

LOMITA BUNGALOWS

4942 LOMITA LANE, YUCCA VALLEY, CA 92284

ARCHITECTURAL SHEETS

A101 SITE PLAN
A102 BUNGALOW FLOOR PLAN
A103 CLUBHOUSE FLOOR PLAN
A201 BUNGALOW ELEVATIONS
A202 BUNGALOW COLOR ELEVATIONS
A203 CLUBHOUSE ELEVATIONS
A204 CLUBHOUSE COLOR ELEVATIONS
A901 BUNGALOW RENDER
A902 CLUBHOUSE RENDER

LANDSCAPE SHEETS

L101 NATIVE PLANT PLAN
L102 LANDSCAPING PLAN

MECHANICAL SHEETS

E101 PHOTOMETRIC PLAN

PROPERTY OWNER & APPLICANT



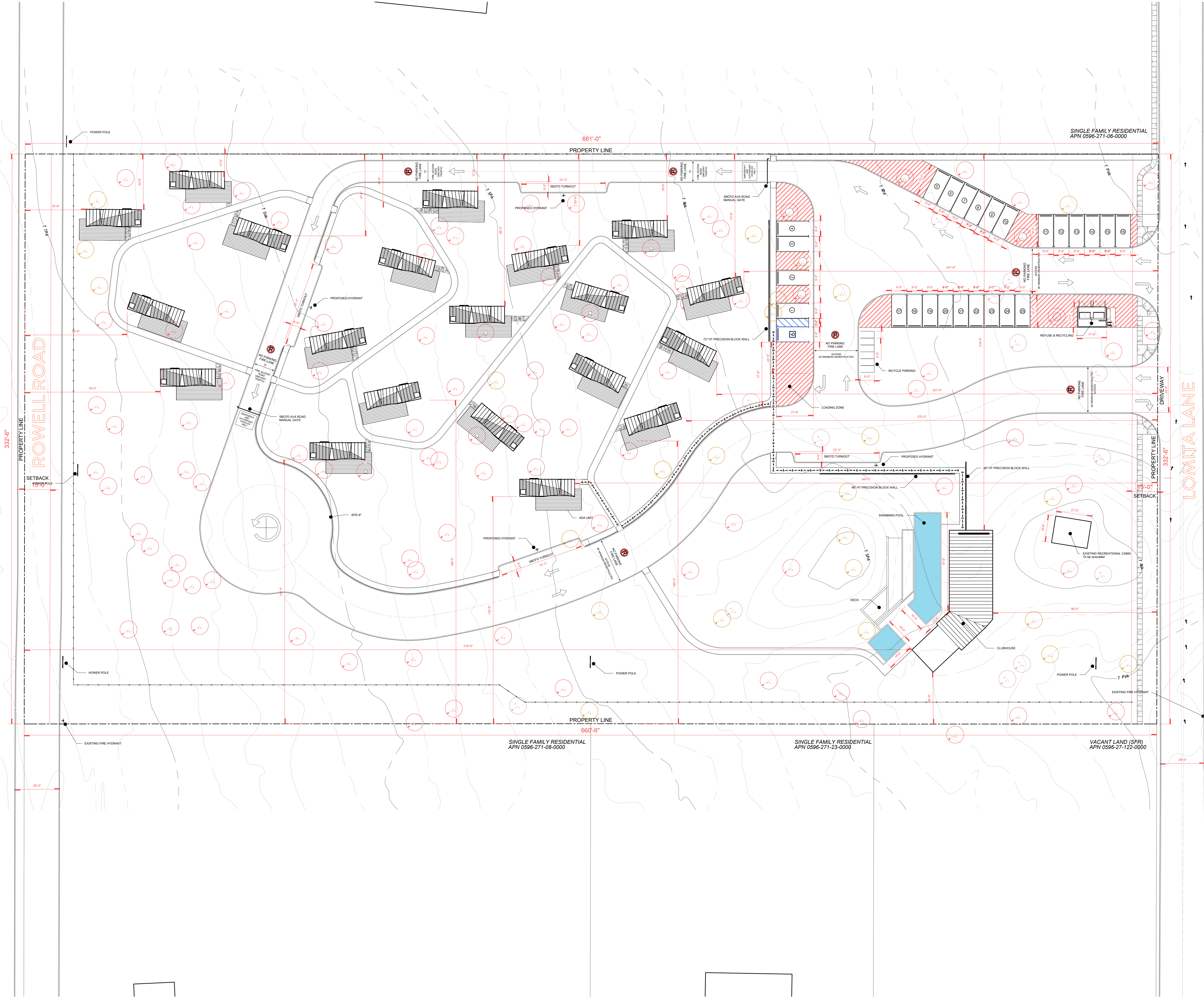
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lafontaine@evoquemodern.com

DESIGN AND DRAWINGS

LAMAL KAL

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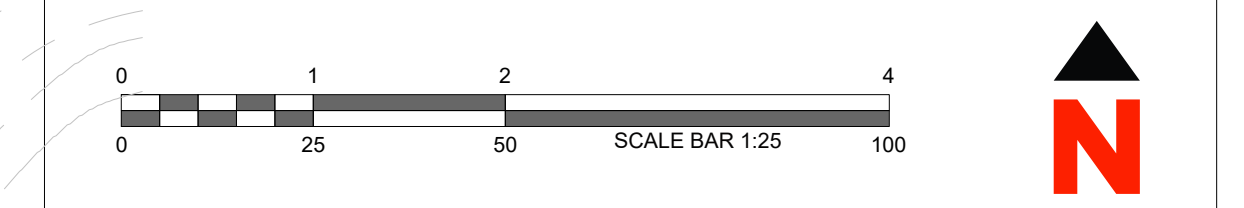
REVISIONS

ISSUE	DATE	DESCRIPTION



LEGEND

BUNGALOW UNIT	JOSHUA TREE	PROPOSED RIGHT OF WAY
FENCE	MOJAVE YUCCA	INDICATES CENTERLINE
BLOCK WALL	CALIFORNIA JUNIPER	INDICATES PROPERTY BORDER
SIDEWALK	LANDSCAPED AREA	INDICATES EXISTING COUNTOURS
		WALKWAY
		ACCESSIBLE ROUTE



LEGAL
 LOT 07 APN 0596-271-07-0000
 ACCESSORS MAP BK. 0596
 SAN BERNARDINO COUNTY, CA

EXISTING AND PROPOSED DESIGNATION
 C-G

EXISTING AND PROPOSED GENERAL PLAN DESIGNATION
 GENERAL COMMERCIAL

SPECIFIC PLAN IDENTIFICATION AND LAND USE DESIGNATION
 NOT APPLICABLE

EXISTING LAND USE
 0596-271-07-0000: VACANT

PROPOSED LAND USE
 0596-271-07-0000: HOTEL
 Total gross area: 219,391 SQ. FT.
 Total net area: 210,145 SQ. FT.

APPROXIMATE EARTHWORK QUANTITIES
 Cut:
 Fill:

UTILITY PROVIDERS
WATER
 HIGH DESERT WATER DISTRICT
 55439 Twentynine Palms Highway, Yucca Valley, CA
 (760) 365-6353

ELECTRICITY
 SOUTHERN CALIFORNIA EDISON
 6999 Old Woman Springs Rd, Yucca Valley, CA 92284
 (800) 655-4555

TELEPHONE
 VERIZON CALIFORNIA
 295 N Sunrise Way, Palm Springs, CA 92282
 (760) 778-3610

TV CABLE
 TIME WARNER CABLE
 73181 Mediterranean Rd, Palm Desert, CA 92211
 (760) 674-5404

WASTE DISPOSAL
 BURRTEC
 4878 Newton Ln, Yucca Valley, CA 92284
 (760) 365-2015

SEWAGE
 SEPTIC SYSTEM OR PACKAGE WASTEWATER
 TREATMENT PLANT

STAFFING
 6 PERSON CLEANING & MAINTENANCE CREW
 ON SITE DAILY FROM 10AM-2PM REQUIRING
 2 PARKING SPACES
 1- LIFE GUAR ON DUTY DAILY 10AM-5PM
 NEEDING 1 PARKING SPACE

PARKING
 25 - 8'X19' PARKING SPACES
 1 - ACCESSIBLE SPACE
 6 - BICYCLE SPACES
 1 - LOADING SPACE

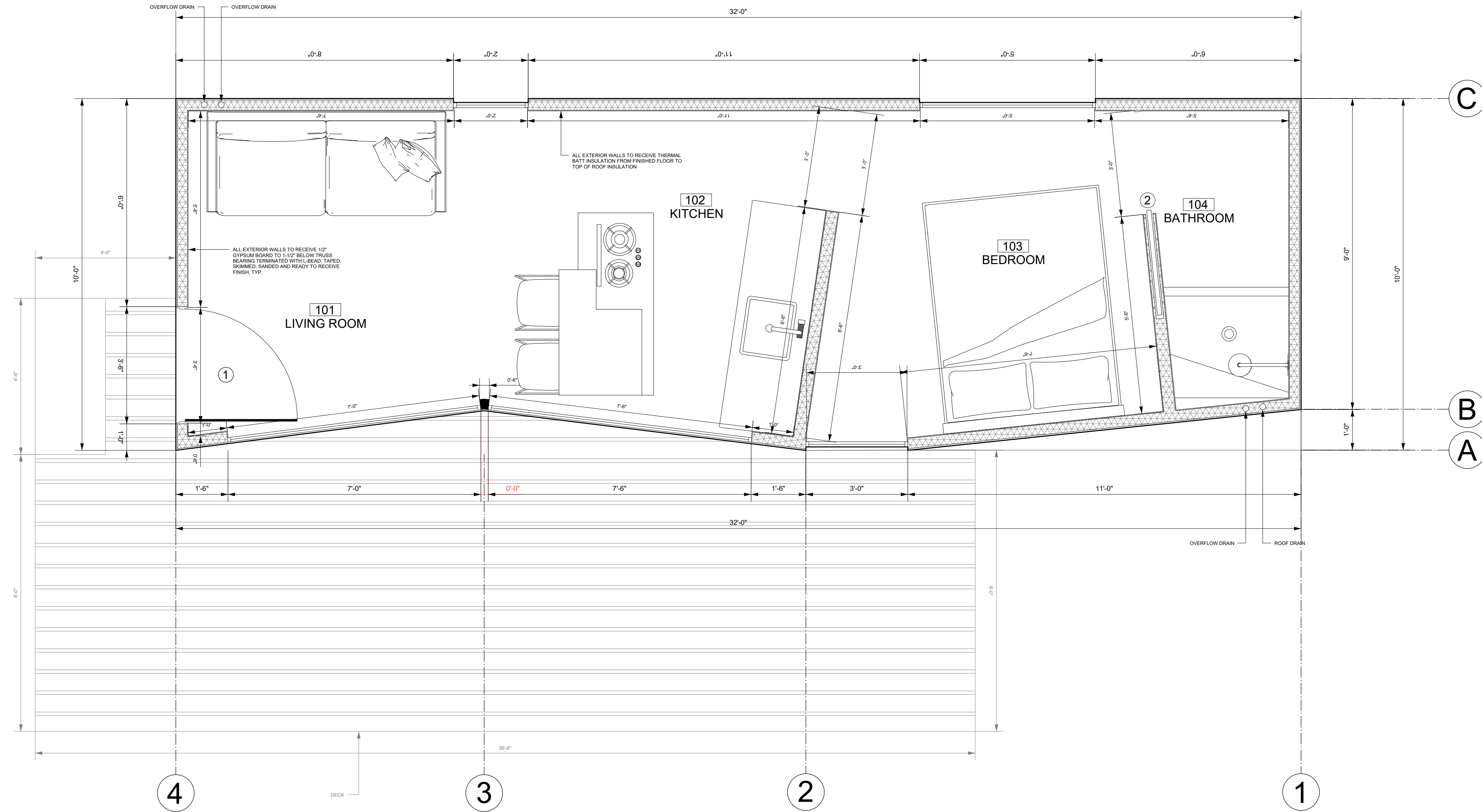
PROPERTY OWNER & APPLICANT

 54934 29 PALMS HWY, YUCCA VALLEY CA 92284
 (760) 880-6436
 info@evoqusmodern.com

REPRESENTATIVE
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DESIGN AND DRAWINGS

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ARCHITECTURAL FLOOR PLAN

1/2"=1'

REVISIONS

ISSUE	DATE	DESCRIPTION

LEGEND

2X4 LIGHT STEEL STUD WALL WITH R-21 THERMAL BATT INSULATION

① DOOR TYPE, RE: A601

② DOOR TYPE, RE: A601

GENERAL NOTES

- REFER TO A601 FOR DOOR INFORMATION & A602 FOR STRUCTURE DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE OF WALL SHEATHING, FACE OF STRUCTURE, OR CENTERLINE OF STRUCTURE UNLESS NOTES OTHERWISE.
- SEE STRUCTURAL SHEETS FOR EXTERIOR WALL FRAMING AND SHEATHING.
- TAPE SEALANT AT ALL ANCHOR LOCATIONS.
- ALL FLASHING AND SEAMS BETWEEN SHEATHING IN LIGHT STEEL STUD WALL CONSTRUCTION CONDITIONS TO BE TAPED AND SEALED WITH TAPE SEALANT.
- LAP ALL WEATHER RESISTANT BARRIERS AND THRU-WALL FLASHING IN A WATER SHEDDING FASHION. TAPE ALL EXPOSED EDGES.
- EXTEND ALL THRU-WALL FLASHING TO 14 INCH PAST THE EXTERIOR FACE OF WALL.
- PROVIDE CONTINUOUS ANCHORAGE FOR ALL THRU-WALL FLASHING.
- EXTEND FLASHING VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
- APPLY SEALANT TO ALL SHEATHING JOINTS AND FASTENER PENETRATIONS.
- PROVIDE FULLY ADHERED FLASHING AT ALL WINDOW AND DOOR OPENING HEADS, SILLS AND JAMBS.
- EDGE OF SLAB/CURB ALIGNS WITH EXTERIOR FACE OF WALL SHEATHING AND EXTERIOR FACE OF STRUCTURE.

PROPERTY OWNER & APPLICANT

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DESIGN AND DRAWINGS

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TOWN OF YUCCA VALLEY

BUNGALOWS ARCHITECTURAL FLOOR PLAN





LOMITA BUNGALOWS
 4942 LOMITA LANE, YUCCA VALLEY, CA 92284

SHEET
A102

REVISIONS

ISSUE	DATE	DESCRIPTION

LEGEND

-  2X4 LIGHT STEEL STUD WALL WITH R-21 THERMAL BATT INSULATION
-  DOOR TYPE, RE: A601
-  DOOR TYPE, RE: A601
-  DOOR TYPE, RE: A601

GENERAL NOTES

1. REFER TO A601 FOR DOOR INFORMATION & A602 FOR STRUCTURE DIMENSIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL SHEATHING, FACE OF STRUCTURE, OR CENTERLINE OF STRUCTURE UNLESS NOTES OTHERWISE.
3. SEE STRUCTURAL SHEETS FOR EXTERIOR WALL FRAMING AND SHEATHING.
4. TAPE SEALANT AT ALL ANCHOR LOCATIONS.
5. ALL FLASHING AND SEAMS BETWEEN SHEATHING IN LIGHT STEEL STUD WALL CONSTRUCTION CONDITIONS TO BE TAPED AND SEALED WITH TAPE SEALANT.
6. LAP ALL WEATHER RESISTANT BARRIERS AND THRU-WALL FLASHING IN A WATER SHEDDING FASHION. TAPE ALL EXPOSED EDGES.
7. EXTEND ALL THRU-WALL FLASHING TO 1/4 INCH PAST THE EXTERIOR FACE OF WALL.
8. PROVIDE CONTINUOUS ANCHORAGE FOR ALL THRU-WALL FLASHING.
9. EXTEND FLASHING VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
10. APPLY SEALANT TO ALL SHEATHING JOINTS AND FASTENER PENETRATIONS.
11. PROVIDE FULLY ADHERED FLASHING AT ALL WINDOW AND DOOR OPENING HEADS, SILLS AND JAMBS.
12. EDGE OF SLAB/CURB ALIGNS WITH EXTERIOR FACE OF WALL SHEATHING AND EXTERIOR FACE OF STRUCTURE.

PROPERTY OWNER & APPLICANT

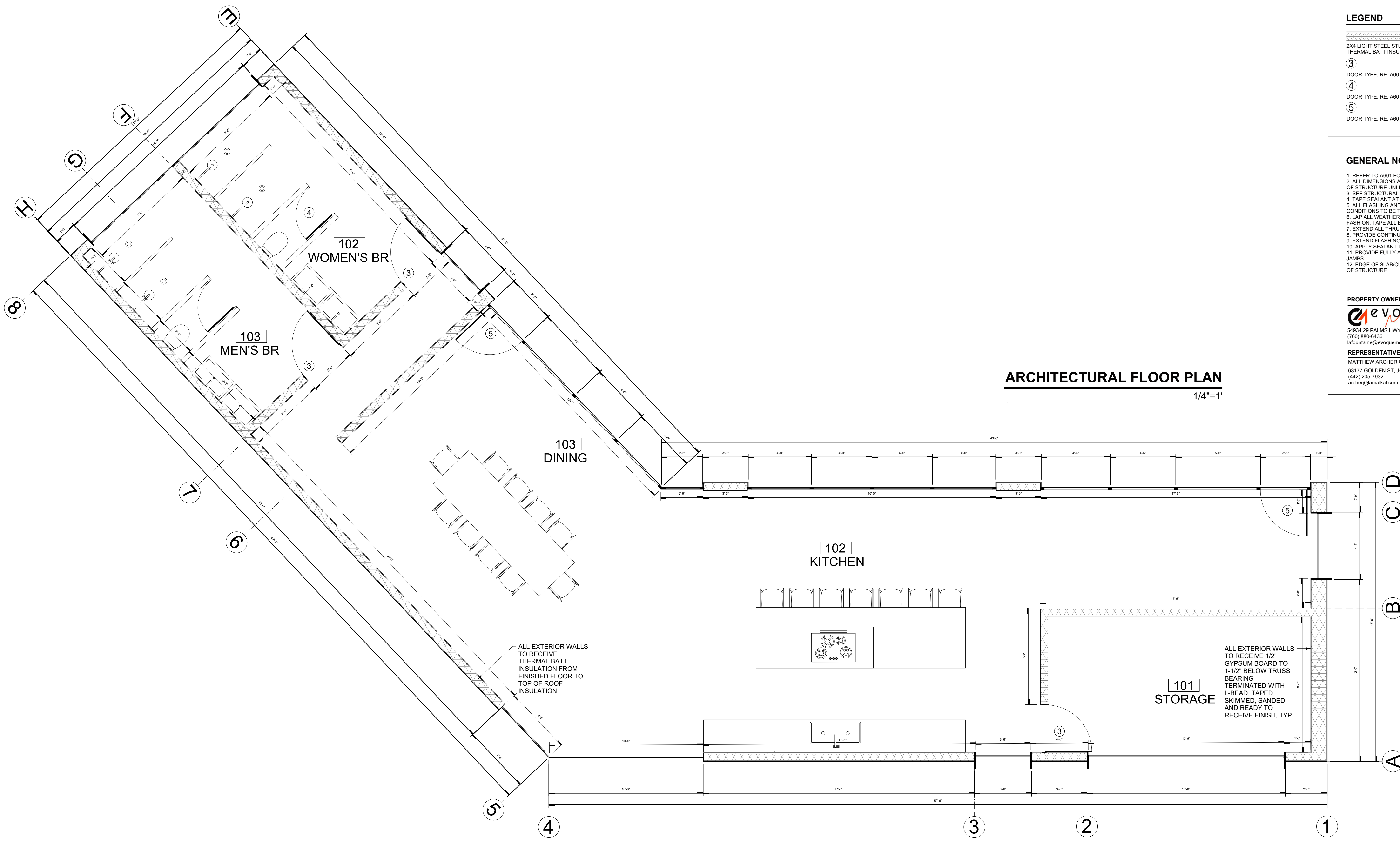
Evocus Modern
 54934 29 PALMS HWY, YUCCA VALLEY CA 92284
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 info@evocusmodern.com

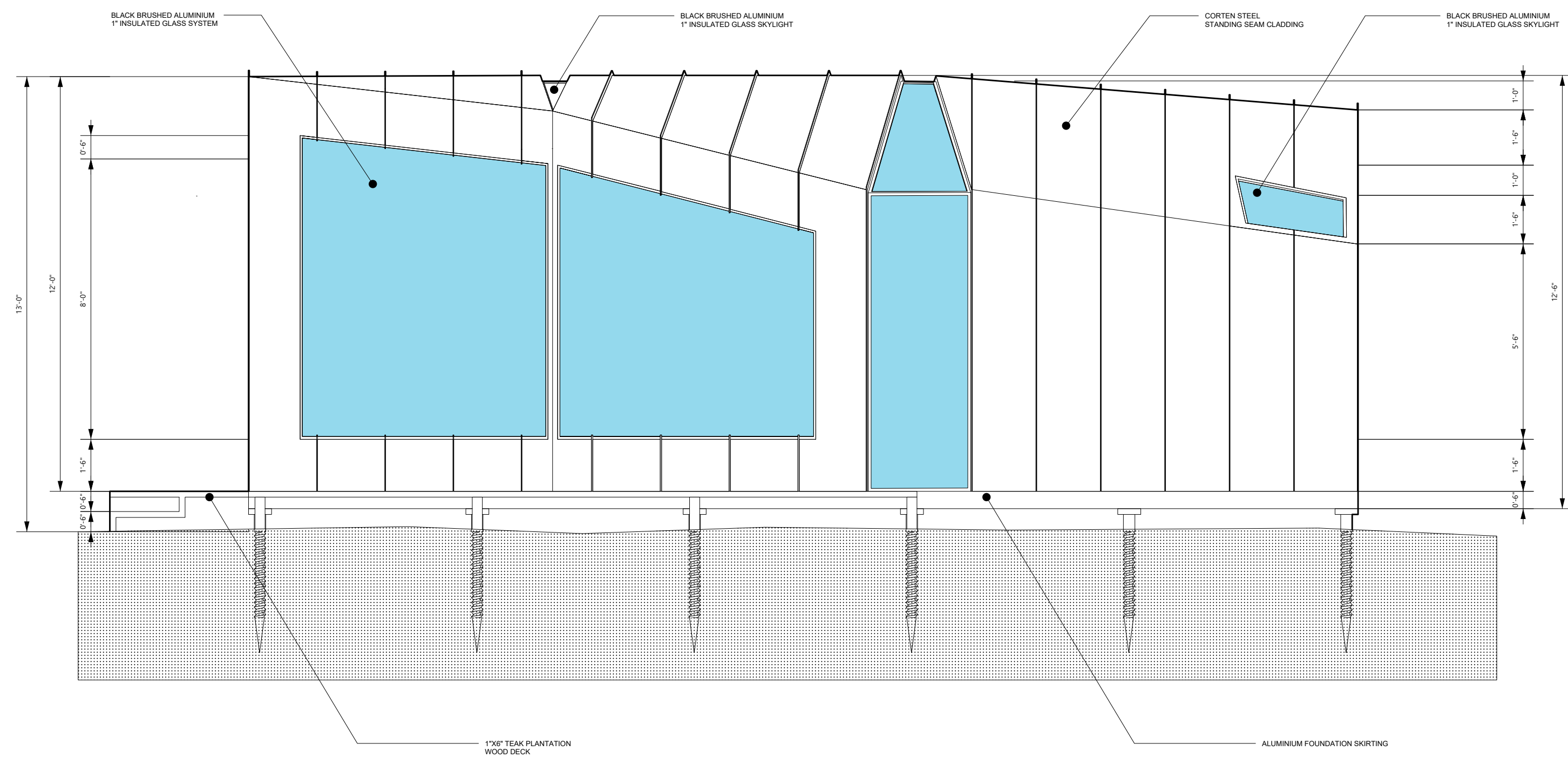
DESIGN AND DRAWINGS

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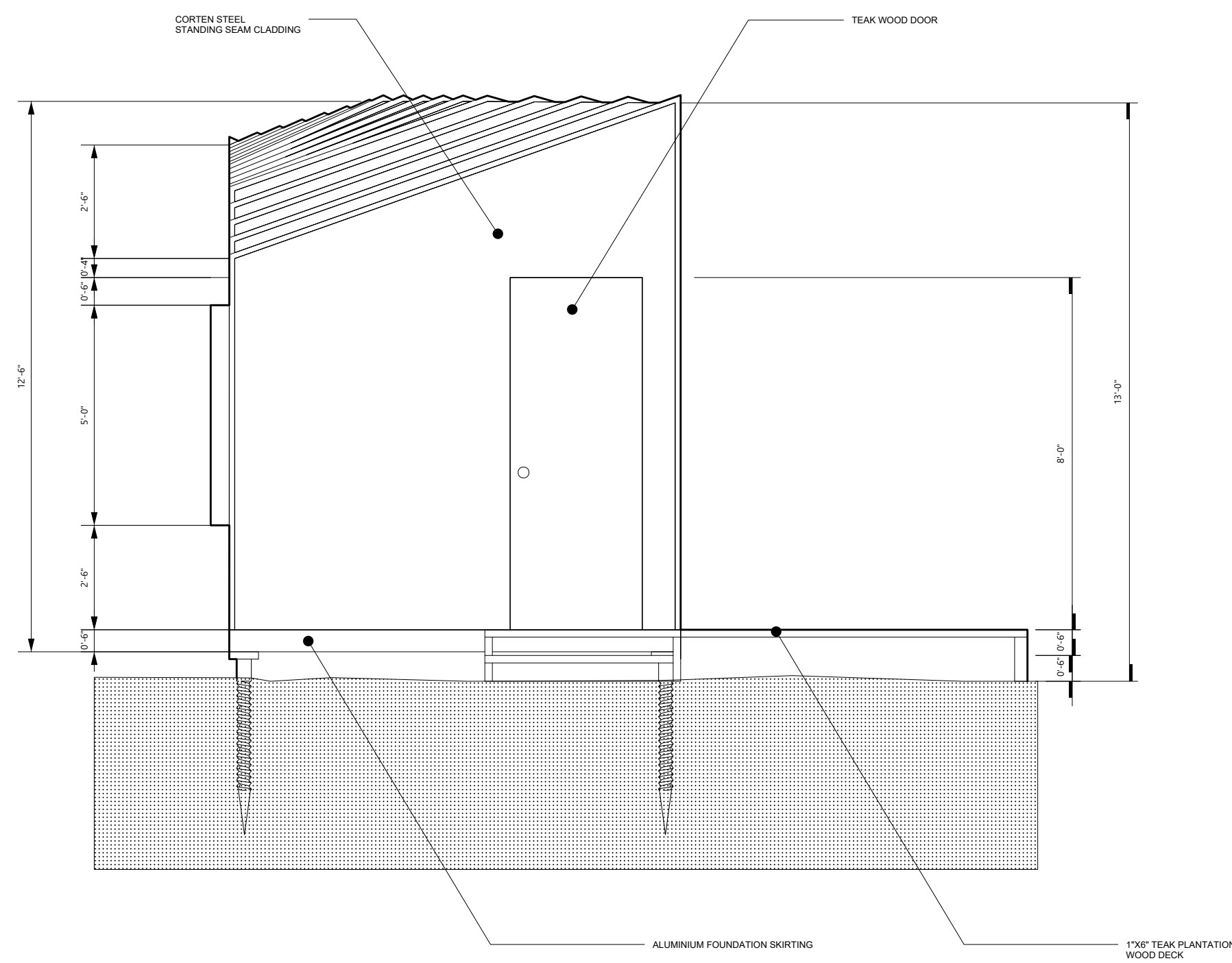
REPRESENTATIVE

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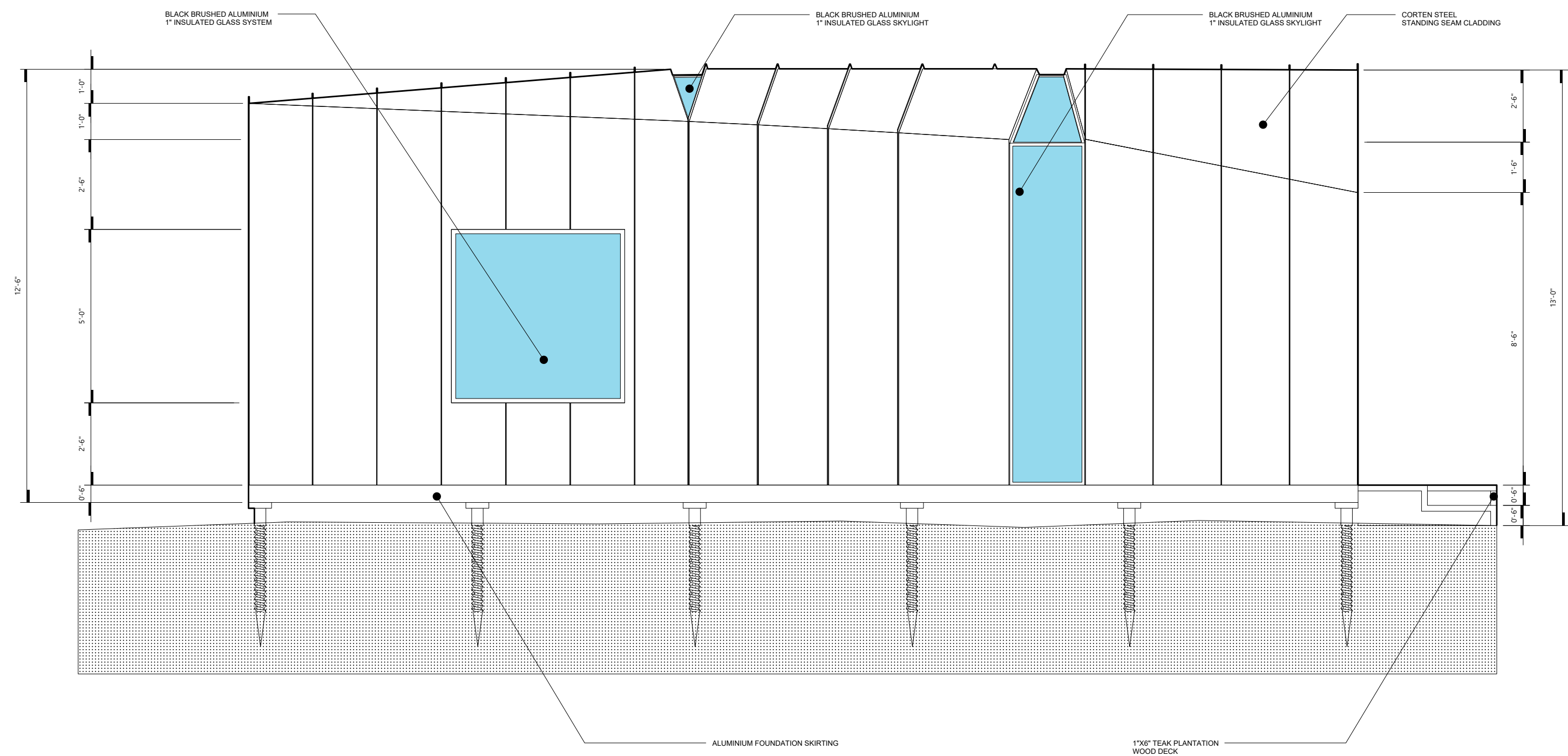




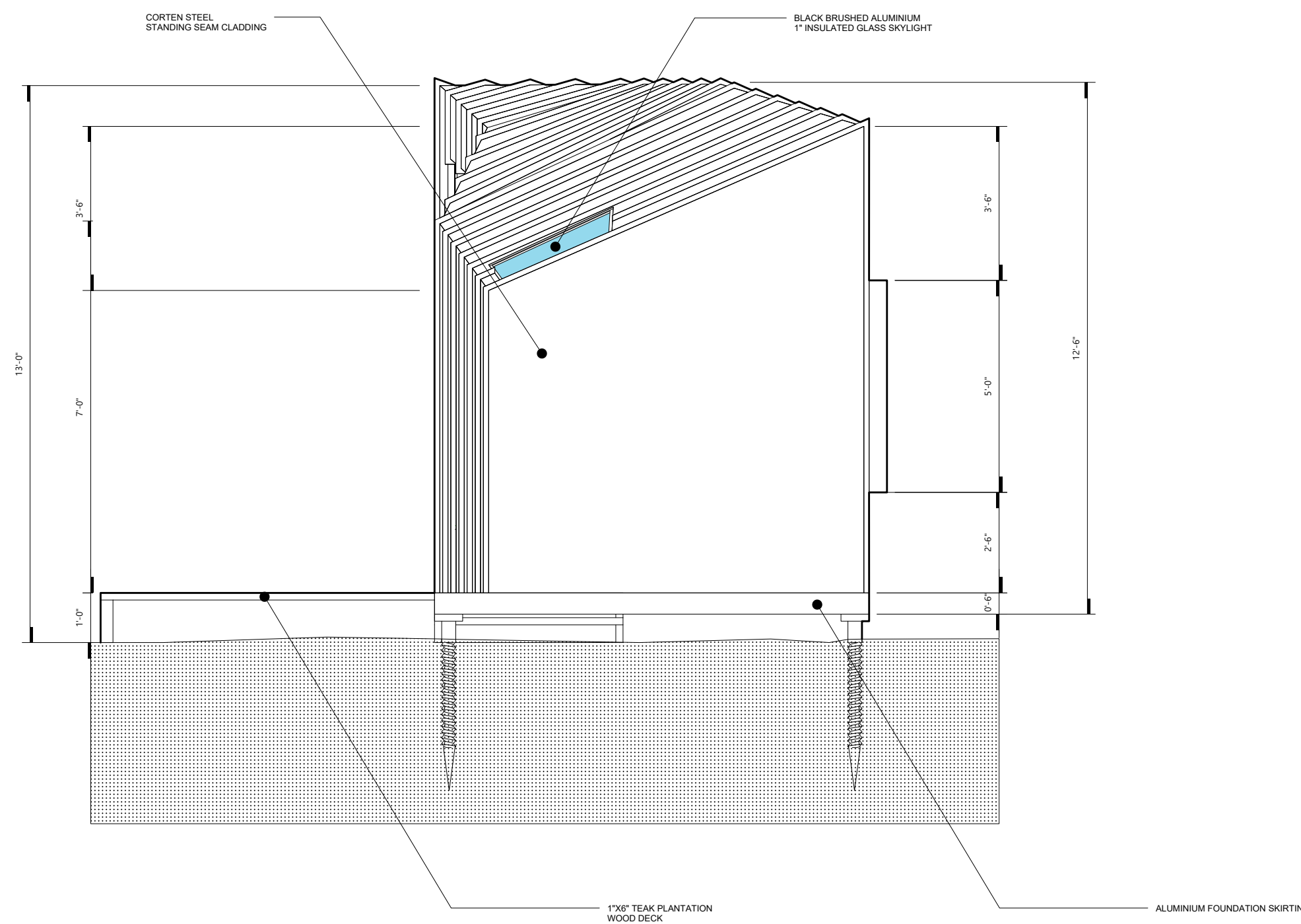
SOUTH ELEVATION
SCALE 1"=3'



EAST ELEVATION
SCALE 1"=3'




NORTH ELEVATION
SCALE 1"=3'






WEST ELEVATION
SCALE 1"=3'

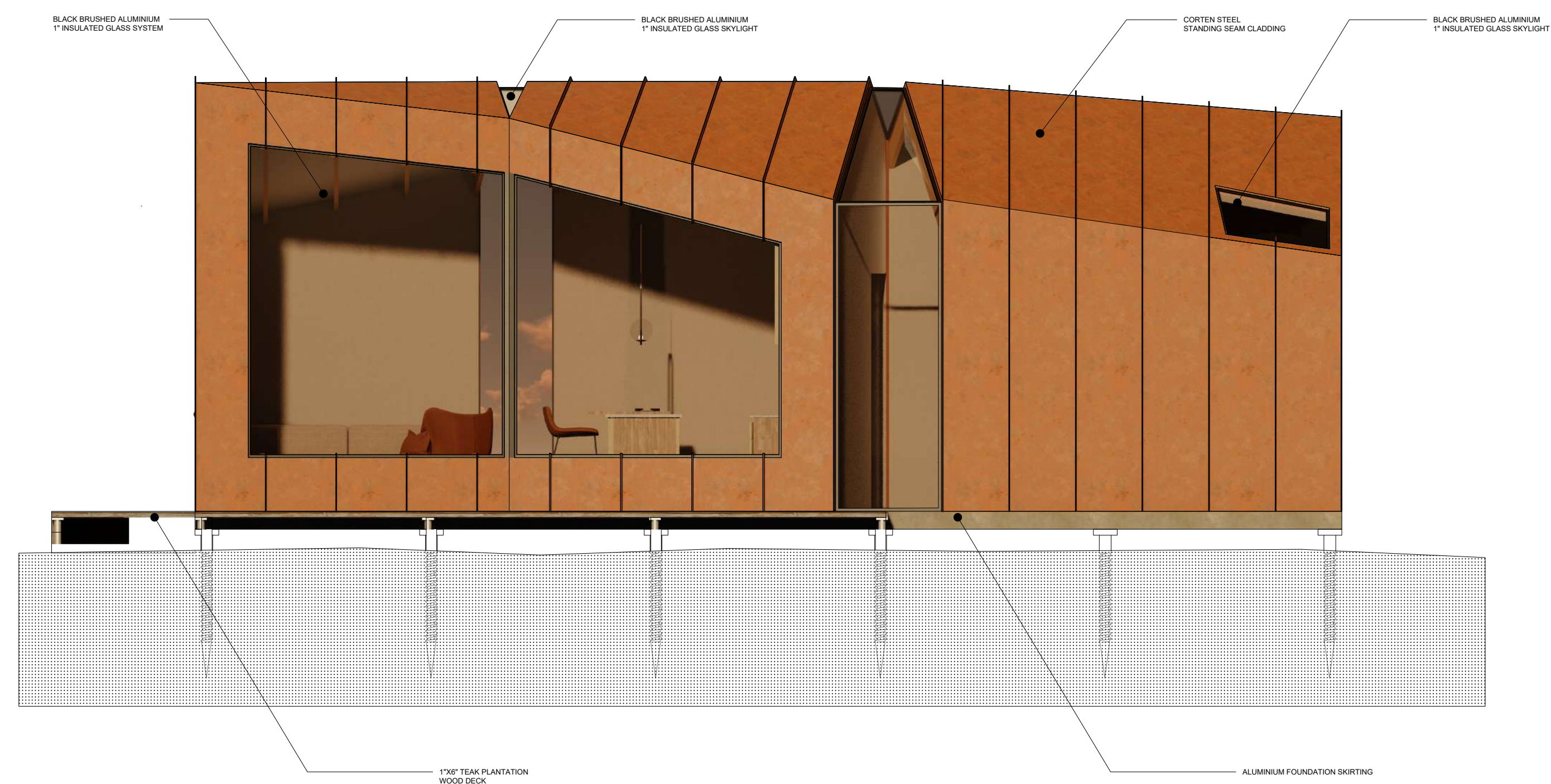
REVISIONS		
ISSUE	DATE	DESCRIPTION

PROPERTY OWNER & APPLICANT  54934 29 PALMS HWY. YUCCA VALLEY CA 92284 (760) 880-0436 info@evoquemodern.com	REPRESENTATIVE LAMAL KAL MATTHEW ARCHER STEPHENSON 83177 GOLDEN ST., JOSHUA TREE, CA 92252 (442) 205-7932 archer@lamalkal.com
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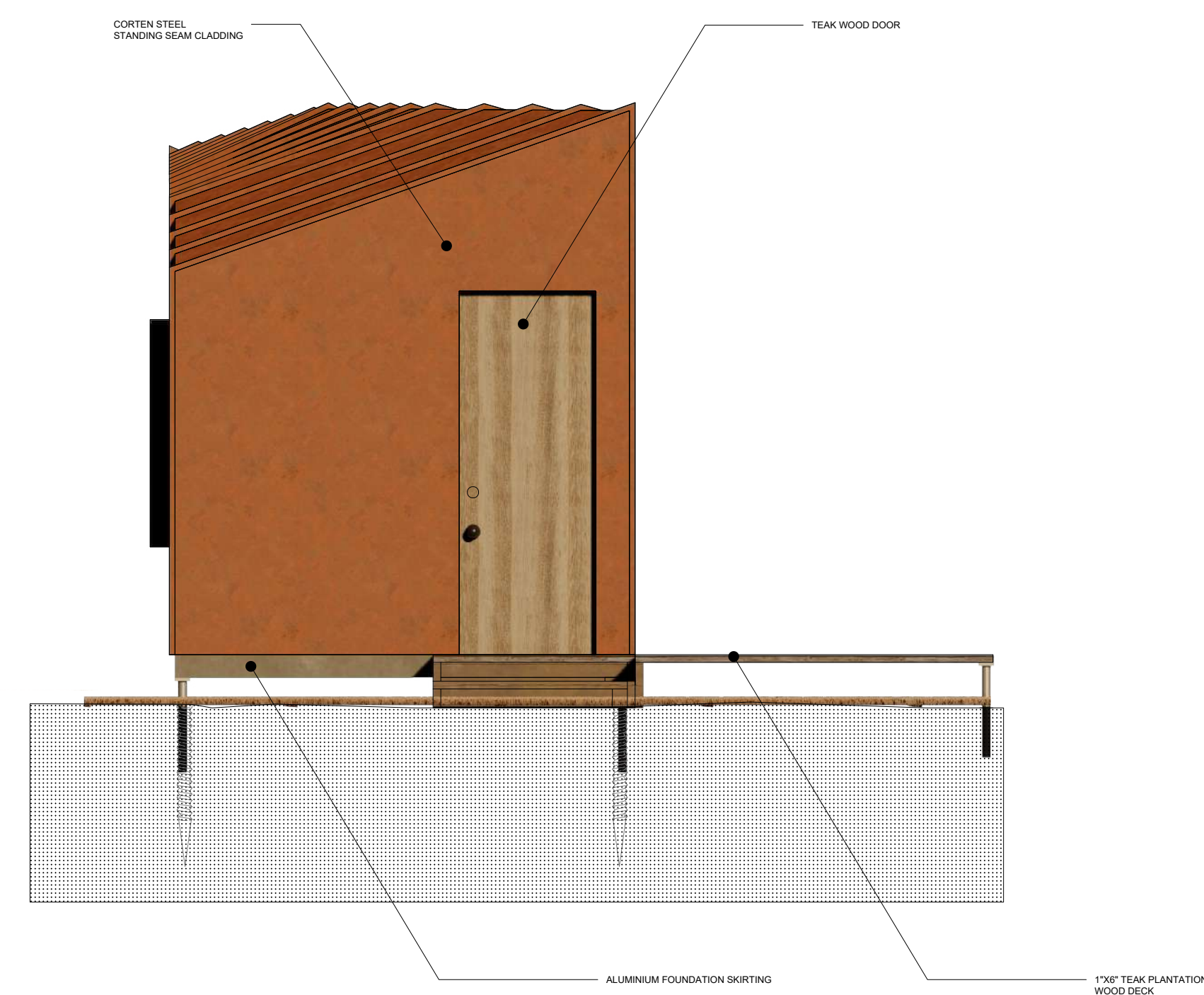
MATERIAL LEGEND

-  CORTEN STEEL STANDING SEAM CLADDING
- 1"X6" TEAK PLANTATION WOOD DECK
-  TEAK WOOD DOOR
-  ALUMINUM FOUNDATION SKIRTING
- BLACK BRUSHED ALUMINIUM 1" INSULATED GLASS

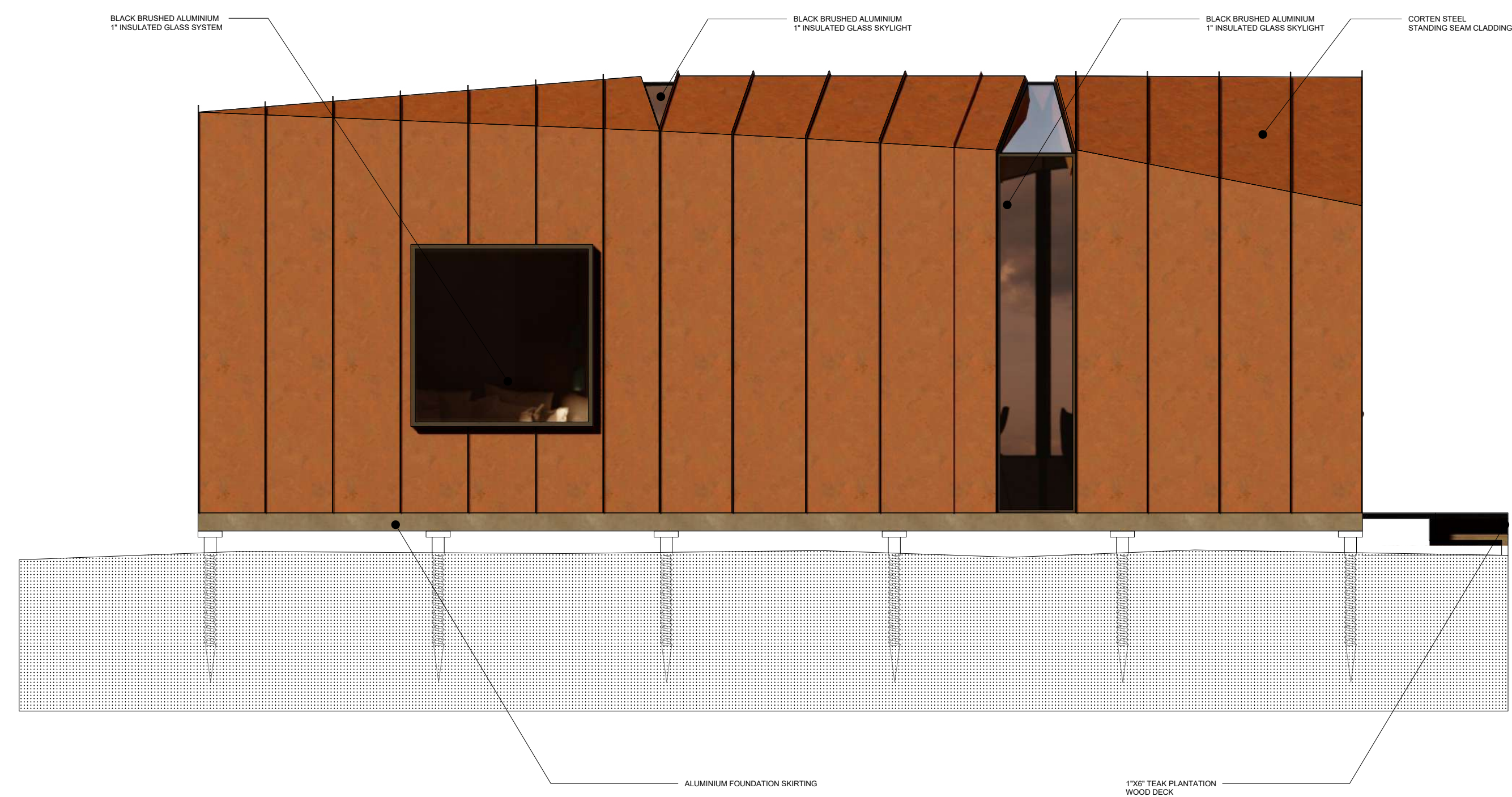
TOWN OF YUCCA VALLEY BUNGALOW ELEVATIONS LOMITA BUNGALOWS 4942 LOMITA LANE, YUCCA VALLEY, CA 92284	SHEET A201
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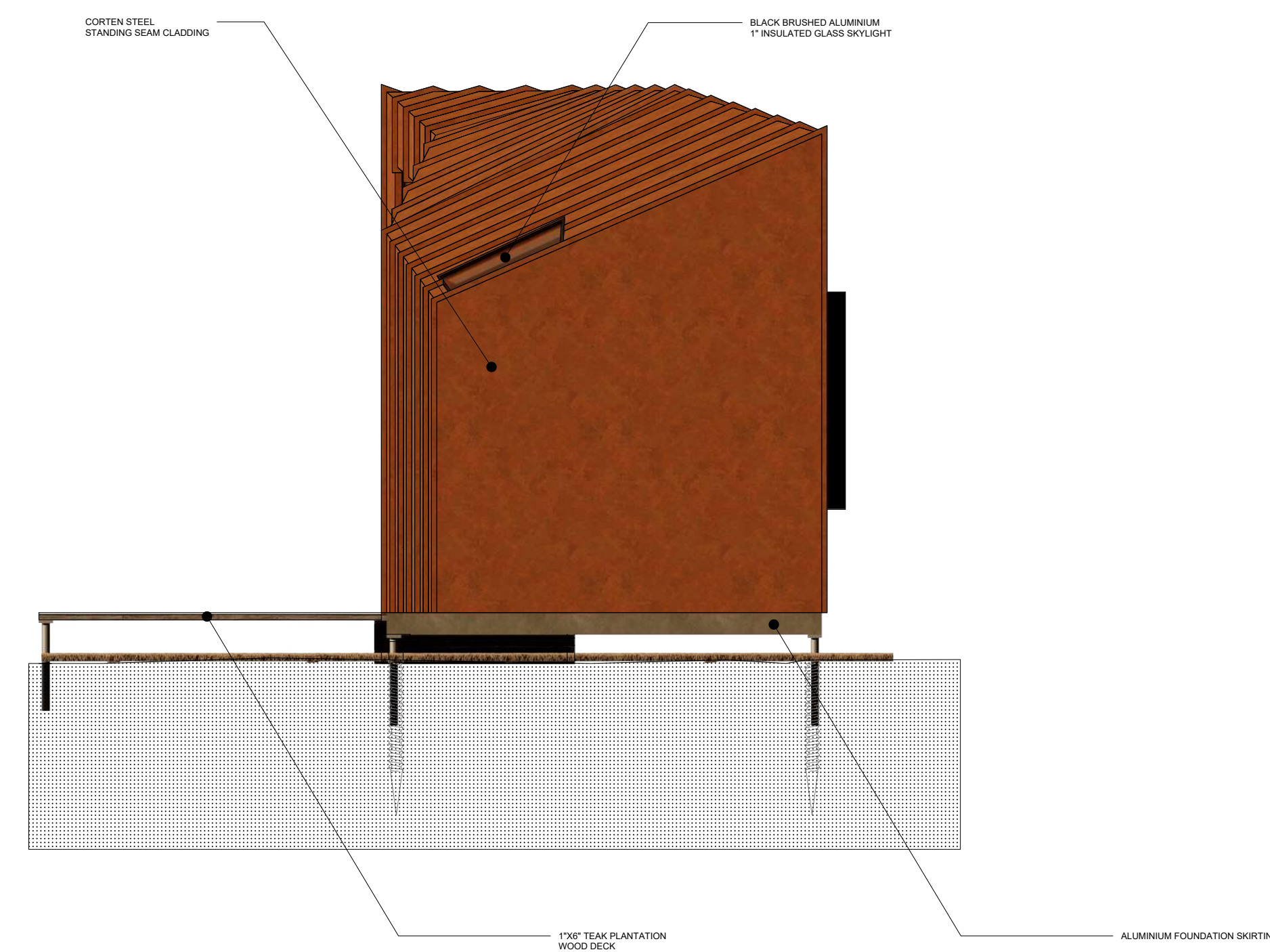
SOUTH ELEVATION
SCALE 1"=3'



EAST ELEVATION
SCALE 1"=3'



NORTH ELEVATION
SCALE 1"=3'



WEST ELEVATION
SCALE 1"=3'

REVISIONS

ISSUE	DATE	DESCRIPTION

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MATERIAL LEGEND



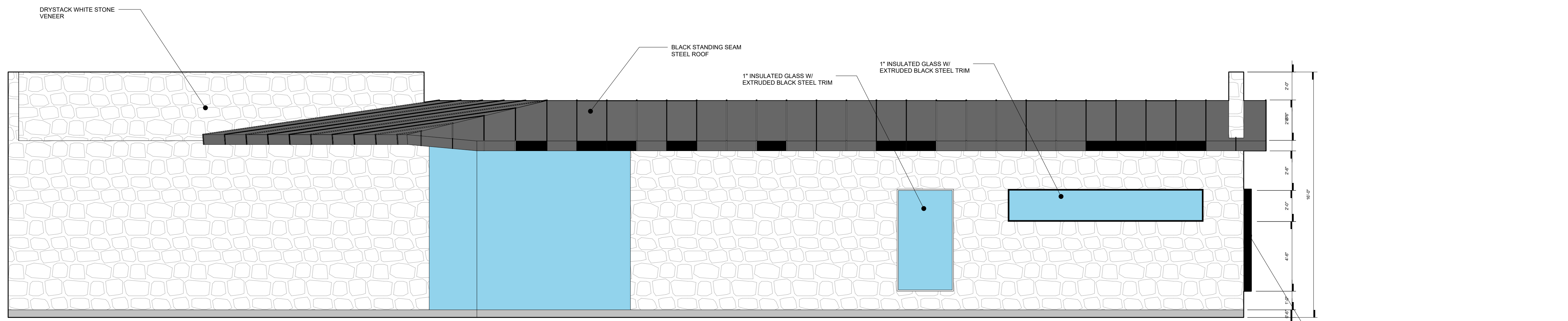
TOWN OF YUCCA VALLEY

BUNGALOW COLOR ELEVATIONS

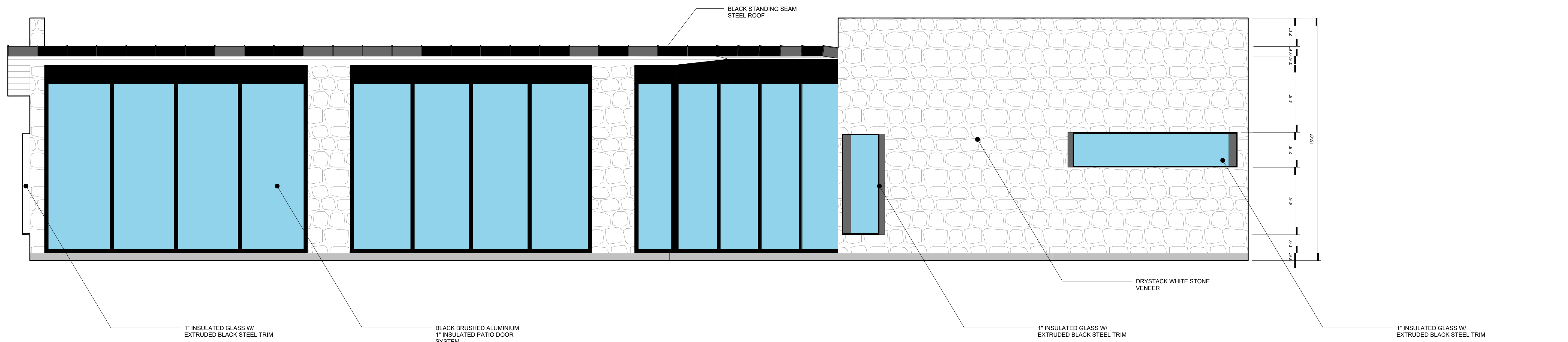
LOMITA BUNGALOWS
 4942 LOMITA LANE, YUCCA VALLEY, CA 92284

SHEET

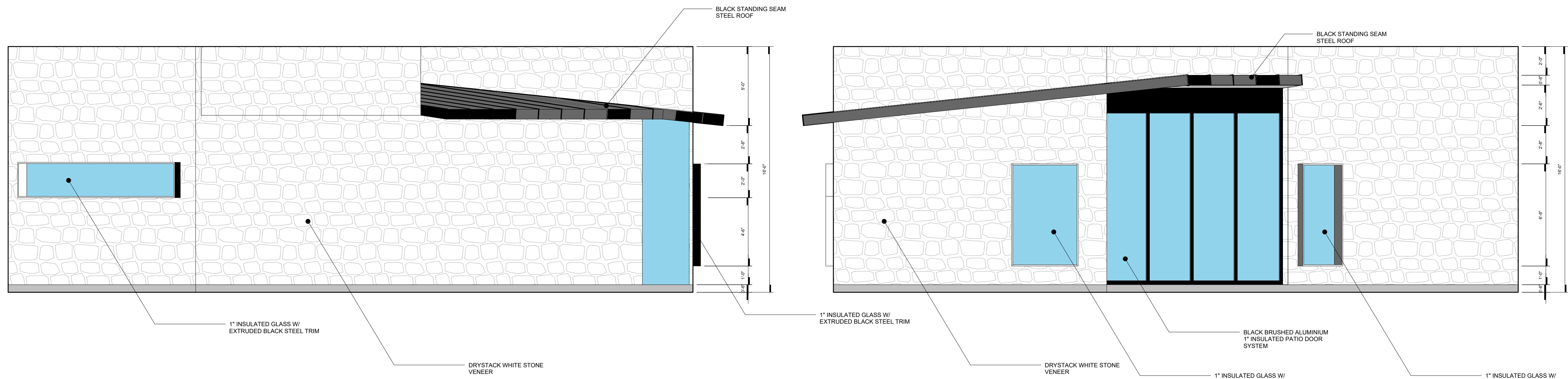
A202



EAST ELEVATION
SCALE 1"=4'




WEST ELEVATION
SCALE 1"=4'



NORTH ELEVATION
SCALE 1"=4'


SOUTH ELEVATION
SCALE 1"=4'

ISSUE	DATE	DESCRIPTION

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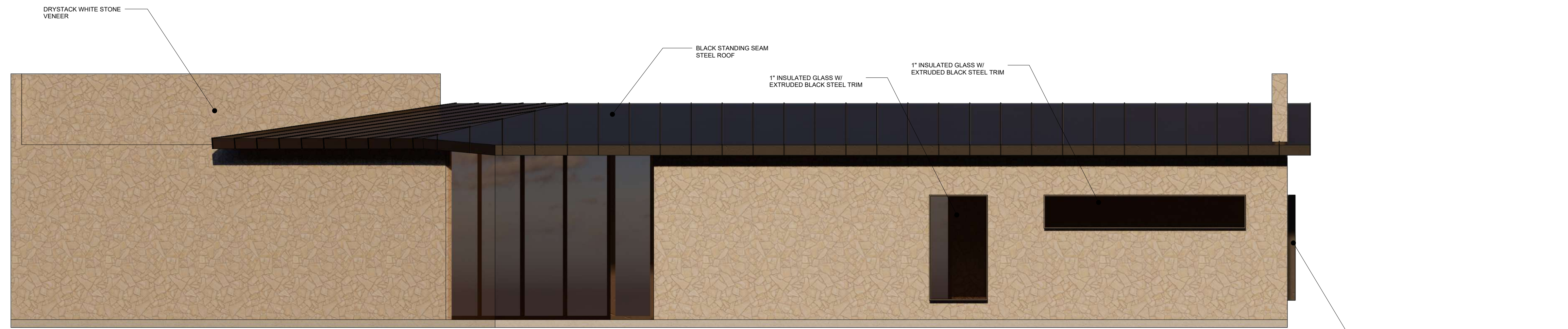
REPRESENTATIVE
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MATERIAL LEGEND

-  DRYSTACK WHITE STONE VENEER
-  BLACK STANDING SEAM STEEL ROOF
- 1" INSULATED GLASS W/ EXTRUDED BLACK STEEL TRIM
- BLACK BRUSHED ALUMINIUM 1" INSULATED PATIO DOOR SYSTEM

TOWN OF YUCCA VALLEY
 CLUBHOUSE ELEVATIONS
LOMITA BUNGALOWS
 4942 LOMITA LANE, YUCCA VALLEY, CA 92284

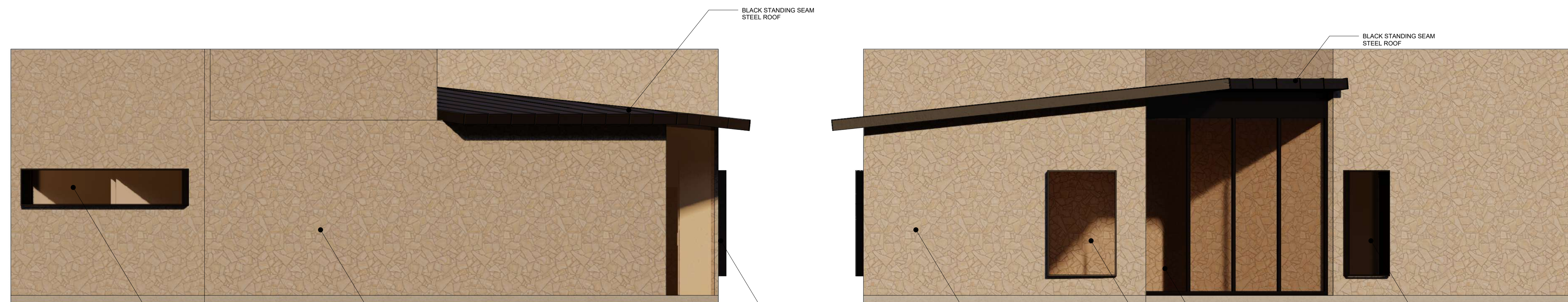
SHEET
A203



EAST ELEVATION
SCALE 1"=4'



WEST ELEVATION
SCALE 1"=4'



NORTH ELEVATION
SCALE 1"=4'


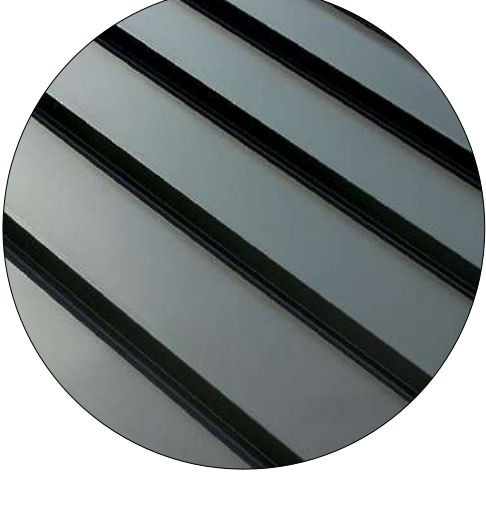


SOUTH ELEVATION
SCALE 1"=4'

REVISIONS

ISSUE	DATE	DESCRIPTION

<p>PROPERTY OWNER & APPLICANT</p>  <p>54934 29 PALMS HWY. YUCCA VALLEY CA 92284 (951) 861-6435 lafountain@evoquemodern.com</p>	<p>REPRESENTATIVE</p> <p>LAMAL KAL MATTHEW ARCHER STEPHENSON 63177 GOLDEN ST. JOSHUA TREE, CA 92252 (641) 205-7932 marcher@lamalkal.com</p>
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MATERIAL LEGEND

-  **DRystack WHITE STONE VENEER**
-  **BLACK STANDING SEAM STEEL ROOF**
-  **1" INSULATED GLASS W/ EXTRUDED BLACK STEEL TRIM**
-  **BLACK BRUSHED ALUMINIUM 1" INSULATED PATIO DOOR SYSTEM**



TOWN OF YUCCA VALLEY

BUNGALOW RENDER

LOMITA BUNGALOWS

4942 LOMITA LANE, YUCCA VALLEY, CA 92284

SHEET

A901



TOWN OF YUCCA VALLEY

CLUBHOUSE RENDER

LOMITA BUNGALOWS
4942 LOMITA LANE, YUCCA VALLEY, CA 92284

SHEET

A902

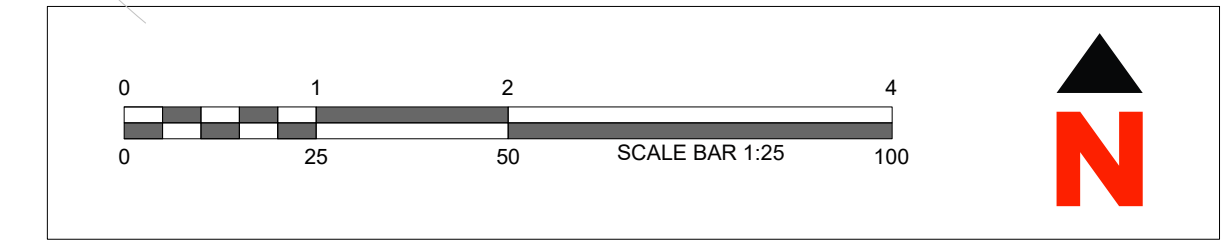


ROWELL ROAD

LOMITA LANE

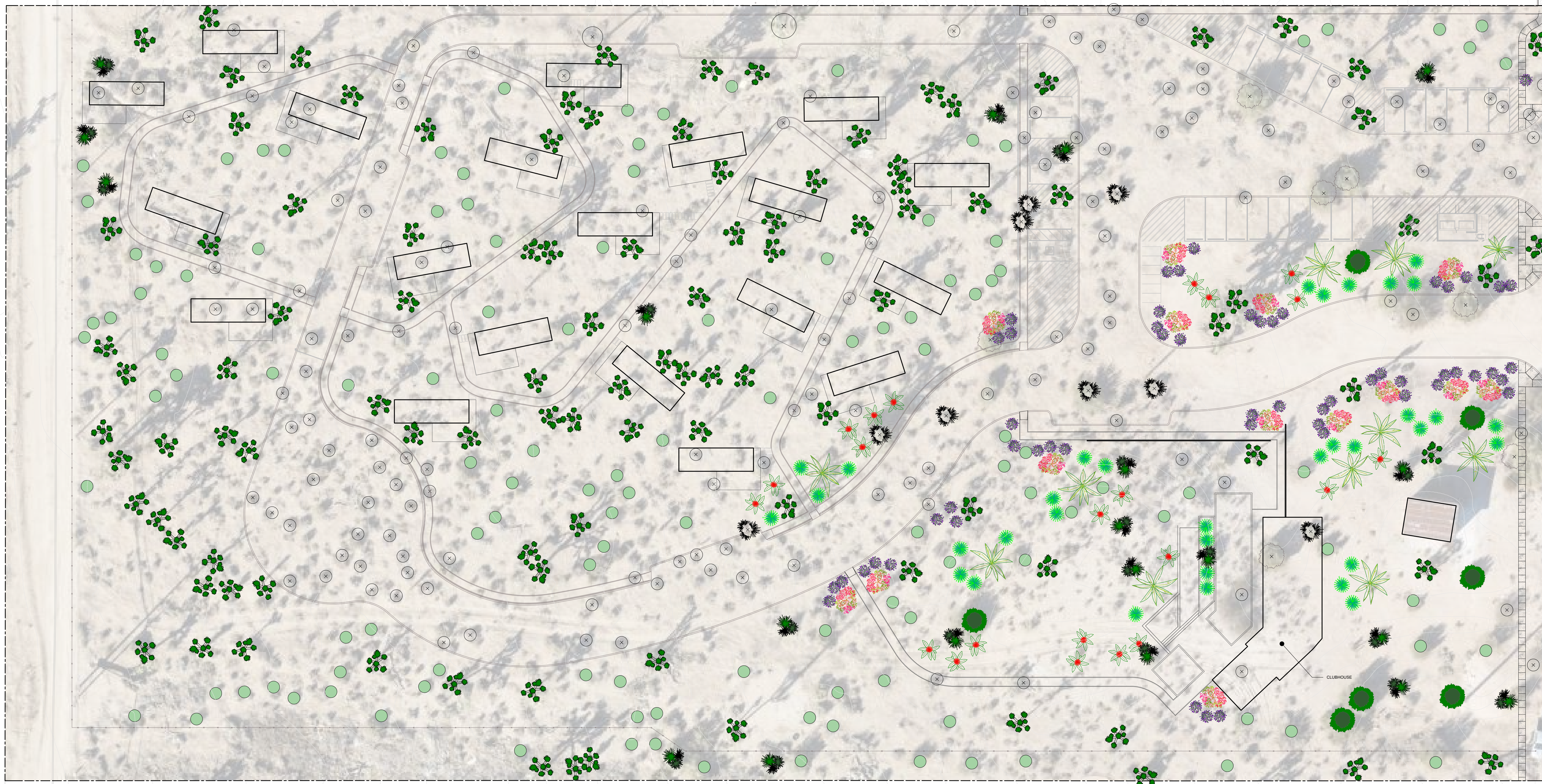
REVISIONS

ISSUE	DATE	DESCRIPTION



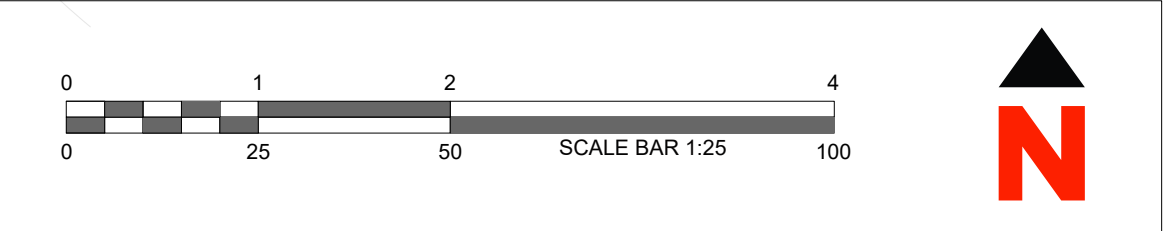
LEGEND

- INDICATES PROPERTY BORDER
- INDICATES EXISTING COUNTOURS
- JOSHUA TREE
- MOJAVE YUCCA
- CALIFORNIA JUNIPER



REVISIONS

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NATIVE PLANT SCHEDULE

EXISTING NATIVE PLANTS

SYMBOL	QTY	BOTANICAL NAME
	110	Yucca Brevifolia
	29	Yucca Schidigera
	13	Juniperus Californica

NATIVE PLANTS TO BE RELOCATED

SYMBOL	QTY	BOTANICAL NAME
	6	Juniperus Californica
	8	Yucca Schidigera

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PLANT SCHEDULE

EXISTING SHRUBS

- EXISTING SHRUB TO REMAIN
- EXISTING SHRUB TO BE REMOVED

SHRUBS

SYMBOL	QTY	BOTANICAL NAME	CONT	WUCOLS
	56	Salvia Dorrii Purple Sage	5 gal.	LOW
	14	Salvia Greggii Furman's Red	5 gal.	LOW
	11	Agave Americana	5 gal.	LOW
	34	Senecio Talinoides	5 gal.	LOW
	22	Aloe Aculeata	5 gal.	LOW

WATER EFFICIENCY

HYDROZONING/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRG. METHOD	IRRG. EFFICIENCY (IE)	ETAF (PPH)	LANDSCAPE AREA (Sq Ft)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	1	DRP	.81	.12	22,365	2683	44,305 GAL.
MODERATE WATER USE PLANTS	4	DRP	.81	.49	-	-	0 GAL.
TOTALS					(A) 22,365	(B) 2683	44,305 GAL.

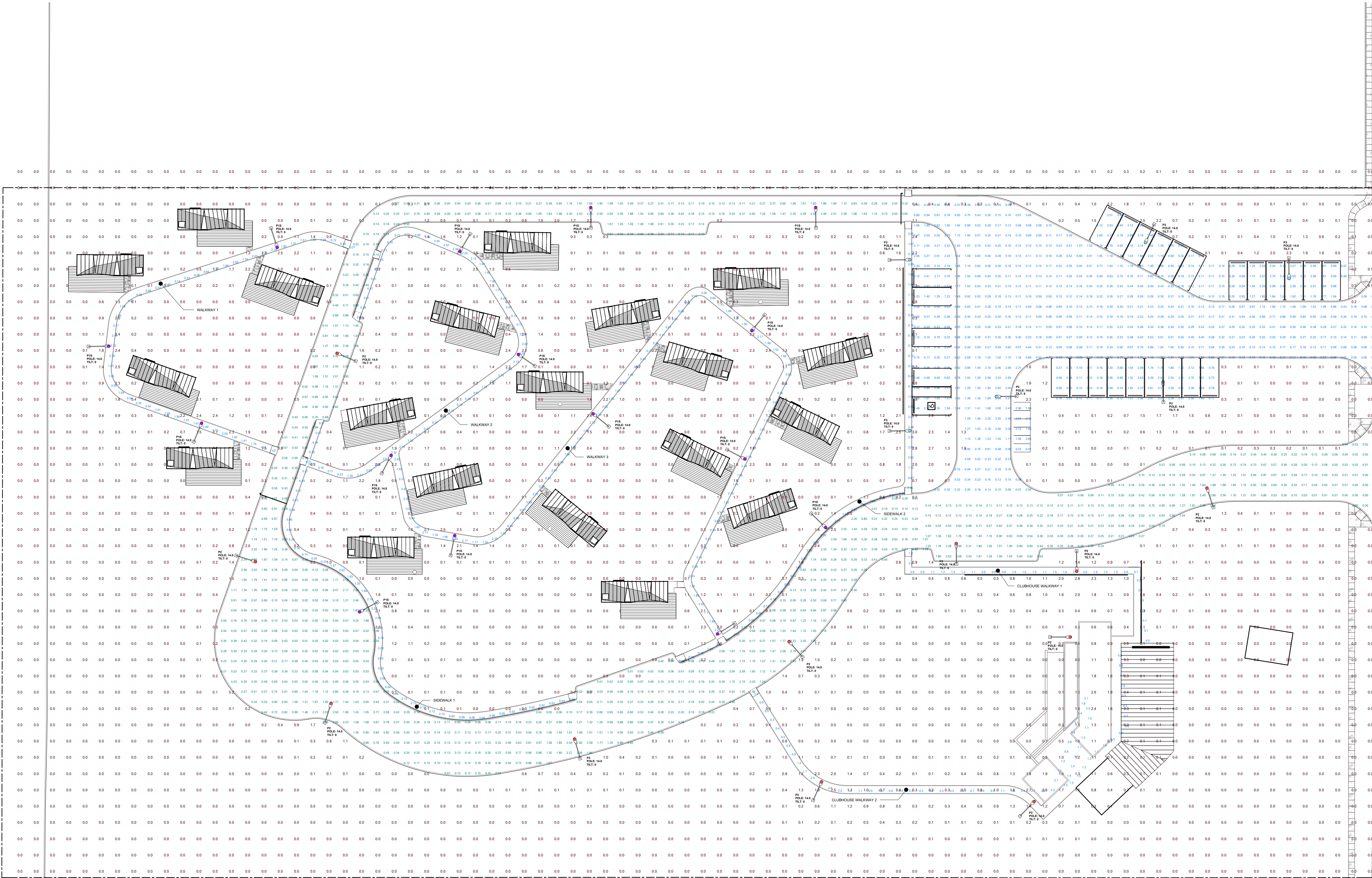
Maximum Applied Water Allowance (MAWA) = $\frac{MAWA}{(SE \cdot S)} = \frac{145}{(1.0) \cdot (1.0)} = 145$ GALLONS

Estimated Total Water Use (ETWU) = $(ETAF) \cdot (Conversion \cdot Factor) \cdot (ETAF) \cdot (Area) = (1.12) \cdot (49) \cdot (22,365) = 117,900$ GALLONS

ETAF Calculations

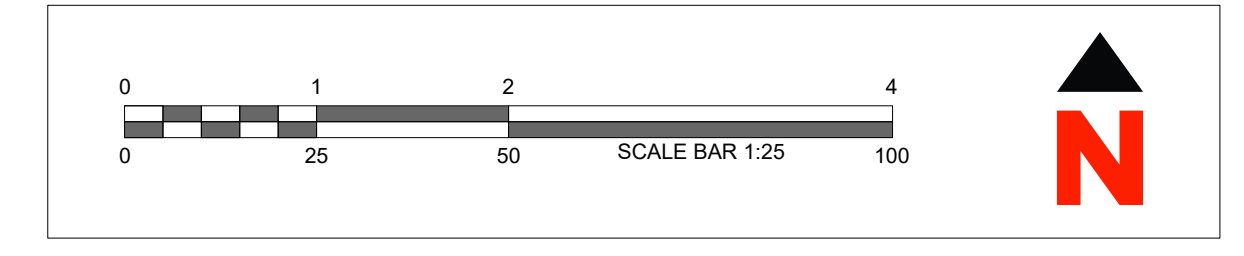
Regular Landscape Areas	Value
Total ETAF x Area	(B) 2683
Total Area	(A) 22,365
Average ETAF	(B / A) .12

Note:
 1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.



REVISIONS

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CALCULATION SUMMARY

Label	CalcType	Units	Avg	Max	Min	Min/Avg	Min/Max
WALKWAY 1	Illuminance	Fc	1.3	2.22	0.06	22.00	37.00
WALKWAY 2	Illuminance	Fc	1.2	2.53	0.10	11.50	25.30
WALKWAY 3	Illuminance	Fc	1.2	2.40	0.02	58.50	120.00
SIDEWALK 1	Illuminance	Fc	0.5	2.44	0.02	25.50	122.00
SIDEWALK 2	Illuminance	Fc	1.3	3.38	0.06	20.83	56.33
MAIN PERIMETER ROAD	Illuminance	Fc	0.7	2.82	0.01	66.00	282.00
PARKING LOT	Illuminance	Fc	0.8	3.45	0.02	41.00	172.50
PARKING LOT ROAD	Illuminance	Fc	0.5	2.86	0.01	64.00	280.00
CLUBHOUSE WALKWAY 1	Illuminance	Fc	1.1	2.7	0.2	5.60	13.50
CLUBHOUSE WALKWAY 2	Illuminance	Fc	1.1	2.7	0.05	5.60	13.50

LUMINAIRE SCHEDULE

Label	Symbol	Description	Lum Watts	LLF	Qty
P3	●	XSPSM-D-HT-4ME-5L-40K7-UL-SV-N-Q7	42	0.850	6
P1S	●	XSPSM-D-HT-2LG-5L-40K7-UL-SV-N-Q1 w_XA-SPR3BLS	24	0.850	15
P2	●	XSPSM-D-HT-2ME-5L-30K7-UL-xx-N-Q1	24	0.850	11

