

January 10, 2023

Melissa Brannen
26725 Hotwell Road
Desert Hot Springs, CA 92241

**RE: PRE-APPLICATION, PA 15-22
FEED AND TACK STORE**

Melissa Brannen:

Thank you for submitting a Pre-Application for a 'Feed and Tack' store to be located on the property located at 55688 Yucca Trail, also identified as APN 0594-041-12. Below is a summary of the Town's understanding of the project description:

- The project is to convert the existing 1,187 sf structure into a 'Feed and Tack' store, update existing restroom(s) to current ADA standards, provide ADA parking, provide an ADA ramp, create a new accessible route between the parking space, restroom, and retail showroom, and create a new site wall adjacent to the existing structure.
- Property is not within an area of faulting identified on the Alquist-Priolo Earthquake Faulting Map.
- A portion of the north-west corner of the property, is located within FEMA Flood Zone A.
- The site is approximately 2.00 acres.
- The property is located along the portion of Yucca Trail identified on the Yucca Valley General Plan Roadway Classifications map as a 66' full-width, 2 lane, collector road.
- Street frontage located along Yucca Trail is approximately 165'.
- The property is located along the portion of Wamego Trail identified on the Yucca Valley General Plan Roadway Classifications map as a 60' full-width, 2 lane, local road.

Planning
(760) 369-6575
Public Works
(760) 369-6579
Building and Safety
(760) 365-0099
Code Compliance
(760) 369-6575
Engineering
(760) 369-6575
Animal Control
(760) 365-1807
Animal Shelter
(760) 365-3111
FAX (760) 228-0084



The Town of
Yucca Valley

COMMUNITY DEVELOPMENT/PUBLIC WORKS DEPARTMENT
58928 Business Center Dr.
Yucca Valley, California 92284

- Property is not located within the Wildlife Corridor Evaluation Area on the General Plan Biological Resources Map
- Future Class III Bike Lane is identified along Yucca Trail in the Yucca Valley General Plan Circulation Element – Bike Facilities Map.
- Detailed information on architecture, landscaping, and design was not provided.
- California’s Unreinforced Masonry Law requires all cities and counties in Seismic Zone 4, as identified in the California Building Code, to identify potentially hazardous unreinforced masonry buildings in their jurisdictions. There is an unreinforced masonry building on the site, encroaching into the current street side setback, and into the ultimate right-of-way on Wamego Trail.

Town staff had the following comments on the project:

1. The property is located in the Old Town Industrial Commercial zoning district and will require the submittal of a Site Plan Review and Environmental Assessment application.
2. Application materials shall be prepared in accordance with the Site Plan Review submittal checklist, to include site plan, elevations, preliminary landscape plans, preliminary grading plans, preliminary street improvement plans and photometric plan.
3. A 15’ landscape planter shall be provided along all street frontages. A preliminary landscape plan will be required as part of the submittal package. Upon Planning Commission approval of the project, a landscape plan will be required.
4. Required parking is based upon one parking stall per 350 sq ft of industrial use plus one per 350 sq ft of office use plus one per vehicle operated in conjunction with the business. ADA parking requirements are based upon one ADA stall for every 25 required spaces. There shall be a minimum of one ADA van accessible stall. All drive aisles, turning and maneuvering areas and parking stalls shall be paved with not less than two and one-half inches of asphalt, concrete or equivalent surfacing. The parking area will need to be striped with parking stalls of 9’ x 19’ with double or hairpins lines. All parking stall adjacent to any building, wall or fence shall have wheel stops not less than 6 inches in height and not less than three feet from the building, wall or fence.
5. The applicant shall construct a trash enclosure in compliance with Ordinance 42.
6. Pursuant to Development Code Section 9.10.020, exterior storage is required to be fully screened with a solid fence and no storage is to be visible above the fence. Pursuant to Section 4.8.4 of the Old Town Specific Plan, chain link or similar fencing is not allowed within public view.

7. The ultimate half-width right of way for Wamego Trail is 30'. The applicant shall dedicate sufficient right of way a 30' half-width.
8. The ultimate half-width right of way for Yucca Trail is 33'. The applicant shall show that sufficient right of way exists or shall dedicate additional right of way.
9. The applicant will be required to improve the portions of Yucca Trail and Wamego Trail adjacent to the property, including pavement, curb gutter and sidewalk.
10. To retain the restroom structure in its existing location, sufficient property would need to be obtained from the easterly property owner to accommodate 30' of right-of-way plus a fifteen foot (15') setback from the structure to the edge of the right-of-way.
11. Use of the unreinforced masonry restroom structure is anticipated to require engineered seismic retrofitting.
12. A streetlight shall be installed at the primary entrance.
13. Assessments districts will be required for streets, landscaping and lighting.
14. The applicant shall comply with all San Bernardino County Fire conditions.
15. Construction documents shall be designed to the 2022 California Building Code and adopted code of the Town of Yucca Valley.
16. The project is subject to CEQA and may require an incidental take permit through the California Department of Fish and Wildlife for Western Joshua Trees and any other biologically sensitive species on or adjacent to the project site.
17. The Town contracts for CEQA report preparation and environmental review. The contract costs for CEQA analysis are the responsibility of the project proponent.
18. All lighting shall be shielded to comply with Ordinance 90, Outdoor Lighting.
19. Utility undergrounding is required in accordance with Ordinance 233 or as amended by Town Council.
20. Please contact San Bernardino County Fire Department for fire protection standards through their Hesperia, California office. Additional application and application fees should be anticipated.
21. A Program EIR was prepared and adopted for the Old Town Specific Plan area. The Program EIR serves as the basis for future tiered environmental analyses for projects resulting from implementation of the Old Town Specific Plan. The future analyses are developed as more project-specific information is defined and more detailed architectural and engineering plans are prepared. Subsequent activities in the Project must be examined in light of the Program EIR to determine whether additional environmental documents must be prepared.
22. Pursuant to 9.37.060 drainage facilities shall be designed to retain increment plus ten percent (10%).

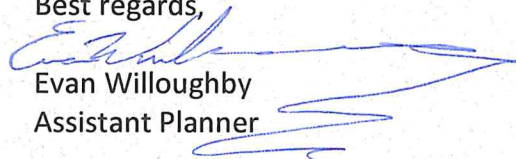
23. The following studies are anticipated to be required at project submittal. Additional studies may be required based on actual scope of the proposed project:
- a. Geotechnical Study – Soils Report
 - b. Hydrology Study
24. Links to the Town of Yucca Valley Development Code and Old Town Specific Plan are provided below.

https://codelibrary.amlegal.com/codes/yuccavalleyca/latest/yuccavalley_ca/0-0-0-2622

<https://www.yucca-valley.org/home/showpublisheddocument/2492/637008979424700000>

Again, thank you for your interest in the Town of Yucca Valley. Should you have any questions please feel free to contact staff at your convenience.

Best regards,


Evan Willoughby
Assistant Planner