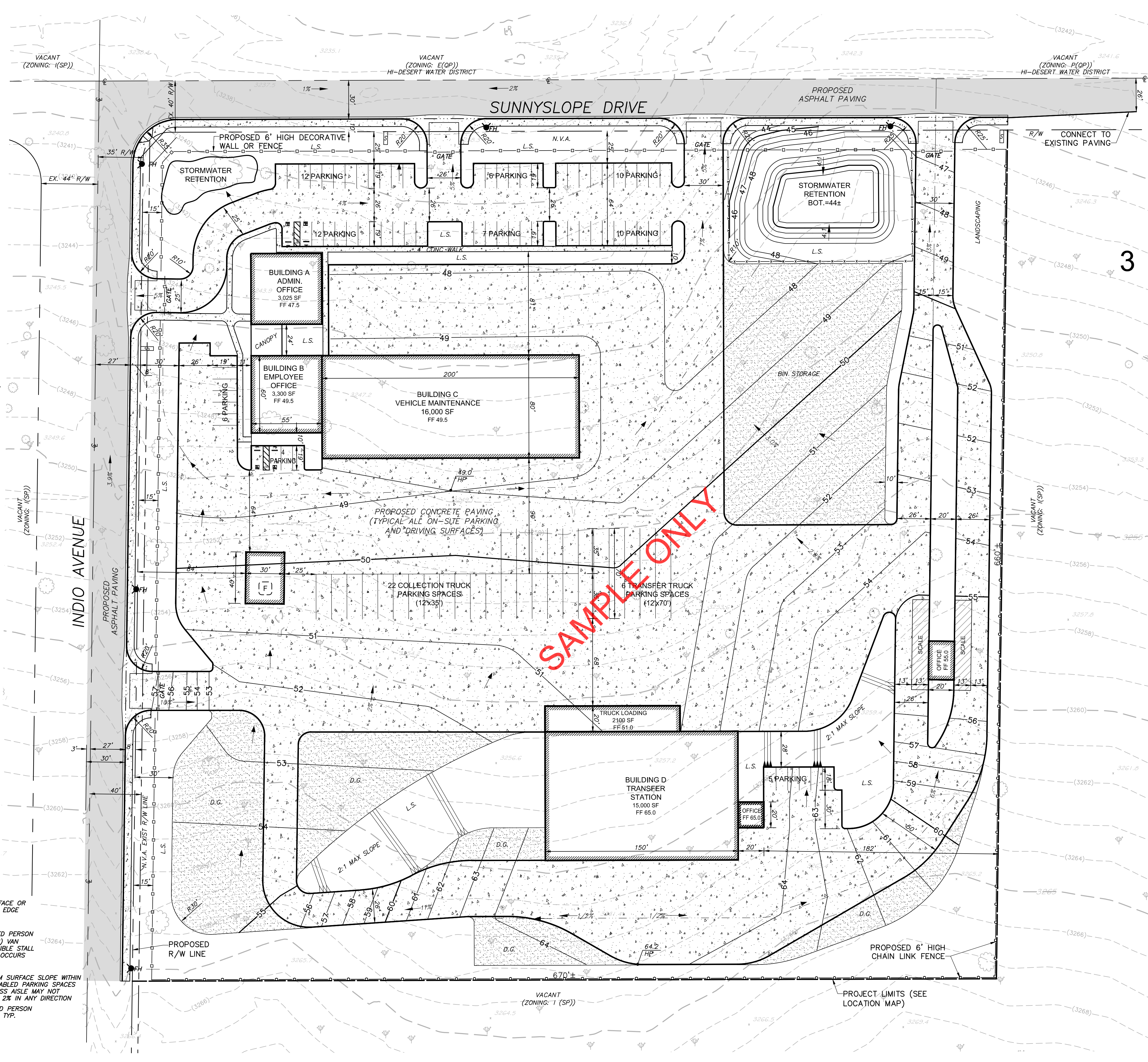
CURRENT & PROPOSED ZONING:	1 (SP)
CURRENT & PROPOSED GENERAL PLAN:	1 (SP)
EXISTING LAND USE:	VACANT
LAND AREAS (ACRES):	
OWNERSHIP:	GROSS: 43.2 NET: 38.9
PROJECT:	GROSS 11.2 NET: 10.0

**GRADING QUANTITIES**

APPROXIMATE RAW CUT:	19,900 CY
APPROXIMATE RAW FILL:	17,700 CY

**BENCHMARK:**  
Project elevations are based on NGS Survey (PID: EV3507) Control Monument "62-1-4" having an elevation of 3172.51 feet (NAV88 Adjustment).  
The benchmark is a 2" Brass Cap stamped "SB CO" located near the intersection of Highway 62 and Indio Avenue in the Town of Yucca Valley, 106.5' north of the centerline of the westbound lanes of Highway 62, and 61' west of the centerline of Indio Avenue, 35.5' south of the southeast corner of a restaurant building, in the top of the north curb of Twentynine Palms Outer Highway.

**SEWAGE DISPOSAL NOTE**  
ONSITE PRIVATE SEPTIC SYSTEMS PENDING CONNECTION TO PUBLIC SEWERS.  
DATE: APRIL 22, 2015



- LEGEND**
- INDICATES PROPOSED FIRE HYDRANT
  - FF INDICATES PROPOSED FINISHED FLOOR ELEVATION (NOTE: PAD = FF-0.83')
  - 60- INDICATES PROPOSED FINISHED CONTOUR
  - 50- INDICATES EXISTING GROUND CONTOUR
  - INDICATES NATIVE PLANT
  - L.S. INDICATES PROPOSED LANDSCAPING
  - (F) INDICATES ABOVE GROUND FUEL STORAGE TANK AND ISLAND WITH CANOPY
  - INDICATES MONUMENT SIGN
  - N.V.A. INDICATES EXISTING NON-VEHICULAR ACCESS PER PM 9708, TO BE ADJUSTED OR VACATED
  - R/W INDICATES RIGHT-OF-WAY
  - ⊕ INDICATES CENTER LINE

**UTILITY PURVEYORS**

**HI-DESERT WATER DISTRICT:**  
Mark Bon  
53439 29 Palms Hwy  
Yucca Valley, CA 92284  
(760) 365-8333

**THE GAS COMPANY:**  
Darryl Whitley  
7124 Mohawk Trail  
Yucca Valley, CA 92284  
(760) 228-0908

**SOUTHERN CALIFORNIA EDISON:**  
John O'Dell  
6999 Old Woman Springs Road  
Yucca Valley, CA 92284  
(760) 369-5449

**Verizon:**  
Larry Moore  
295 North Sunrise Road  
Palm Springs, CA 92262  
(760) 778-3603

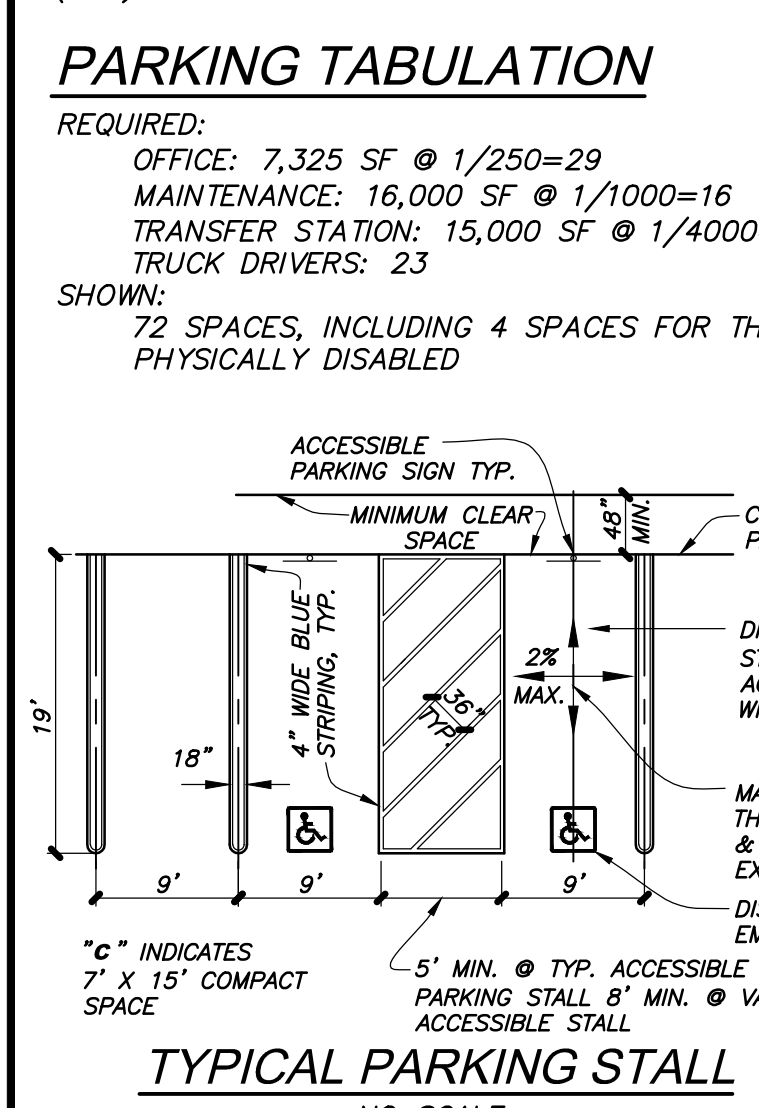
**Time Warner Cable:**  
Lee Hobson  
83-473 Avenue 45  
Indio, CA 92201  
(760) 674-6007

**PARKING TABULATION**

REQUIRED:

- OFFICE: 7,325 SF @ 1/250=29
- MAINTENANCE: 16,000 SF @ 1/1000=16
- TRANSFER STATION: 15,000 SF @ 1/4000=4
- TRUCK DRIVERS: 23

SHOWN:  
72 SPACES, INCLUDING 4 SPACES FOR THE PHYSICALLY DISABLED



**REVISIONS**

MARK	DATE	INITIAL	DESCRIPTION	DATE	APP'VD

THIS PLAN PREPARED BY  
**NOLTE VERTICAL FIVE**  
42-829 COOK STREET, SUITE 104, PALM DESERT, CA 92211  
760.341.3101 TEL 760.341.5999 FAX WWW.NV5.COM

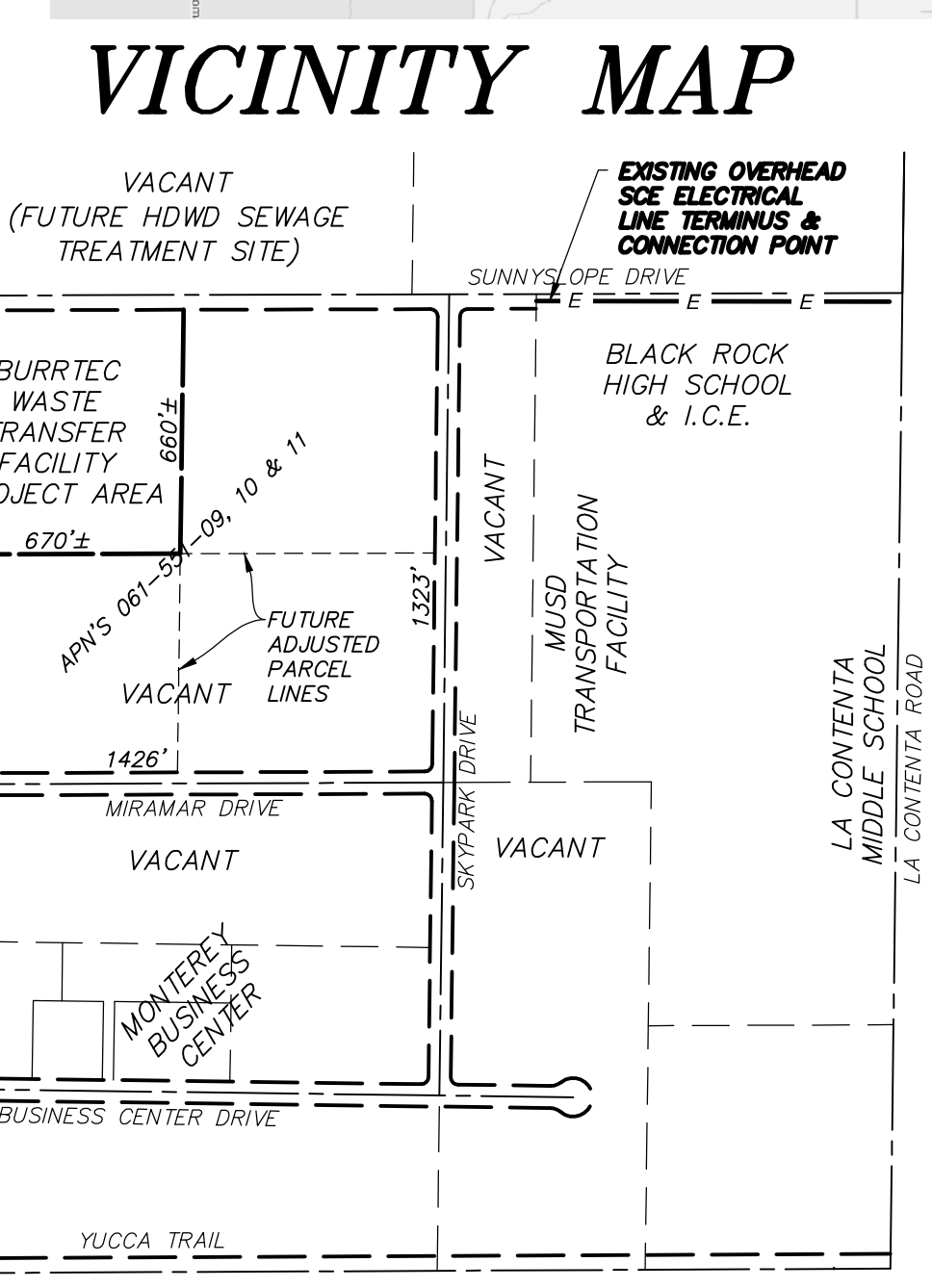
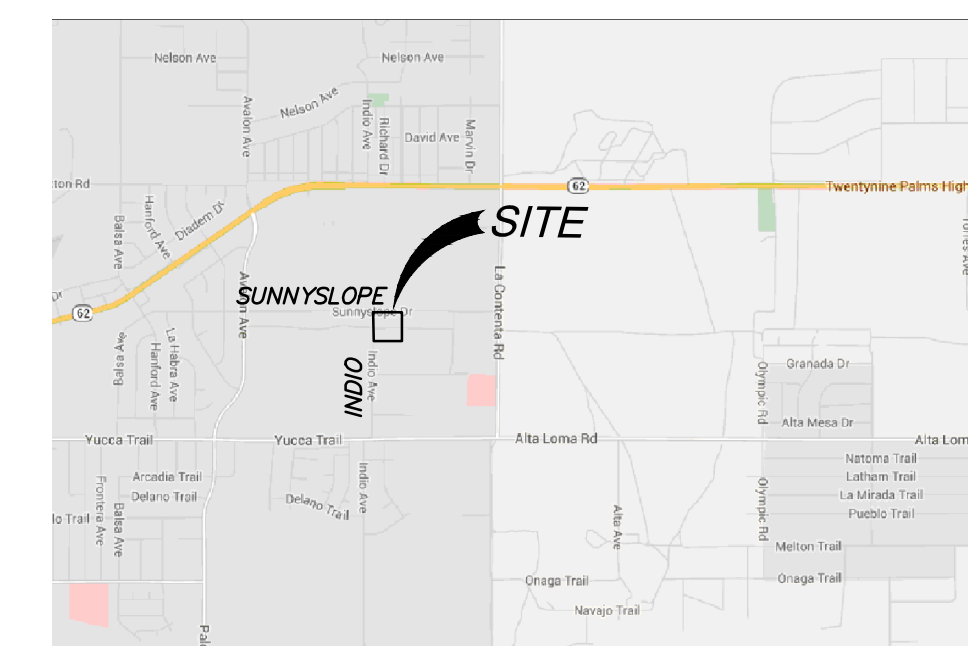
**TOWN OF YUCCA VALLEY**

**BURRTEC WASTE & RECYCLING SERVICES**  
YUCCA VALLEY WASTE TRANSFER FACILITY

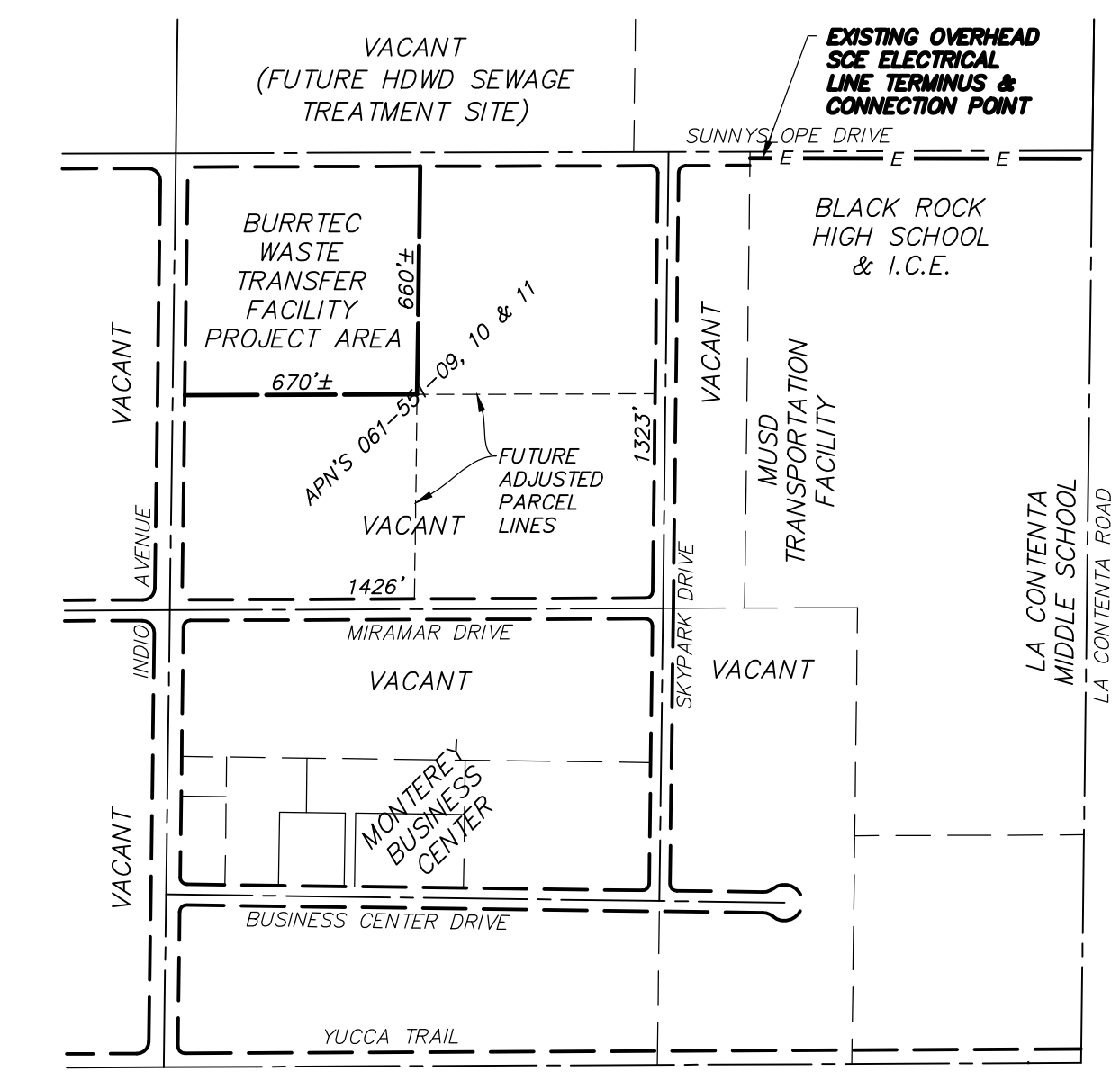
**CONDITIONAL USE PERMIT SITE PLAN AND PRELIMINARY GRADING PLAN**

SHEET  
1  
OF 1 SHEETS  
DRAWING NO.  
SDB096901

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**VICINITY MAP**  
SCALE: 1" = 500'



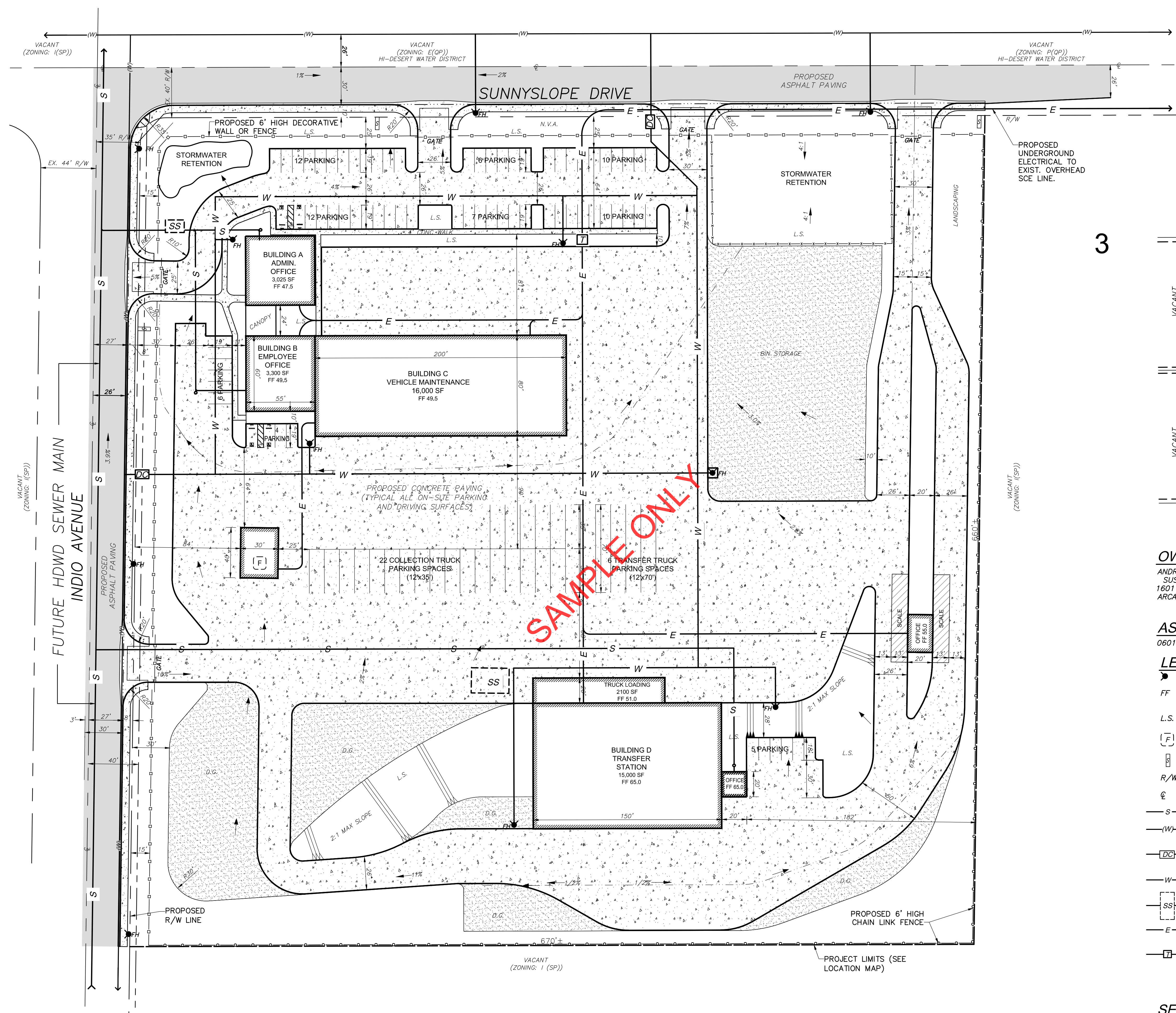
**OWNER'S**  
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**APPLICANT**  
BURRTEC WASTE & RECYCLING SERVICES  
ATTN: GARY KOONTZ  
41575 ECLECTIC STREET  
PALM DESERT, CA 92260

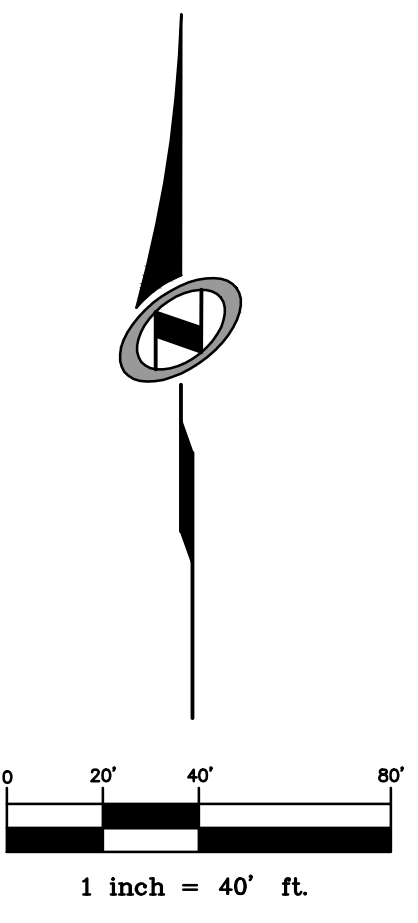
**ASSESSOR'S PARCEL NO'S:**  
0601-551-09, 0601-551-10 & 0601-551-09

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  - [M] INDICATES MONUMENT SIGN
  - R/W INDICATES RIGHT-OF-WAY
  - ⊕ INDICATES CENTER LINE
  - S- INDICATES PROPOSED SEWER
  - (W)- INDICATES EXISTING 12" HDWD WATER MAIN
  - DC- INDICATES PROPOSED METER AND DETECTOR CHECK
  - W- INDICATES PROPOSED PRIVATE WATER MAIN
  - SS- POSSIBLE PROPOSED INTERIM SEPTIC SYSTEM LOCATION
  - E- INDICATES PROPOSED UNDERGROUND ELECTRICAL, PHONE, TV
  - T- INDICATES PROPOSED ELECTRICAL TRANSFORMER

**SEWAGE DISPOSAL NOTE**  
ONSITE PRIVATE SEPTIC SYSTEMS PENDING CONNECTION TO PUBLIC SEWERS.  
DATE: APRIL 22, 2015



SAMPLE ONLY



REVISIONS					
MARK	DATE	INITIAL	DESCRIPTION	DATE	APP'VD

THIS PLAN PREPARED BY  
**NOLTE VERTICAL FIVE**  
42-829 COOK STREET, SUITE 104, PALM DESERT, CA 92211  
760.341.3101 TEL 760.341.5999 FAX WWW.NV5.COM

**TOWN OF YUCCA VALLEY**  
**BURRTEC WASTE & RECYCLING SERVICES**  
YUCCA VALLEY WASTE TRANSFER FACILITY  
PRELIMINARY UTILITY PLAN

SHEET  
1  
OF 1 SHEETS  
DRAWING NO.  
SDB096901

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**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	USE	WUCOLS	STYLE	CA NATIVE	QTY
	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	24"box	Deciduous	Accent Tree	Low	Standard	No	10
	Prosopis x 'Phoenix' TM	Phoenix Thornless Mesquite	24"box	Deciduous	Accent Tree	Low	Standard	No	6
	x Chitalpa tashkentensis 'Morning Cloud'	Morning Cloud Chitalpa	24"box	Deciduous	Accent Tree	Low	Standard	No	4
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	WUCOLS	CA NATIVE	QTY		
	Acacia redolens 'Desert Carpet' TM	Desert Carpet Bank Catclaw	5 gal	Evergreen	Low	No	29		
	Baccharis x 'Starn' TM	Starn Thompson Coyote Brush	5 gal	Evergreen	Low	Yes	74		
	Bulbine frutescens	Stalked Bulbine	5 gal	Evergreen	Low	No	13		
	Dasylyron wheeleri	Grey Desert Spoon	5 gal	Evergreen	Low	No	20		
	Hesperaloe parviflora	Red Yucca	5 gal	Evergreen	Low	No	17		
	Justicia spicigera	Mohintil	5 gal	Evergreen	Low	No	15		
	Leucophyllum frutescens 'Compacta'	Compact Texas Ranger	5 gal	Evergreen	Low	No	55		
	Leucophyllum langmaniae 'Lynn's Legacy'	Lynn's Legacy Langman's Sage	5 gal	Evergreen	Low	No	41		
	Penstemon eatonii	Firecracker Penstemon	1 gal	Evergreen	Low	No	62		
	Penstemon pseudospectabilis	Desert Beardtongue	1 gal	Evergreen	Low	No	50		

All landscape areas are to receive 3" of decomposed granite, color shall be 'California Gold'.

**Notes:**

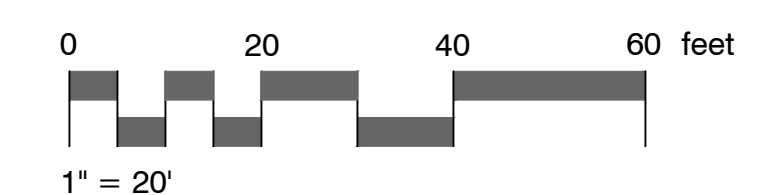
- All landscape plans and installations shall comply with the City of Yucca Valley design guidelines, standards, codes and regulations.
- All landscape areas shall receive permanent irrigation.
  - Irrigation system shall be point source with gallon per minute emitters for trees and gallon per hour emitters for shrubs.
  - Irrigation system shall have a flow sensor and master valve.
  - Irrigation controller shall be a smart controller operating off of weather data and soil moisture sensors.
  - Irrigation controller management software shall be cloud based with remote/online access.
- All landscape installations shall be permanently maintained.
- All landscape plans shall comply with the Model Water Efficient Landscape Ordinance (MWEL) or the local jurisdictions water ordinance, whichever is more stringent.
- All plants shall be of quality as prescribed in the details and specifications of the landscape construction plans.
- All utilities, perimeter walls and trash enclosures shall be screened with hedges, vines, or other approved treatments.
- All existing Joshua Trees as identified by DUDEK in their Western Joshua Tree Inventory for ALDI project, City of Yucca Valley, California dated 01.21.2021 shall remain and protected in place.

**Preliminary MWEL Calculations**

Yucca Valley Eto: 82.9  
 Total Landscape Area: 20,996 SF  
 Average Plant Factor: 0.03 Low water use plants  
 Irrigation Efficiency: 0.81 Drip Irrigation

Estimated Annual Water use: **399,686 gallons**

Maximum allowed water Allowance: 485,619 gallons



**GreenbergFarrow**  
 30 Executive Park, Suite 100  
 Irvine, CA 92614  
 t: 949 296 0450 f: 949 296 0479

**ALDI**  
 YUCCA VALLEY, CA

**WOOD ARCHITECTURE**  
 Project: 20086\_WA  
 Date: 2.22.2021  
 Scale: 1" = 20'  
[www.iwoodarchitecture.com](http://www.iwoodarchitecture.com)



② SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

① EAST ELEVATION  
SCALE: 1/8" = 1'-0"



④ NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

③ WEST ELEVATION  
SCALE: 1/8" = 1'-0"

FINISH KEYNOTES	
1	CEMENT PLASTER FINISH: SMOOTH TROWEL BY: OMEGA PLASTER
2	CORNER FINISH: PAINTED
3	ALUMINUM STOREFRONT FINISH: DARK BRONZE BY: ARCADIA GLASS. CLEAR FLOAT GLASS
4	METAL AWNING FINISH: PAINTED STEEL
5	STANDING SEAM METAL ROOF FINISH: PAINTED
6	STONE VENEER TYPE: BOGADA BLUFFSTONE BY: EL DORADO STONE
7	CONTROL JOINT FINISH: PAINTED
8	ROOF TILE TYPE: CAPSTRAND COLOR: SMC 8403 SANTA BARBARA BLEND BY: EAGLE ROOFING
9	METAL WALL LATTICE TYPE: PAINTED METAL
L1	WALL SCIENCE TYPE: SYROS SERIES, SYROS LED. 8" COLOR: JET BLACK BY: LUMINIS

PAINT COLORS	
-	PAINT COLOR: SW7043 WORLDLY GRAY BY: SHERWIN WILLIAMS
-	PAINT COLOR: SW7058 ANONYMOUS BY: SHERWIN WILLIAMS
-	PAINT COLOR: SW6258 TRICORN BLACK BY: SHERWIN WILLIAMS

NOTE:  
MANUFACTURER AND MODEL NUMBERS IDENTIFIED ABOVE  
REFERENCED FOR DESIGN INTENT ONLY AND MAYBE  
SUBSTITUTED BY AN EQUIVALENT ALTERNATE.

SAMPLE ONLY

CONCEPTUAL SUBJECT TO CHANGE

mmaarchitecture.com

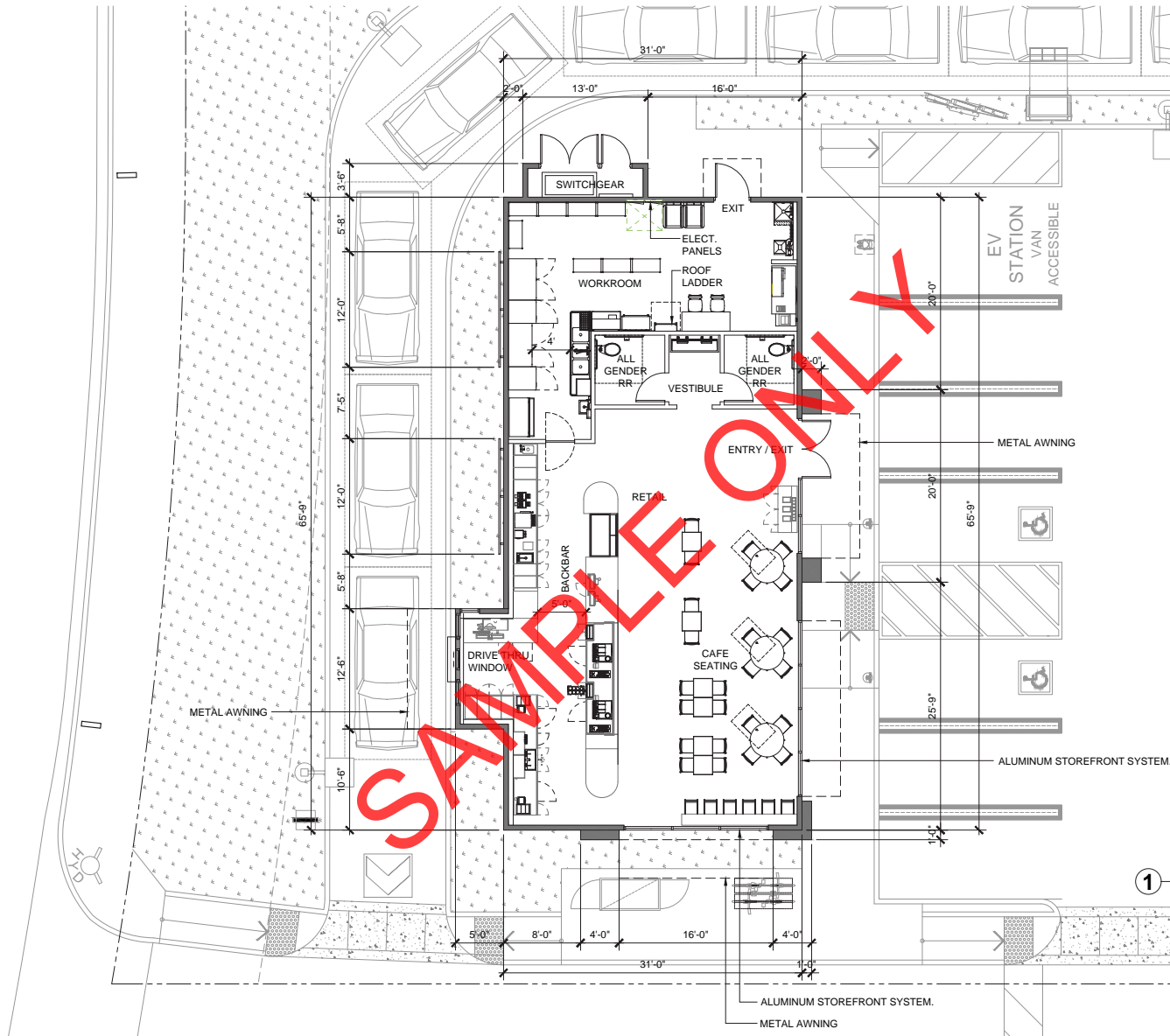


**AVANT REAL ESTATE**  
4490 AYERS AVE., VERNON, California, 90058

**57037 TWENTYNINE PALMS HIGHWAY**  
Yucca Valley, California 92284

#	Description	Date
1	1st SUBMITTAL	02.21.2023
2	Revision	06.07.2023
3	Revision	08.15.2023

ELEVATIONS	
01.15.2023	22015TMA
<b>A201</b>	



1 FLOOR PLAN

SCALE: 3/16" = 1'-0"



CONCEPTUAL SUBJECT TO CHANGE

mmaarchitecture.com



**AVANT REAL ESTATE**

4490 AYERS AVE., VERNON, California, 90058

**57037 TWENTYNINE PALMS HIGHWAY**

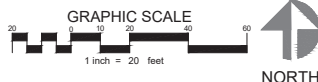
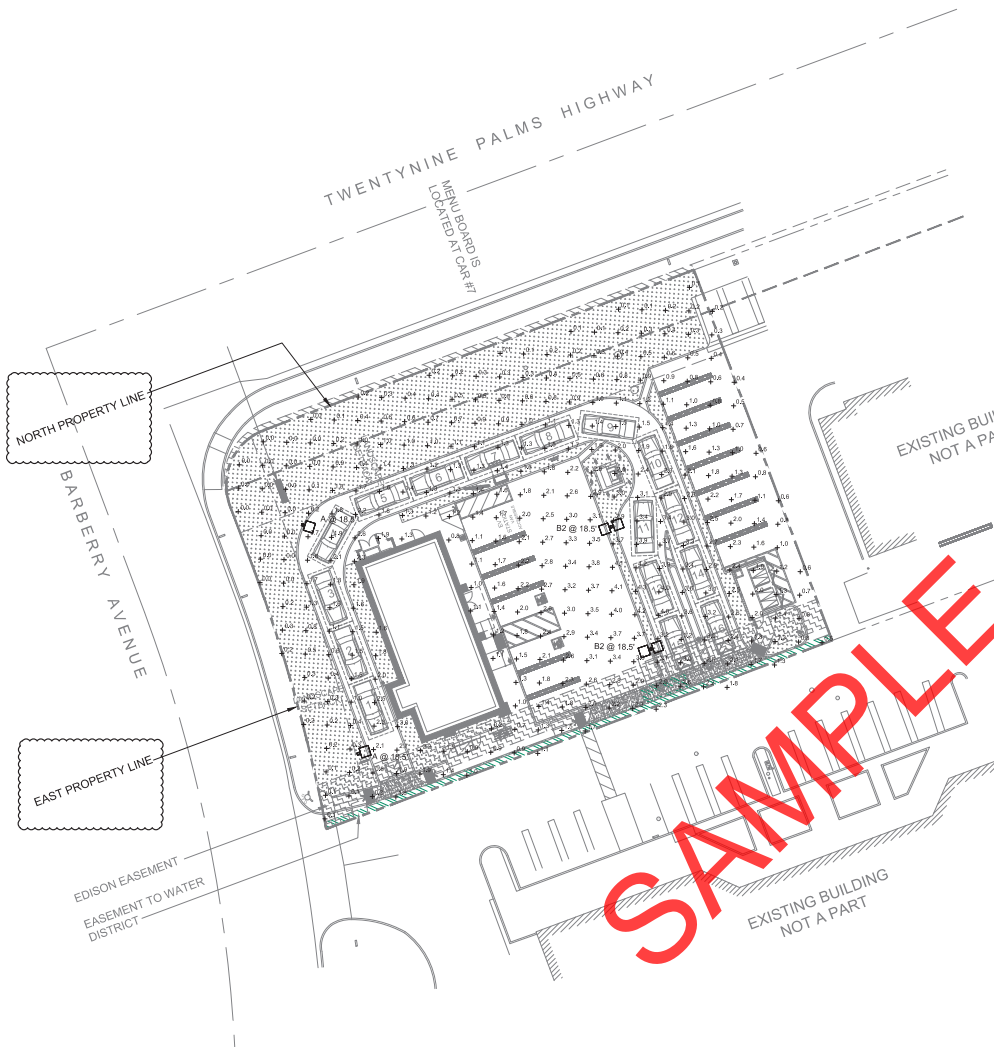
Yucca Valley, California 92284

#	Description	Date
1	1st SUBMITTAL	02.21.2023
2	Revision	06.07.2023
3	Revision	08.15.2023

FLOOR PLAN

01.15.2023 | 22015TMA

**A101**



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	Lithonia Lighting	DSX1 LED P2 30K 80CRI BLC4	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Type 4 Extreme Backlight Control	1	6389	0.9	67.79
	B2	2	Lithonia Lighting	DSX1 LED P2 30K 80CRI TSM	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Type 5 Medium	1	8880	0.9	135.68
			Lithonia Lighting	DSX1 LED P2 30K 80CRI TSM	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Type 5 Medium	1	8880	0.9	67.79
			Lithonia Lighting	DSX1 LED P2 30K 80CRI TSM	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Type 5 Medium	1	8880	0.9	67.79

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL SITE @ 0' A.F.G.	+	1.5 fc	4.3 fc	0.0 fc	N/A	N/A

AVANT REAL ESTATE

Project #: 23123

13215 San Fernando Mission Blvd., Suite 9 | Mission Hills, CA 91345

57037 Twentynine Palms Highway  
Yucca Valley, California 92284

SITE PHOTOMETRICS

22015TMA | 06.08.2023

**SPH-1**

mmaarchitecture.com