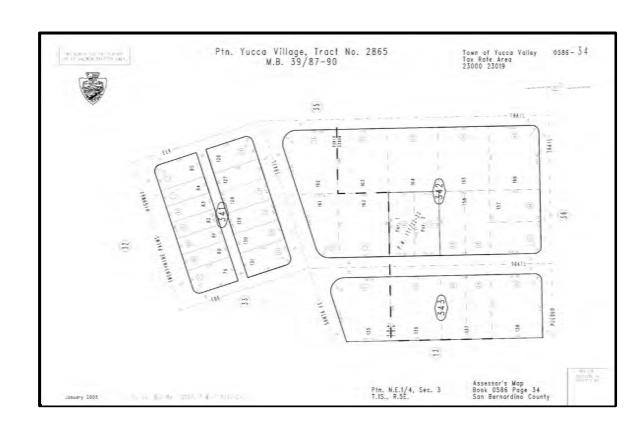
THE STAR CAFE

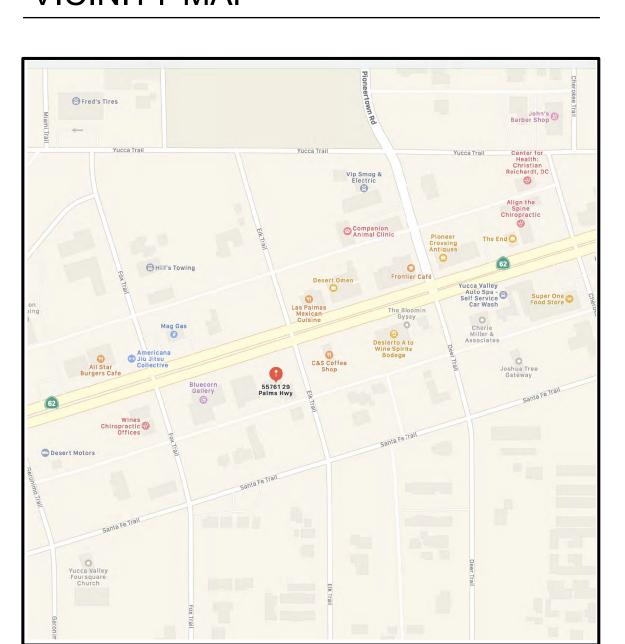
AB	ABF	REVIATIONS		
DISABILITIES ACT OF 2010	A/C ACC ACT A.F.F.	AIR CONDITIONING ACCESS ACOUSTIC CEILING TILE ABOVE FINISH FLOOR	LAM. LAT. LAV. LIN. LT.	LAMINATE LATERAL LAVATORY LINEAR LIGHT
BOL	ADDL ADJ. ALUM. AP @	DISABILITIES ACT OF 2010 ADDITIONAL ADJACENT ALUMINUM ACCESS PANEL	M MAX. MECH. MFR. MIN. MISC.	MAXIMUM MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS
BRAM BEAM D	BD. BEV BHND BL BLW BLDG. BTL-IN BN	BEVEL BEHIND BUILDING LINE BELOW BUILDING BUILT-IN BULLNOSE	MUL. N (N) NEC. N.I.C. N.T.S. N.C.M.	NEW NECESSARY NOT IN CONTRACT NOT TO SCALE NON-CORROSIVE METAL
C CHANNEL OPGN OPENING CAB CABINET ORN ORNAMENTAL CEM. CEMENT OUT OUTLET CF CUBIC FEET OVFL OVERHEAD CHAMMER OVFL OVERHEAD CLO CHAMPER OVFL OVERHEAD CLO CENTER LINE CLING, CEILING CLO CLOSET CLO CLOSET CLO CLOSET DETECTOR COLOCUMETE PAVA. PAVEMENT PROPERTY LINE COLOCUMETE COLOCUMETE CONDENSING UNIT COLOCUMETE CONDENSING UNIT CONDENSING UNIT COLOCUMETE CONDENSING UNIT CONDENSING U	BRZ BM. BTWN	BRONZE BEAM BETWEEN	<u>O</u> O/ O.C.	OVER ON CENTER
CARBON MONOXIDE	CAB CEM. CF CHAM. CL	CABINET CEMENT CUBIC FEET CHAMFER CENTER LINE	OH OPGN ORN OUT OVFL OVHD	OVERHEAD OPENING ORNAMENTAL OUTLET OVERFLOW
DEMO DEMOLITION OPEN DEMOLITY OF THE PROPERTY	COL CONC. CONST. CTR	CARBON MONOXIDE DETECTOR COLUMN CONCRETE CONSTRUCTION CENTER. COUNTER	PAR PAV.A. PL PLY. PKG.A. PTD. P.T.	PAVEMENT PROPERTY LINE PLYWOOD PARKING PAINTED PRESSURE TREATED
DN DOWN DN DOWN DN DOWN DS DOWN SPOUT DT DRAIN TILE EREFRIGERATOR REMOVE, REMOVED RESIST RESISTANT RETAIN. RETAINING REV. REVISION REL RESUVE, REVISION REL RESUVE, REVISION REL RESUVE, REVISION REL RECOURST FOR REL STEROR DE DRAIN ROOM REL RECOURST FOR REL STEROR SCHEDULE SCHEDUL	D DBL. DEMO DIAG DIA	DOUBLE DEMOLITION DIAGONAL DIAMETER	PWR. Q QTY. QUAL QTR	POWER QUANTITY QUALITY
E EXISTING EA. EACH EL.+ELEV ELEVEVATION ENGL ENCLOSURE ENG. ENGINEER ENT ENTRANCE EQ EQUAL / EQUAL TO EQUIP. EQUIPMENT EXT. EXTERIOR FOR FIRE BRICK FOUNDATION FOR FOUNDATION FOR FOUNDATION FOR FREE EXTINGUISHER F.F. FINISHED GRADE FIXT FIXTURE FIXTURE, FIRENSHINGS & EQUIPMENT FOR FOR FRAME FURN. FURNITURE FOR FRAME FURN. FURNITURE FOR GAUGE GEA GRADE HM HOLLOW METAL HOUR HARDWARE HM HOUR HARDWARE HM HOLLOW METAL HOLLOW HARDWARE HM HOL	DR DN DS DT DTL. DW	DOOR DOWN DOWN SPOUT DRAIN TILE DETAIL DISHWASHER	RA RAD. R.D. REF REINF. REM.	RADIUS ROOF DRAIN REFRIGERATOR REINFORCED REMOVE, REMOVED
ENT EQUIP. EXT. EXTERIOR EXT. EXTERIOR EXT. EXTERIOR EXT. EXTERIOR EXT. EXTERIOR SECT. SECTION DISCHARGE SERV SERVICE SERV SET SETION SECT. SECTION SECT. SETIOT SECT. SETIOT SECT. SETIOT SECT. SETIOT SECT. SETIOT SECT. SETUCT SECT. SETIOT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECULT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECULT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECULT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECULT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECULT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECULT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECT. SETUCT SECULT SECT. SETUCT SECT. SETUCT SECT. SECT. SERVER SECT. SETUCT	<u>E</u> (E) EA. EL .+ EL	EXISTING EACH EV ELEVEVATION	RESIST RETAIN. REV. RFI INFORM	RESISTANT RETAINING REVISION REQUEST FOR ATION
FBRK FIRE BRICK FCU FAN COIL UNIT FD FLOOR DRAIN FDN FOUNDATION FDN FOUNDATION FE FIRE EXTINGUISHER F.F. FINISHED FLOOR FFÆE FIXTURE, FURNISHINGS & EQUIPMENT FIN FINISH, FINISHED FIN FINISH, FINISHED FIX FIXTURE FIREPLACE FOR	ENT EQ EQUIP. EXH EXT.	ENTRANCE EQUAL / EQUAL TO EQUIPMENT EXHAUST	SCHED. SD SECT. SED DISCHA	SCHEDULE SMOKE DETECTOR SECTION SEWAGE EJECTOR RGE
F.G. FINISHED GRADE FIN FINISH, FINISHED FIXT FIXTURE F.+FLR FLOOR F.O.W. FACE OF WALL FPL FIREPLACE FPM FEET PER MINUTE FRUND, FURNITURE GA. GAUGE GENERAL GL GLASS GLAZ, GLAZING GRADE GRND GROUND GYP.BD. GYPSUM BOARD H H H H H H H H H H H H H H H H H H H	FBRK FCU FD FDN	FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISHED FLOOR FIXTURE,FURNISHINGS &	SIML SK SKL SPD SPK SPLR/SF SSTL	SIMILAR SKETCH SKYLIGHT SUMP PUMP DISCHARGE SPEAKER PSPRINKLER STAINLESS STEEL
FURN. FURNITURE G GA. GAUGE GA. GAUGE GEN GENERAL GL GLASS GLAZ. GLAZING GR. GRADE GRND GROUND GYP.BD. GYPSUM BOARD H HT HEIGHT H.B. HOSE BIB HDW. HARDWARE HM HOLLOW METAL HOR. HORZONTAL HR. HOUR H.B. HOSE BIB HTM. HEATER H.W. HOT WATER I I I I I I I I I I I I I I I I I I	FIN FIXT F. + FLR F.O.W. FPL FPM	FINISHED GRADE FINISH, FINISHED FIXTURE FLOOR FACE OF WALL FIREPLACE FEET PER MINUTE	STL STO. STRUCT SUPP SUR SQ	STEEL STORAGE STRUCTURAL SUPPLEMENTARY SURFACE SQUARE
H HT HEIGHT H.B. HOSE BIB HDW. HARDWARE HM HOLLOW METAL HOR. HORIZONTAL HR. HOUR HR. HOUR HR. HANDRAIL HT. HEATER H.W. HOT WATER I V INS. INSULATION INT. INTERIOR INV. INVERTOR JAN JANITOR JT. JOINT J-BOX JUNCTION BOX K.D. KNOCK DOWN TOP OF TRAV TRANSFORMER TRAV TRANSFORMER TRAV TRANS TRANSFORMER TRAV TRAVE TRANSFORMER TRAV TRAVE TRANSFORMER TRAV TRAVE TRAVETINE TOR VO TOP OF INO. UNLESS OTHERWISE U.J. UNDERWRITERS LABORATORIES UN UNFINISHED U.T. UTILITY V VENT VERT VERT VERTICAL V.I.F. VERIFY IN FIELD K WC WATER CLOSET W/W WINDOW	FURN. G GA. GEN GL GLAZ. GR. GRND	GAUGE GENERAL GLASS GLAZING GRADE GROUND	T.B.M. T.B.N. TH THK T.G. THRU TLT TP	TO BE DETERMINED THERMOSTAT THICK, THICKNESS TOP OF GRADE THROUGH TOILET TOP OF PAVEMENT
HOR. HORIZONTAL HR. HOUR U.L.A. UNDERWRITERS HAL HANDRAIL HTR. HEATER UN UNFINISHED U.T. UTILITY INS. INSULATION INT. INTERIOR INV. INVERTOR JAN JANITOR JT. JOINT J-BOX JUNCTION BOX K.D. KNOCK DOWN WD WOOD WIN WINDOW	H HT H.B. HDW.	HEIGHT HOSE BIB HARDWARE	TRANS TRAV T.O.	TRANSFORMER TRAVERTINE TOP OF
INT. INTERIOR INV. INVERTOR VER. VERIFY VERT VERTICAL V.I.F. VERIFY IN FIELD JAN JANITOR JT. JOINT J-BOX JUNCTION BOX W W WASTE W/ WITH K K K.D. KNOCK DOWN WIN WINDOW	HOR. HR. HRL HTR.	HORIZONTAL HOUR HANDRAIL HEATER	NOTED U.L.A. LABORA UN U.T.	UNDERWRITERS TORIES UNFINISHED
JT. JOINT W J-BOX JUNCTION BOX W WASTE W/ WITH WC WATER CLOSET K.D. KNOCK DOWN WD WOOD WIN WINDOW	ĪNS. INT. INV.	INTERIOR INVERTOR	VA VER. VERT	VOLTAGE VERIFY VERTICAL
WIN WINDOW	JT. J-BOX <u>K</u>	JOINT JUNCTION BOX	W W/ WC	WITH WATER CLOSET
LEV. LEVEL W.H. WATER HEATER	<u>L</u>		WIN WT.	WINDOW WEIGHT

MENU	
COFFEE & TEA BEVERAGES	
Espresso	\$3.25 - \$4.25
American	\$3.25
Cortado	\$3.50
Latte	\$4.75 - \$5.50
SoCal Flat White	\$5.50 - \$6.50
Mocha	\$5.50 - \$6.25
Iced Latte	\$4.75 - \$6.50
Batch Brew Coffee	\$3.00 - \$4.00
Tea	\$4.25
Chai Latte	\$4.50 - \$5.50
Hot Chocolate w/Vanilla	\$3.00 - \$4.50
PIZZAS	
Cheese Pizza	\$10.99
Margherita Pizza	\$10.99
Pepperoni Pizza	\$10.99
SNACKS	
Avocado Toast	\$6.50
Tuna Nicoise Salade	\$10.50
KOMBUCHA & BEVERAGES	
Vegan and Gluten Free Cookies	\$4.50
Cookies	\$3.75
Oatly Oatmilk Barista Edition	\$5.50
Califa Barista Almond Milk	\$5.50
Better Booch	\$4.00
Topochico	\$2.00
Peligrino 750ml	\$3.25
Alkalized H ² O 1L	\$2.75

ASSESSOR'S MAP



VICINITY MAP



WORK DESCRIPTION

SCOPE OF WORK INCLUDES: REMODEL OF (E) RESTROOMS.
(N) KITCHEN AND COFFEE EQUIPMENT, (N) RESTROOM, (N) COFFEE ROASTING AREA, (N) PLUMBING, (N) ELECTRICAL AND (N) MECHANICAL AS REQUIRED.

PROPOSED TENANT IMPROVEMENT FOR USE CONSISTING OF CAFE RESTAURANT AND RETAIL SPACE. TENANT IMPROVEMENT CONSISTS OF CHANGE OF USE FROM SERVICE STATION TO CAFE RESTAURANT AND RETAIL.

PROJECT INFORMATION

SITE ADDRESS 55761 TWENTYNINE PALMS HIGHWAY

YUCCA VALLEY CA 92284

APN#: 058634113 TRACT: 2865 LOT: 85 MAP:

PIN#:
ZONING: COMMERCIAL, MIXED USE
LOT AREA: 10,400 SF

DIRECTORY

PROPERTY OWNER

BUILT, INC.
2658 GRIFFITH PARK BLVD, SUITE 231
LOS ANGELES CA 90039

TENANT

DESERT DAYS AND DESCEPT MIGHTS LLC

APPLICANT

NATALIA DIRECTOR

TENANT
DESERT DAYS AND DESERT NIGHTS, LLC
2658 GRIFFITH PARK BLVD, SUITE 231
LOS ANGELES CA 90039

APPLICANT
NATALIA RIBEIRO
NATALIA@BUILTINC.COM
(201) 207-6703

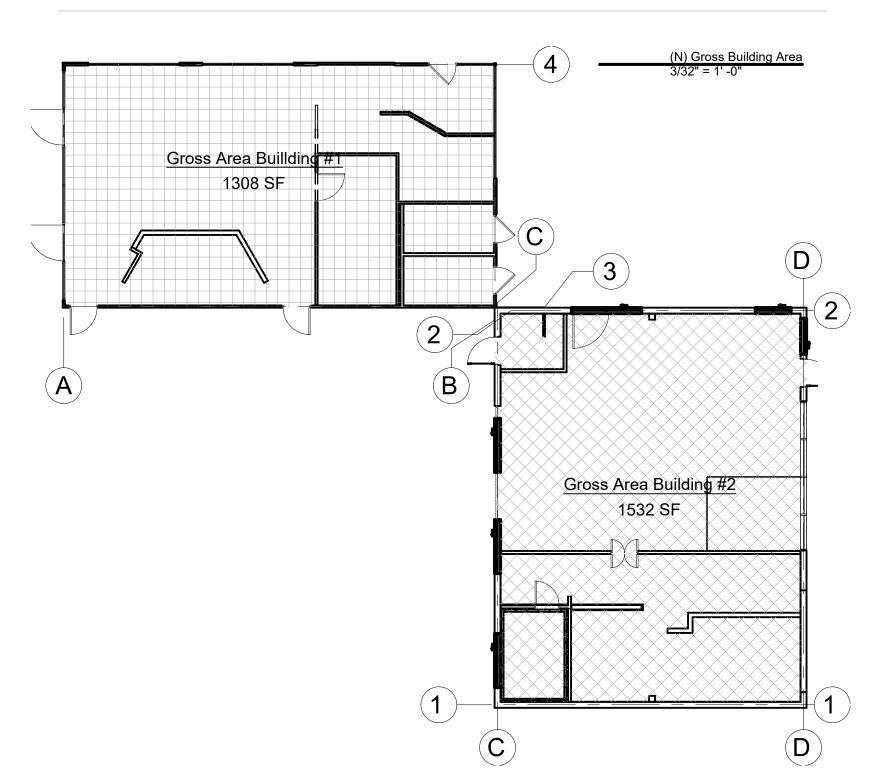
GOVERNING CODE

CALIFORNIA BUILDING CODE CALIFORNIA ENERGY CODE CA GREEN BLDG STANDARDS CODE CALIFORNIA FIRE CODE

CALIFORNIA ELECTRICAL CODE CALIFORNIA PLUMBING CODE CALIFORNIA MECHANICAL CODE COUNTY OF SAN BERNADIINO TOWN OF YUCCA VALLEY CBC 2019 EDITION TITLE 24 2019 EDITION CALGREEN 2019 EDITION PART 9 2019 EDITION

CEC 2019 EDITION
CPC 2019 EDITION
CMC 2019 EDITION
2019 DEVELOPMENT CODE
2019 DEVELOPMENT CODE

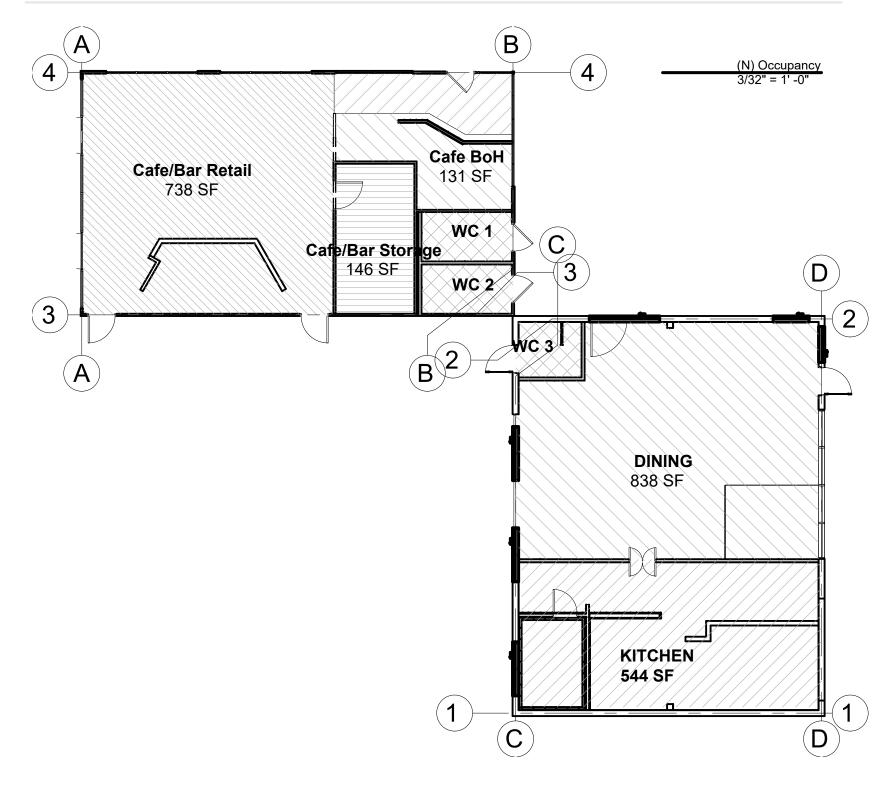
GROSS BUILDING AREAS



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A.2	ADA NOTES
A.3	SITE PLAN
A.3.1	TOPOGRAPHY SURVEY
A.3.2	JOSHUA TREE REPORT
A.3.3	PARKING PLAN
A.3.4	LANDSCAPE PLAN
C 1	GRADING PLAN
A.3.6	UTILITY PLAN
A.3.7	E LIGHTING PLAN
A.4	EXISITING FLOOR PLAN
A.5	DEMOLITION PLAN
A.6	CONSTRUCTION FLOOR PLAN
A.7	PROPOSED FLOOR PLAN
A.8	RCP - LIGHTING
A.9	DETAILS - KITCHEN/CAFE
A.10	WC1 DETAILS
A.11	EXTERIOR ELEVATIONS
A.12	COLOR EXTERIOR ELEVATIONS

OCCUPANT LOAD CALCULATIONS PER 803.1.2



Name	Occupancy	Area SF	Load Factor	No. of Occupants
Cafe	В	Not Placed	100 SF	0
Cafe BoH	В	131 SF	100 SF	2
Cafe/Bar Retail	В	738 SF	100 SF	8
Cafe/Bar Storage	S2	146 SF	300 SF	1
Dining	A-2	838 SF	15 SF	56
Dry Storage	В	Not Placed	100 SF	0
Dining Kitchen	В	544 SF	100 SF	6
TOTAL				79

PARKING REQUIREMENTS (per 9.33.040)

AREA	# OF SPACES REQUIRED PER SF	AREA	# OF SPACES REQUIRED
RETAIL	1 PER 250 SF	1,215 SF	5 SPACES
INDOOR SEATING	1 PER 50 SF	200 SF	4 SPACES
OUTDOOR SEATING	1 PER 50 SF	240 SF	5 SPACES

TOTAL NUMBER OR PARKING SPACES REQUIRED: 14 SPACES
TOTAL NUMBER OR PARKING SPACES PROVIDED: 14 SPACES

PER 9.33.050 ONE DISABLED PARKING SPACE IS PROVIDED

PLUMBING FIXTURES

Total Plumbing Fixtures Provide	2 WC 2 Lavatory 1 Urinal	3 WC 1 Lavatory
Plumbing Fixtures (Min.)	1WC, 1 Lavatory, 1 Urina	I 1 WC + 1 Lavatory
	Urinals 1 : 1-100 Occupancy	
	Lavatories: 1 : 1-75 Occupancy	Lavatories 1 : 1-50 Occupancy
Occupancy Type B (Small Assen	y) WC 1 : 1-50 Occupancy	WC 1 : 1 -15 Occupanc
Total Occupancy 79 Persons	40 Male	40 Female

PROJECT

THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

BUILT HOSPITALITY DESIGN

9105 SUNSET BLVD.

www.builtinc.com

WEST HOLLYWOOD, CA T: 323 857 0409

FE NOTE
PLANNING SUB 1

EET TITLE

COVER PAGE

EET NUMBER

A.O

GENERAL NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR KNOWING THE WORKING HOURS OF THE BUILDING AND CITY IN ORDER TO PROVIDE A REALISTIC SCHEDULE FOR DESIGNER / OWNER.
- 2. ALL REQUIRED PERMITS AND LICENSES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- 3. AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR WILL ADVISE DESIGNER / OWNER, IN WRITING, OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR WILL CAUSE A DELAY TO THE COMPLETION OF CONSTRUCTION.
- 4. IMMEDIATELY AFTER BEING AWARDED THE CONTRACT, THE CONTRACTOR WILLL SUBMIT A CONSTRUCTION SCHEDULE WHICH WILL BE CONTINUOUSLY UPDATED AND SUBMITTED TO DESIGNER / OWNER.
- 5. THE CONTRACTOR WILL VERIFY REQUIRED LOCATIONS AND INCLUDE IN BASE BID ALL RELATED COSTS FOR ALL NECESSARY ACCESS PANELS (IN PARTITIONS, FLOORS OR CEILINGS). THE CONTRACTOR WILL COORDINATE WITH OWNER BEFORE INSTALLATION.
- 6. ALL PARTITIONS, FLOORS AND CEILINGS WILL BE PATCHED OR REPAIRED AS REQUIRED FOR FINISH APPLICATIONS. PATCHED AND REPAIRED SURFACES WILL BE EQUAL TO NEW. THE CONTRACTOR WILL ADVISE DESIGNER / OWNER OF ANY EXISTING CONSTRUCTION THAT IS NOT LEVEL AND PLUMB (WITHIN INDUSTRY STANDARDS) BEFORE START OF CONSTRUCTION. FLOOR PREP SHOULD THEREFORE BE INCLUDED IN THE JOB BID.
- 7. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING TEMPORARY UTILITIES (POWER, LIGHTING, WATER AND RESTROOM FACILITIES) TO THE JOB SITE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE NOT A SUBCONTRACTOR TO THE GENERAL CONTRACTOR. CONTRACTOR TO PROVIDE PROTECTION AS REQUIRED. ANY DAMAGE TO THESE FACILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 8. THE CONTRACTOR WILL NOTE THAT THERE WILLL BE NO SUBSTITUTIONS FOR ANY MATERIAL WHERE SPECIFIC MANUFACTURERS ARE SPECIFIED. WHEN APPROVED EQUAL IS USED, IT WILL BE UNDERSTOOD THAT THE SUBSTITUTE WILL BY JUDGMENT AND APPROVAL, OF DESIGNER / OWNER AND ALL REQUESTS WILL BE MADE PRIOR TO INSTALLATION. CONTRACTOR WILL SUBMIT THREE (3) SETS OF MANUFACTURERS CUT SHEETS OF SAMPLES AND / OR ONE (1) REPRODUCIBLE ORIGINAL OF DWG'S FOR ALL REQUESTED SUBSTITUTIONS OF MATERIALS, HARDWARE, MILLWORK, GLASS PARTITIONS, CEILING SYSTEMS, PLUMBING, FIXTURES, ETC. TO DESIGNER / OWNER FOR APPROVAL.
- 9. MANUFACTURERS OF MATERIALS, OTHER THAN THOSE SPECIFIED ON THESE PLANS, SHALL MEET THE SPECIFIC REQUIREMENTS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THIS PROJECT. WHEN SUBSTITUTIONS OF THE SPECIFIED MATERIALS ARE REQUESTED TO BE MADE BY THE CONTRACTOR (WHETHER AS AN "APPROVED EQUAL" OR NOT) THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL EXPENSES INCURRED BY OWNER IN REVIEWING, RESEARCHING, APPROVING, AND COORDINATING REQUIRED SUBSTITUTIONS.
- 10. GENERAL CONTRACTOR OR HIS SUBCONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION AND APPROVAL OF SUBSTITUTED MATERIALS AS REQUESTED BY GOVERNING AGENCIES. ALL SUBSTITUTIONS ARE TO BE BROUGHT TO THE ATTENTION OF DESIGNER / OWNER PRIOR TO COMMENCEMENT OF INSTALLATION. IF THIS NOTIFICATION IN WRITING DOES NOT OCCUR OR IS REJECTED, OWNER ASSUMES NO RESPONSIBILITY FOR THE MATERIAL.
- 11. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISTRIBUTE
 ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR
 RESPONSIBILITY AT ALL TIMES DURING THE PROGRESS OF THE JOB (REVISIONS) ON A
 TIMELY BASIS. LACK OF THIS WILL BE THE RESPONSIBILITY OF THE G.C.
- 12. UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR WILL SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY COMPLETION TO OWNER.
- 13. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ANY CODE OR CODES OF FEDERAL, STATE, COUNTY OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. ALL APPLICABLE REQUIREMENTS IN THESE REGULATIONS WILL BE FOLLOWED THE SAME AS IF NOTED ON THE DRAWINGS. CONFLICTS BETWEEN WORK SET FORTH ON THE DRAWINGS AND BUILDING CODES, LAWS OR REGULATIONS NOTED BY THE GENERAL CONTRACTOR WILL BE SUBMITTED TO DESIGNER / OWNER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- 14. THE CONTRACTOR WILL AT ALL TIMES KEEP PREMISES FREE FROM ALL ACCUMULATION OF DEBRIS CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK, CONTRACTOR WILL DETAIL CLEAN ALL GLASS AND WOOD SURFACES AND LEAVE THE WORK IN MOVE IN CONDITION.
- 15. THE GENERAL CONTRACTOR WILL FINISH ALL THE LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE COMPLETION OF THE WORK SHOWN, CALLED FOR, OR REASONABLY IMPLIED BY THE CONTRACT DOCUMENTS EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
- 16. WHERE WORK OF EQUIPMENT IS INDICATED AS N.I.C., SUCH WORK AND / OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR WILL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION.
- 17. ALL REQUESTS FOR CLARIFICATION OF THESE DRAWINGS SHALL BE DIRECTED TO DESIGNER. CONFLICTS ARISING BETWEEN DETAILS AND / OR PLANS SHALL BE BROUGHT TO THE ATTENTION OF DESIGNER FOR CLARIFICATION IN WRITING BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- 18. ALL WORK ON DRAWINGS SHALL BE PERFORMED IN CONFORMANCE WITH REQUIREMENTS OF THE LEASE WORK LETTER AND BUILDING STANDARD SPECIFICATIONS, U.O.N. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ACQUAINT HIMSELF WITH ALL SUCH SPECIFICATIONS AND REGULATIONS WHETHER OR NOT LISTED ON DRAWINGS AND / OR INCLUDED HEREIN.
- 19. GENERAL CONTRACTOR WILL PROVIDE SHOP DRAWINGS OF ALL CUSTOM

 MANUFACTURER DESIGN ELEMENTS INCLUDED FOR DESIGNER / OWNER REVIEW AND APPROVAL
 PRIOR TO MANUFACTURING. UNLESS OTHERWISE AUTHORIZED BY DESIGNER / OWNER.
 NO MANUFACTURING WILL BE PERFORMED WITHOUT SAID DRAWINGS.
- 20. NO EXTRA WORK OR CHARGE WILL BE MADE UNLESS WRITTEN COUNTERSIGNED
 ORDER FROM THE OWNER / DESIGNER IS OBTAINED. THIS ORDER HAS TO STATE THAT THE
 OWNER HAS AUTHORIZED THE EXTRA WORK OR CHARGE, AND NO CLAIM FOR ANY ADDITIONAL
 SUM WILL BE VALID UNLESS SO OFFERED AND PRESENTED AS DESCRIBED ABOVE. FAILURE BY
 CONTRACTOR TO SUBMIT SUCH DOCUMENTATION REDERS THE OWNER NOT RESPONSIBLE FOR
 REMITTANCE OF EXTRA COSTS
- 21. GENERAL CONTRACTOR WILL PROVIDE ALL DOORS, FRAMES AND RELATED HARDWARE U.O.N.

- 22. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING DEMOLITION PLAN IN RELATION TO STRUCTURAL AND / OR CONSTRUCTION DRAWINGS. DESIGNER IS TO BE NOTIFIED OF ANY CONFLICTS, DISCREPANCIES OR PROBLEMS.
- 23. ALL EQUIPMENT AND MATERIAL, WHICH IS IN OPERATING CONDITION WHEN REMOVED WILL BE MAINTAINED AS SUCH AND RETURNED AS PER OWNERS REQUIREMENTS.
- 24. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE IDENTIFICATION, ABATEMENT AND PROPER DISPOSAL OF ANY AND ALL ASBESTOS MATERIALS THAT MAY EXIST AT THE JOB SITE.
- 25. GENERAL CONTRACTOE WILL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CUT SHEETS FOR ALL NEW DESIGN ELEMENTS OR EQUIPMENT BEING PROVIDED OR INSTALLED.
- 26. GENERAL CONTRACTOR WILL SUBMIT THREE (3) 12" X 12" SAMPLES OF ALL FINISH MATERIALS (STONE, PAINT, CARPET, WOOD, TILE, ETC.) SPECIFIED ON SCHEDULES, PLANS, DETAILS AND DRAWINGS FOR REVIEW BY DESIGNER / OWNER.
- 27. GENERAL CONTRACTOR WILL BE PROVIDED A PROVIDE FINAL PUNCH LIST BY DESIGNER / OWNER
- FOR CORRECTIONS AND FINAL APPROVAL.

 28. GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MENTIONED EQUIPMENT
- 30. GENERAL CONTRACTOR WILL BE HELD FULLY RESPONSIBLE FOR ALL COORDINATION OF SCOPE OF WORK BETWEEN DESIGN & ENGINEERING DRAWINGS. THE MOST COSTLY SCOPE OF WORK WILL BE ASSUMED AT NON-COORDINATED ISSUES. GENERAL CONTRACTOR TO COORDINATE WITH DESIGNER TO RESOLVE CONFLICTS PRIOR TO THE COMMENCEMENT OF THE WORK.

FOR THE PANTRIES AS REQUIRED U.O.N. VERIFY WITH DESIGNER / OWNER.

- 31. CONTRACTOR TO PROVIDE NEW CODE COMPLIANT FIRE STOPPING AT ALL NEW FLOOR PENETRATIONS THROUGHOUT WITH PATCH TO MAINTAIN EXISTING FIRE OF FLOOR SLAB.
- 32. CONTRACTOR IS RESPONSIBLE TO PROVIDE ELEVATOR LOBBY AND EQUIPMENT AS REQUIRED TO BE CODE COMPLIANT. CONTRACTOR TO PROVIDE NEW HANDICAP SIGNAGE AT ALL ELEVATOR CAB LOCATIONS INSIDE AND OUT IN THE IMMEDIATE AREA AROUND THE SYSTEM
- 33. CONTRACTOR TO PROVIDE SIGNS: "WARNING ALARMED DOOR" AT ALL FIRE EXIT DOORS IN STAIR SHAFTS.
- 34. CONTRACTOR TO RECESS ELEVATOR SILLS (TYP) IN CONC. SLAB AS REQUIRED TO OBTAIN CONTINUOUS FLOOR SURFACE.
- 35. CONTRACTOR TO PROVIDE FLOOR AND SLAB PATCH AT FLOOR FOR ALL PENETRATIONS.36. THE CONTRACTOR, SUBCONTRACTOR, OR OWNER'S VENDOR MUST CERTIFY THAT ALL MATERIALS AND EQUIPMENT USED OR INSTALLED ON THE JOB ARE FREE OF ANY
- ASBESTOS CONTAINING MATERIALS ("ACM") OR POLYCHLORINATED BIPHENYL ("PCB'S).

 37. CONTRACTOR TO CONFIRM THE BUILDING VENTILATION IS NOT ABOVE CEILING AREA AS A RETURN AIR PLENUM. ALL WALL TYPES MUST ALLOW UNOBSTRUCTED AIR RETURN THROUGH THE PLENUM. CONTRACTOR SHALL CONFIRM IF SMOKE / FIRE DAMPERS WILL BE REQUIRED AT FIRE RATED WALLS AND IF TRANSFER DUCTS ARE SUFFICIENT AT NON-FIRE RATED
- 38. PRIOR TO COMMENCEMENT OF CONSTRUCTION , THE FOLLOWING DOCUMENTS MUST BE
- SUBMITTED TO THE OWNERS REPRESENTATIVE.
- A. CONTRACTOR'S INSURANCE CERTIFICATE
 B. COPY OF BUILDING PERMIT
- C. COPY OF CONTRACT AGREEMENT BETWEEN OWNER AND CONTRACTOR
- D. A COMPLETE PROJECT DIRECTORY WITH EMERGENCY PHONE NUMBERS.

 E. A PROJECT SCHEDULE NOTING CRITICAL PATH ITEMS AND TARGET COMPLETION DATE.
- 39. CONTRACTOR WILL HAVE A FIELD OFFICE WITH A TABLE AND CHAIRS FOR WEEKLY MEETINGS. CONTRACTOR WILL BE REQUIRED TO HAVE A LAP TOP WITH AN E-MAIL CONNECTION. CONTRACTOR WILL BE REQUIRED TO TAKE WEEKLY DIGITAL PHOTOS OF THE PROJECT AT LOCATIONS SELECTED BY DESIGNER.
- 40. CONTRACTOR IS RESPONSIBLE FOR ANY PROJECT MEETING MINUTES WHICH WILL

DEMOLITION NOTES

REFLECT ISSUES RELATED TO THE PROJECT.

- 1. ALL EXISTING FINISHES NOT DESIGNATED TO REMAIN WILL BE REMOVED,
 AS PART OF THE CONTRACT, IN THE DEMO PHASE, GENERAL CONTRACTOR SHALL FURNISH
 MATERIALS, LABOR AND SERVICES INCLUDING THE HAULAGE COSTS FOR THE DEMOLITION.
 SCOPE OF WORK IS AS DELINEATED ON THE ATTACHED DRAWINGS, ALONG WITH NOTES,
 RELATED TO PROTECTION OF EXISTING CONSTRUCTION.
- 2. INSTALL WALK-OFF CARPET AS NECESSARY. CARPET IS TO BE KEPT CLEAN AT ALL TIMES.
- 3. GENERAL CONTRACTOR IS RESPONSIBLE TO TAKE ALL PRECAUTIONS TO RESTRICT ACCESS TO DANGEROUS AREAS BY OUTSIDE PERSONNEL. TO THIS END, BARRIERS AND SIGNS WILL BE ERECTED THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 4. GENERAL CONTRACTOR WILL REPAIR IMMEDIATELY ANY DAMAGE DONE TO THE BUILDING DUE TO DEMOLITION/ CONSTRUCTION TO AVOID DISRUPTION OF BUSINESS AND/ OR FURTHER DETERIORATION. DAMAGE TO THE BUILDING WILL BE CONSIDERED FULLY REPAIRED ONLY AFTER AN APPROVAL BY THE BUILDING MANAGEMENT AND/OR DESIGNER IS OBTAINED. ANY DAMAGE OCCURRING TO THE CONCRETE SLAB WILL BE REPAIRED TO DUPLICATE THE ORIGINAL CONSTRUCTION. (APPLIES TO DAMAGE DONE TO FLOORS AS WELL).
- 5. GENERAL CONTRACTOR WILL BE COMPLETELY RESPONSIBLE FOR THE REMOVAL FROM THE JOB SITE OF ALL VARIOUS VENDORS DEBRIS (CONSTRUCTION MATERIALS/ WASTE/ WRAPPING/ PACKAGES. ETC.). DURING THE ENTIRE COURSE OF THE PROJECT, WITH PARTICULAR ATTENTION TO SAME DURING LAST WEEK(S) OF THE JOB AND DURING FURNITURE/ EQUIPMENT INSTALLATION AND IMMEDIATELY PRIOR TO MOVE IN. (THIS WILL INCLUDE REMOVALS OF PACKAGING FROM TELEPHONE/ COMM. & FURNITURE VENDORS).
- GENERAL CONTRACTOR WILL MAKE AVAILABLE SAME SERVICE SUBSEQUENT TO MOVE - IN AND TO COORDINATE EXPECTED REMOVALS AS JOB APPROACHES MOVE - IN.
- 7. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR FINAL CONSTRUCTION CLEANUP, CLEANING OF ALL INTERIOR GLASS SURFACES AND WILL PROVIDE OFFICE CLEANUP SERVICE(S) (CARPET, WOOD SURFACES, ETC.) FOR THE LAST MINUTE CLEANUP AT ODD HOURS (EVENING, WEEKENDS, ETC.). ARRANGEMENTS WILL BE MADE TO HAVE ALL EXTERNAL WINDOW SURFACES CLEANED WITHIN TWO (2) WEEKS OF MOVE IN / OCCUPANCY. THE G.C. WILL COORDINATE ALL CLEANUP WITH BUILDING REPRESENTATIVES

PARTITION & WALL NOTES

- GENERAL CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT
 JOB SITE AND REQUEST CLARIFICATION FROM DESIGNER, REGARDING DISCREPANCIES
 BETWEEN DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING WITH ANY WORK.
- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DETAILS OVER RIDE WILL
 SCALE DETAILS: ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF
 DESIGNER PRIOR TO COMMENCEMENT OF INSTALLATION.
- 3. ALL SNAP LINES AND SPRAYED CORNERS ARE TO BE PUT DOWN AND APPROVED BY DESIGNER. PRIOR TO THE START OF FRAMING.
- PARTITIONS ARE DIMENSIONED FROM FINISH TO FINISH, U.O.N.
 ALL "HOLD" DIMENSIONS MUST BE MAINTAINED.
- 6. ALL PARTITIONS SHOWN AS "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING CONSTRUCTION.
- 7. ALL DIMENSIONS OF GLASS PARTITIONS ARE GIVEN FROM CENTERLINE TO CENTERLINE, UNLESS OTHERWISE NOTED.
- 8. UNLESS OTHERWISE NOTED, ALL NEW PARTITIONS SHALL HAVE STUDS AT 2' 0" ON CENTER. BOTTOM CHANNEL SHOT NAILED TO FLOOR AT 2' 0" ON CENTER. TOP RAIL TO BE SECURELY ATTACHED TO STRUCTURE ABOVE WITH METAL STUD KICKERS EVERY 4' 0" ON CENTER IN ALTERNATING DIRECTIONS AT 45 DEGREES FOR LATERAL SUPPORT PER CODE REQUIREMENTS.
- 9. PARTITIONS EXTENDING TO THE SLAB WILL BE SEALED TO THE SLAB, PERIMETER WALLS AND AROUND PENETRATIONS TO THE PLENUM.
- 10. ALL POINTS WHERE PARTITIONS INTERSECT WINDOW MULLIONS, SOUND DEADENING MATERIAL IS TO BE INSTALLED WITHIN CONVECTOR PLENUM. PROVIDE NEOPRENE GASKET WITH 2045 SHEET METAL CAP. CONNECTION WILL HAVE THE SAME IF NOT GREATER STC RATING AS THE PARTITION ASSEMBLY.
- 11. AT ALL GYPSUM BOARD CORNERS AND PARTITION ENDS AND TOPS; METAL CORNER BEADS ARE TO BE INSTALLED, TAPED, SPACKLED FLUSH AND SANDED SMOOTH.
- 12. WHERE REQUIRED, PROVIDE FURRING OR MINIMUM ADDITIONAL PARTITION THICKNESS W/CONT. INSULATION FOR PLUMBING WALLS.
- 13. ALL WOOD BLOCKING WILL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES.
- 14. ALL GLASS WILL BE TEMPERED GLASS THROUGHOUT. STAMP INDICATING IT IS TEMPERED.
- 15. ALL ROUGH AND FINISHED CARPENTRY, INCLUDING WOOD BLOCKING, WOOD DOORS, DOOR AND WINDOW FRAMES WIANT BE FIRE RETARDING TREATED AS REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE AND OTHER APPLICABLE CODES FOR COMBUSTIBILITY FLAME SPREAD RATING AND SMOKE DEVELOPED RATING.
- 16. WHERE METAL STUD FRAMING ADJOINTS METAL DUCTS OR PIPES, OR WHERE TWO METALS ARE AFFIXED TO EACH OTHER, THE GENERAL CONTRACTOR WILL PROVIDE INSULATING MATERIAL BETWEEN SO THAT NO VIBRATION OR NOISE WILL BE TRANSMITTED. ALL LOCATIONS ARE TO BE BROUGHT TO OWNER'S ATTENTION.
- 17. AT ALL RATED PARTITIONS AND PARTITIONS OR BAFFLES EXTENDING TO THE FLOOR STRUCTURE ABOVE WILL BE SCALED TO THAT STRUCTURE, TO PERIMETER WALLS AND AROUND ANY PENETRATIONS SUCH AS PIPES OR DUCTS. WHERE A DUCT OR OTHER CONSTRUCTION RUNS PARALLEL WITH A RATED PARTITION, OFFSET THAT PARTITION ABOVE THE CEILING AROUND THE CONSTRUCTION TO MAINTAIN THE FIRE RATING. ALL SUCH CONDITIONS SHOULD BE IDENTIFIED ON THE COORDINATION DRAWINGS AND SUBMITTED TO THE DESIGNER FOR APPROVAL.
- 18. ALL GYPSUM WALL BD. USED WILL BE 5/8" FIRE CODE "X" BY U.S.G. UNLESS OTHERWISE NOTED.
- 19. GENERAL CONTRACTOR TO SCAR PATCH ALL CORE WALLS AND PERIMETER BASE
 BUILDING WALLS NOT IN ALIGNMENT WITH THE ADJACENT CORE WALLS AND SCARED FROM
 DEMOLITION OR EXISTING CONDITIONS AS REQUIRED.
- 20. GENERAL CONTRACTOR TO PROVIDE BUTT JOINTS AT ALL GLASS TO GLASS CONNECTIONS AND MITERED GLASS AT ALL GLASS TO GLASS CORNERS. U.O.N. GENERAL CONTRACTOR TO PROVIDE THE FIELD BY OWNER.
- 21. CONTRACTOR IS RESPONSIBLE TO COORDINATE DEPTH OF FIRE EXTINGUISHER CABINET WITH NEW PARTITIONS. CONTRACTOR TO THICKEN SPECIFIED PARTITION AS REQUIRED TO INSTALL CABINET CORRECTLY AS MANUFACTURER RECOMMENDS. CONTRACTOR TO THICKEN PARTITION AS REQUIRED TO HOLD NEW CABINET. PARTITIONS TO BE THICKENED FOR ENTIRE LENGTH OF WALL.
- 22. ALL PTD. / MTL. GYP. BD. WALL / CEILING REVEALS WILL BE CONTINUOS W/ WELDED AND MITERED CONNECTIONS TYPICAL.
- 23. CONTRACTOR TO PROVIDE SOUND RESISTANT SEALANT AT ALL LOCATIONS WHERE CONDUIT, J BOXES, PLUMBING PIPES, ETC. PIERCE ACOUSTICAL PARTITIONS OR CEILINGS. CONTRACTOR TO OBTAIN "EQUAL TO" STC / NRC RATINGS AT PARTITIONS WITH NO PIERCING.
- 24. AT ALL PARTITIONS NOT EXTENDING TO FLOOR STRUCTURE ABOVE, METAL STUDS WILL EXTEND AND BE ANCHORED TO THAT STRUCTURE AT ALL DOORS, PARTITION CORNERS AND AT ALL PARTITIONS AT 8' 0" O.C. MAXIMUM.
- 25. ALL SURFACES SCHEDULED TO RECEIVE WALL COVERING MUST BE ABSOLUTELY FREE OF ANY DEFECT THAT WILL BE VISIBLE THROUGH THE INSTALLED WALL COVERING SUCH SURFACES WILL RECEIVE ONE (1) COAT OF FLAT PRIME PAINT PRIOR TO INSTALLATION. THE GENERAL CONTRACTOR WILL APPLY ALL WALL COVERING IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED IN DRAWINGS BY DESIGNER FOR LABOR AND MATERIAL. THE GENERAL CONTRACTOR WILL EXAMINE ALL SUCH MATERIALS FOR DEFECTS AND VARIATION IN COLOR BEFORE APPLICATION, AND NOTIFY OWNER IF ANY SUCH DEFECTS ARE FOUND.
- 26. CONTRACTOR WILL PROVIDE A MINIMUM OF LEVEL "5" FINISH ON ALL GYP. BD. WALLS PRIOR TO PAINTED FINISH APPLICATION NEW PARTITIONS WILL BE APPROVED FOR FINISH BY OWNER PRIOR TO PAINTING.

WALL & FLOOR FINISH NOTES

- REFER TO FINISH PLAN(S) AND TO SPECIFIC NOTES AND / OR SPECIFIC DETAILS THEREON.
 ALSO, SEE CONSTRUCTION AND FIRE DEPARTMENT NOTES.
- 2. APPLY ONE 3'-0" x 3'-0" PAINT SAMPLE OF ALL COLORS IN THE SPECIFIC FINISH FOR APPROVAL BY OWNER / DESIGNER.
- 3. WALL FINISHES WILL CONFORM TO LOCAL BUILDING CODES FOR FLAME SPREAD RATING.
- WALL FINISHES WILL CONFORM TO LOCAL BUILDING CODES FOR FLAME SPREAD RATING
 WALL SURFACES WILL BE PREPARED FOR PAINT. ALL PAINT WILL BE APPLIED IN

PROVIDE MINIMUM TWO (2) COATS OF PAINT FINISHES OVER (1) COAT PRIMER (OR AS

ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACES.

- REQUIRED). REPAINT OR TOUCHUP AREAS, WHERE NECESSARY, PRIOR TO COMPLETION.
 FULL AREA REPAINTS ARE REQUIRED, SPOT TOUCHUPS WILL NOT BE ACCEPTED.

 5. WALL SURFACES RECEIVING VINYL WALL COVERING WILL RECEIVE ONE COAT OF SEALER
- AND / OR PRIMER COAT IN FLAT FINISH.

 6. PAINT FINISH OF ALL WALLS & COLUMNS TO MATCH TO EXISTING (FLAT, EGGSHELL, ETC)
- 7. PAINT FINISH OF ALL METALS PARTS, I.E., DOORS AND DOOR FRAMES, CONVECTOR

 -ENCLOSURES, WINDOW FRAMES, METAL POCKETS, METAL TRIM (NOT SHOP FINISHED), ETC.,
 WILL BE SPRAYED ON ALKYD SEMI GLOSS, U.O.N. PAINT FINISH ON ALL WOOD DOORS,
 CASEWORK AND MILLWORK WHERE SPECIFIED IS TO BE SPRAYED ON SEMI GLOSS
 ENAMEL FINISH. CONTACT DESIGNER FOR ANY CLARIFICATION.
- 8. SEAMS MUST BE BUTTED STRAIGHT. ALL MATERIAL MUST BE LEFT CLEAN WITHOUT UNGLUED EDGES OR AIR BUBBLES. CUT EDGES MUST BE CONCEALED BY HARDWARE, ELECTRICAL COVER PLATES, ETC. NO PERPENDICULAR SEAMING WILL BE ACCEPTED AT DOOR OR PASSAGES.
- WALL COVERING CONTRACTOR WILL COORDINATE ALL WALL COVERING APPLICATION IN OR CABINET WORK WITH CABINET CONTRACTOR.
- 10. ALL ACCESS PANELS WILL BE PAINTED TO MATCH ADJACENT FINISHES, U.O.N.
- 11. FLASH PATCHING OF ALL FLOORS WILL BE COMPLETED AND REVIEWED BY DESIGNER / OWNER PRIOR TO THE INSTALLATION OF THE FLOOR FINISH. THE GENERAL CONTRACTOR NEEDS DESIGNER'S / OWNER'S FINAL APPROVAL BEFORE PROCEEDING WITH THE INSTALLATION. IF THIS IS NOT RECEIVED, OWNER HAS THE RIGHT TO ASK THE GENERAL CONTRACTOR TO CORRECT THE PROBLEM AT NO ADDITIONAL COST.
- 12. CONTRACTOR WILL REMOVE ALL EXISTING BASE BOARDS AND FLOORING MATERIALS,
 U.O.N., TO EXPOSE ORIGINAL BUILDING SUB FLOORING (PLYWOOD OR CONCRETE). PATCH,
 REPAIR & WATER PROOF SUB FLOOR TO RECEIVE NEW FINISH FLOORING IN ADEQUATE TIME FOR
 INSTALLATION
- 13. WHERE CARPETING MEETS VINYL AND TILE, PROVIDE MERCER (OR EQUAL) VINYL
 COMMERCIAL CARPET REDUCER MOLDING, U.O.N. FOR ALL OTHER CONNECTION DETAILS
- BETWEEN FLOORING MATERIALS (SEE THE ATTACHED DETAIL SHEETS).

 14. WHERE CARPETING OCCURS IN DOORWAYS, BRUSHED METAL TRANSITION STRIPS TO BE USED.
- 15. CLOSETS ARE TO RECEIVE THE SAME FLOOR COVERING, PAINT & CEILINGS AS THE ROOMS IN WHICH THEY OCCUR, U.O.N.
- 16. UNLESS OTHERWISE NOTED, PROVIDE RESILIENT BASE.
 STRAIGHT: AT ALL CARPETED;
- COVE: AT ALL HARD FLOOR AND TILED AREAS;
 ALL BASES ARE TO BE MITERED AT INSIDE OUTSIDE CORNERS.
- INSTALL WALL BASE AFTER WALL COVERING AND CARPETING.
 FLOORING CONTRACTOR WILL TEST FLOOR SLAB WHERE TILE IS BEING INSTALLED FOR MOISTURE. IF REQUIRED, SEAL FLOOR SLAB WITH DECO - REZ. #3501M MOISTURE GUARD,
- 19. IN AREAS RECEIVING CERAMIC OR STONE TILE; GROUT IS TO MATCH FLOOR COLOR (CUSTOM GROUT COLOR), U.O.N WHERE EDGE OF TILE IS EXPOSED, USE MATCHING FINISH TRIM STRIP. PROVIDE CLEAR PROTECTIVE SEALER AT GROUT PER MANUFACTURER'S SPECIFICATIONS. TEST AN INCONSPICIOUS AREA IN ORDER TO VERIFY THE DESIRED RESULTS. G.C. TO GET FINAL APPROVAL FROM DESIGNER PRIOR TO PROCEEDING.
- 20. FINISHED CONCRETE TO BE SLIP RESISTANT AS REQUIRED PER CODE.

OR APPROVED EQUAL BEFORE INSTALLATION OF TILE FLOORING.

- 21. THE GENERAL CONTRACTOR WILL DOUBLE UP METAL STUDS AT ALL DOORS AND WINDOW OPENINGS UNLESS OTHERWISE NOTED. ALL PARTITIONS W/ MOVEMENT TO BE SECURED & REINFORCED AS REQUIRED.
- 22. THE GENERAL CONTRACTOR WILL SUBMIT FOR OWNER'S APPROVAL, IN ADDITION TO OTHER SUBMITTALS DESCRIBED HEREIN. A COLOR CODED DRAWING INDICATING THE LAYOUT AND SEAMING OF OF ALL CARPET. GENERAL CONTRACTOR TO PROVIDE CREDIT FOR THIS SCOPE OF WORK IF DRAWINGS ARE NOT PROVIDED WHERE CARPET SEAM OCCURS IN DOORWAY, SEAMS ARE TO BE LOCATED DIRECTLY UNDER THE CENTER OF THE DOOR, SO AS TO BE CONCEALED WHEN THE DOOR IS CLOSED. ALL SPECIAL INSTALLATIONS (I.E. 1/4 TURN, ETC.) ARE TO BE CLOSED.
- 23. TILE FLOORING WILL BE INSTALLED ACCORDING TO THE MANUFACTURER'S
 RECOMMENDATIONS WITH THE PATTERN RUNNING IN ONE DIRECTION U.O.N.. VERIFY
 PATTERN WITH DESIGNER. IF OWNER DOES NOT GIVE APPROVAL ON FLOOR PATTERN, THE
 FLOORING SCOPE WILL BE REMOVED AND REINSTALLED IN THE REQUESTED PATTERN AT
 NO ADDITIONAL COST TO OWNER. FLOORS ARE TO BE INSTALLED AND SEALED PER MANUFACTURER'S
 RECOMMENDATIONS.
- 24. ALL JOINTS BETWEEN DIFFERENT AND SAME FLOORING MATERIALS ARE TO BE EXACTLY EVEN U.O.N. GENERAL CONTRACTOR TO PROVIDE FLOOR PATCHES AS REQUIRED TO ACHIEVE THIS.
- 25. RESILIENT TILE FLOORS WILL BE GIVEN (MIN.) THREE (3) APPLICATIONS OF AN APPROVED NON SLIP WAX THOROUGHLY MACHINE BUFFED, PRIOR TO THE PLACEMENT OF FURNITURE AND PRIOR TO THE OWNER'S MOVE IN DATE. THE FLOOR FINISH IS TO BE APPROVED BY DESIGNER.
- 26. GENERAL CONTRACTOR WILL PROVIDE A MINIMUM OF ONE (1) ADDITIONAL GALLON OF PAINT OF ALL WALL AND CEILING COLORS USED ON THE PROJECT TO THE OWNER FOR FUTURE TOUCHUP AS REQUIRED.
- 27. GENERAL CONTRACTOR WILL PROVIDE ADDITIONAL 5% ATTIC STOCK OF ALL FINISH MATERIALS.
- 28. DESIGNER / OWNER IS TO WALK THE SITE PRIOR TO THE APPLICATION OF THE FINISH WALL COMPOUND COAT AND MARK ALL DEFECTS. CONTRACTOR WILL OBTAIN DESIGNERS / OWNERS WRITTEN APPROVAL OF WALL SURFACE BEFORE FINAL PAINT OF FINISH APPLICATION IS
- 29. WITHIN TWO (2) WEEKS AFTER COMPLETION AND TOTAL OCCUPANCY OF PREMISES, ALL SURFACES WILL BE INSPECTED AND ANY NICKS, SCRATCHES AND / OR DEFECTS WILL BE TOUCHED UP AS REQUIRED BY OWNER AT NO COST TO THE OWNER.
- 30. CONTRACTOR TO PROVIDE FLOOR LEVELING OF 1/4" IN 10' 0" (TYP)

WALL & FLOOR FINISH CONTINUED

- 31. PROVIDE SHOP DRAWINGS ILLUSTRATING LOCATION & INSTALLATION OF DETAILS FOR ALL STON CERAMIC, WOOD AND RUBBER / VINYL BASE.
- 32. FLOORING CONTRACTOR WILL PROVIDE MATT FINISH SEALER (2 COATS MIN.) ON ALL UNFINISHE TILE OR STONE FLOORING, U.O.N.
- 33. CHECK THE DYE LOT AND PATTERN SEQUENCE PRIOR TO CUTTING. DO NOT MIX DYE LOTS OR D SERIES. NOTIFY DESIGNER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES PRIOR TO INSTALLATION. FAILURE TO DO SO AND ANY REPLACEMENT WILL NOT BE AT THE OWNERS COST
- 34. INSTALL CARPET WITH BLACK MARKED ARROWS RUNNING IN THE SAME DIRECTION ALONG WITH MARKING THREADS ON THE PRIMARY BACKING CONSISTENT ON LEFT OR RIGHT SIDE.
- 35. ALL CARPET INSTALLATIONS SHOULD BE INSTALLED IN ACCORDANCE WITH THE MINIMUM
- STANDARDS SET FORTH IN CRI 104 1996 STANDARD FOR INSTALLATION OF COMMERCIAL CARP

 36. A COMPREHENSIVE SEAMING DIAGRAM MUST BE SUBMITTED AND APPROVED BEFORE

INSTALLATION..

NEVER CONTACT THE FACE FIBERS.

- 37. ALL AJOINED AND SEAMED EDGES OF CARPET WILL BE SEALED WITH 1/8" BEAD OF SOLVENT OR EVA ACRYLIC SEAM SEALER. (CRI 104 1996, 8. AND 9.5) THIS BEAD OF SEALER MUST BE APPLIED THE PRIMARY YARN BUNDLE AND SECONDARY BACK LEVEL SO THAT IT TRANSFERS TO THE ADJACENT EDGE AND BONDS THE EDGES THUS PREVENTING UNRAVELING. SEAM FIBERS SHOUL
- 38. LENGTH SEAM PREPARATION MUST BE MADE BY ROW CUTTING THE CARPET AS A SPECIFIC POIN THAT WILL ALLOW A PATTERN MATCH WITH ADJOINING SHEETS. USE AN AWL, SCREWDRIVER OR SIMILAR TOOL TO "RUN THE ROW" WHICH SEPARATES THE STITCH ROWS TO BE CUT BETWEEN C CAROET WITH A LOOP PILE CUTTER OR CUSHION BACK CUTTER. DO NOT TRACE OR COUBLE CU PRODUCTS.

PROJECT

THE STAR CAFE

55761 TWENTYNINE PALMS HWY. YUCCA VALLEY, CA 92284

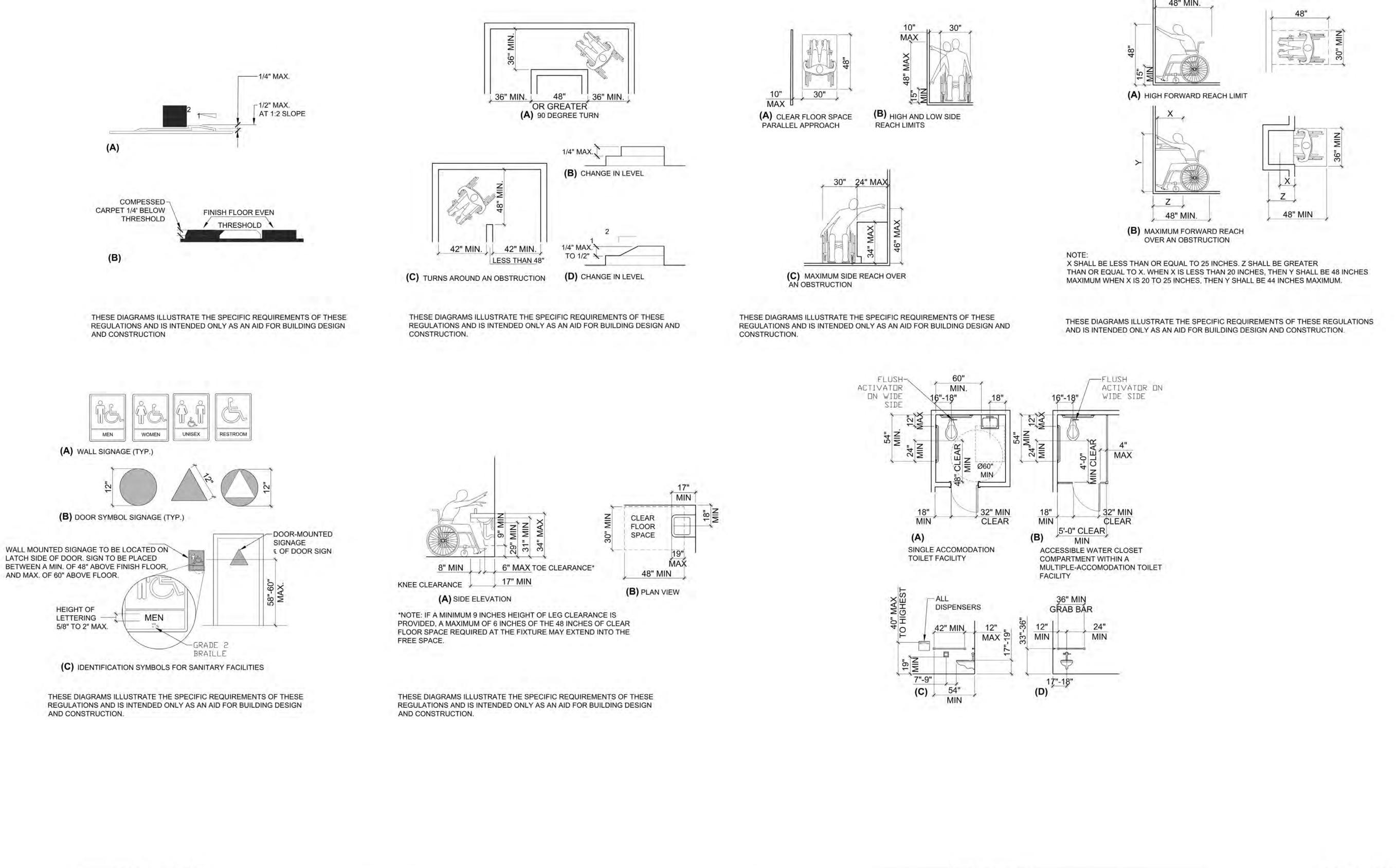
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12/08/22 PLANNING SUB 1

GENERAL

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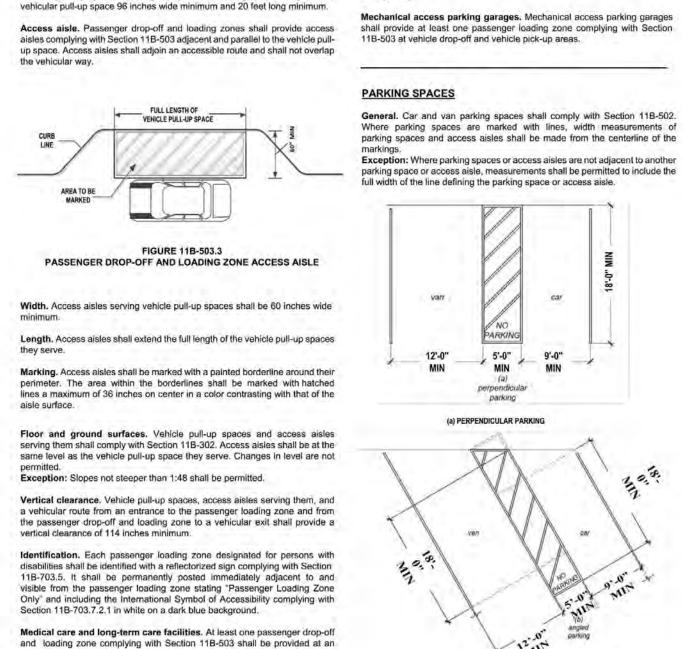


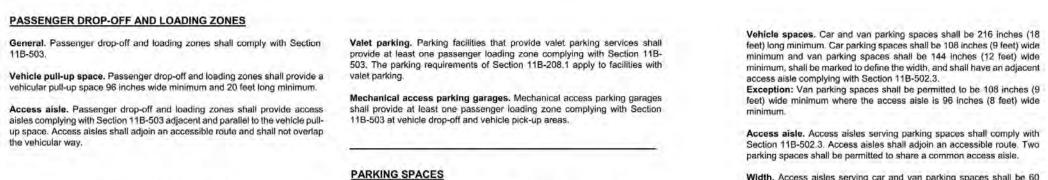
FIGURE 11B-502.2 VEHICLE PARKING SPACES

PASSENGER DROP-OFF AND LOADING ZONES

Vehicle pull-up space. Passenger drop-off and loading zones shall provide a

accessible entrance to licensed medical care and licensed long-term care

facilities where the period of stay may exceed twenty-four hours.



Access aisle. Access aisles serving parking spaces shall comply with Section 11B-502.3. Access aisles shall adjoin an accessible route. Two parking spaces shall be permitted to share a common access aisle. Width. Access aisles serving car and van parking spaces shall be 60 inches (5 feet) wide minimum. Length. Access aisles shall extend the full required length of the parking spaces they serve. Marking. Access aisles shall be marked with a blue painted borderline around their perimeter. The area within the blue borderlines shall be

marked with hatched lines a maximum of 36 inches (3 feet) on center in a color contrasting with that of the aisle surface, preferably blue or white. The words "NO PARKING" shall be painted on the surface within each access aisle in white letters a minimum of 12 inches (1 foot) in height and located to be visible from the adjacent vehicular way. Access aisle markings may extend beyond the minimum required length. Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for van parking spaces which shall have access aisles located on the passenger side of the parking spaces.

them shall comply with Section 11B- 302. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not Exception: Slopes not steeper than 1:48 shall be permitted. Vertical clearance. Parking spaces, access aisles and vehicular routes serving them shall provide a vertical clearance of 98 inches (2489 mm) minimum. Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with Section 11B-703.7.2.1. Signs identifying van parking spaces shall contain additional

Floor or ground surfaces, Parking spaces and access aisles serving

language or an additional sign with the designation "van accessible," Signs shall be 60 inches (5 feet) minimum above the finish floor or ground surface measured to the bottom of the sign. Exception: Signs located within an accessible route shall be a minimum of 80 inches (6 feet, 8 inches) above the finish floor or ground surface measured to the bottom of the sign. Finish and size. Parking identification signs shall be reflectorized with a minimum area of 70 square inches. Minimum fine. Additional language or an additional sign below the International Symbol of Accessibility shall state "Minimum Fine \$250."

(305 mm) min FIGURE 11B-502.3.3 PERPENDICULAR PARKING IDENTIFICATION SURFACE SLOPE IN ANY DIRECTION WITHIN THE LOADING & 8'-0" MIN AT VAN ACCESSIBLE UNLOADING PAINT THE WORDS "NO PARKING" IN 12" HIGH

VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (9 FEET) WIDE

MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES (8 FEET) WIDE MINIMUM.

INTERNATIONAL SYMBOL OF ACCESSIBILITY

(See Marking.11B-502.6.4)

36" BY 36"

perpendicular parking

PARKING STALL 5'-0" MIN AT STD. ACCESSIBLE MINIMUM WHITE LETTERS

identification

blue border

- hatched lines

at 36 inches

(914 mm) or

center max

white lettering,

12 inches

access

inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space length. The parking space shall be outlined or painted blue and shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 a minimum 36 inches wide by 36 inches high in white or a suitable contrasting color. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space. Relationship to accessible routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes.

5'-0" MIN. AT TYPICAL ACCESSIBLE

Location. A parking space identification sign shall be visible from each

adjacent to the parking space or within the projected parking space width

identification complying with either Sections 11B-502.6.4.1 or 11B-

background a minimum 36 inches wide by 36 inches high. The centerline

of the International Symbol of Accessibility shall be a maximum of 6

posted on a wall at the interior end of the parking space.

8'-0" MIN. AT VAN ACCESSIBLE

PARKING STALL

PARKING STALL

FIGURE 11B-502.3.3

ANGLED PARKING IDENTIFICATION

PEDESTRIAN ROUTE 5% MAX SLOPE

(1.48% CROSS SLOPE MAX)

parking space. Signs shall be permanently posted either immediately spaces other than to pass behind the parking space in which they parked. at the head end of the parking space. Signs may also be permanently 11B-502.7.2 Wheel stops. A curb or wheel stop shall be provided if required to prevent encroachment of vehicles over the required clear width of adjacent accessible routes. Marking. Each accessible car and van space shall have surface 11B-502.8 Additional signage. An additional sign shall be posted The parking space shall be marked with an International Symbol of 1) In a conspicuous place at each entrance to an off-street Accessibility complying with Section 11B-703.7.2.1 in white on a blue parking facility or 2) Immediately adjacent to on-site accessible parking and visible from each parking space.

11B-502.8.1 Size. The additional sign shall not be less than 17 inches wide by 22 inches high. 11B-502.8.2 Lettering. The additional sign shall clearly state in letters with a minimum height of 1 inch the following: "Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at the owner's expense. Towed vehicles maybe reclaimed at: Blank spaces shall be filled in with appropriate information as a permanent part of the sign. (NOTE: Towing Co.'s Name and Telephone Number must be noted on the detail sheet/s on the plans).

THE ADDITIONAL " TOW-AWAY" SIGN LETTERS SHALL HAVE A MINIMUM AND TELEPHONE NOS.* MUST BE

1/08/22 PLANNING SUB 1 SHEET TITLE

PROJECT

CLEAR OPENINGS MUST BE BETWEEN THE DOOR IN ITS OPENING POSITION AND THE

CLEAR OPENINGS FOR TWO LEAF DOORS

MUST BE BETWEEN EITHER DOOR IN ITS

90 DEGREE OPEN POSITION AND THE EDGE

AN ADULT SIZE WHEELCHAIR AVERAGES 27 INCHES

IN WIDTH, THE REQUIRED 32 INCH CLEAR OPENING ALLOWS 2-1/2 INCHES ON EACH SIDE FOR HANDS

FACE OF THE STOP

OF THE OTHER DOOR.

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS

AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

STOP

(A) SINGLE DOOR

(B) DOUBLE DOOR

(C) PASSAGE CLEARANCE

THE STAR CAFE

55761 TWENTYNINE PALMS HWY. YUCCA VALLEY, CA 92284

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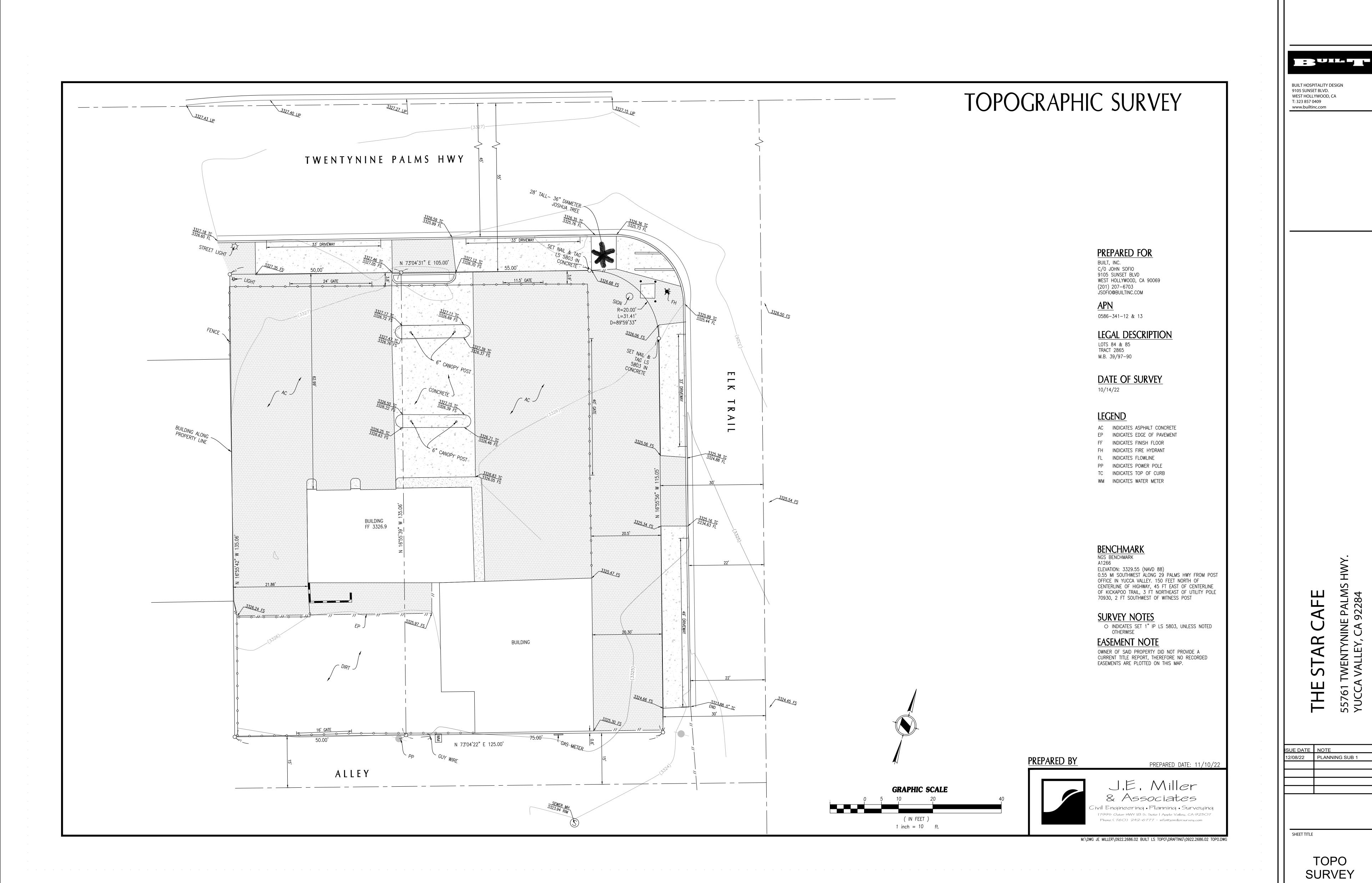
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ADA NOTES

SHEET NUMBER



PROJECT THE STAR CAFE 55761 TWENTYNINE PALMS HWY. YUCCA VALLEY, CA 92284

FIRST CERTIFIED ARBOR CARE
PO BOX 9592
SAN BERNARDINO CA 92427-0592
909-880-1131
California State Contractor license # 525283

September 2, 2022

Aziz Ibrahim Built Inc. aziz@builtinc.com

RE: Joshua tree report for 55761 Twentynine Palms Highway, Yucca Valley CA 92284

Purpose of report

The purpose of this report is to verify that a native Joshua trees on this property will not be disturbed by the proposed construction activities as described in the plan—to comply with State of California requirements elaborated in San Bernardino County Information Bulletin IB-0016, Joshua Trees.

Scope

Section 3.0 Background of IB-0016 notes the following:

- That the Joshua tree is a candidate for listing as an endangered species.
- That the remedies of removal or transplanting to make room for development are not currently an approved option;

That the threshold triggering reporting is the presence of a Joshua tree within 40 feet of

- Proposed construction.
 A determination that no Joshua trees are affected by the proposed
- grading/construction must be made before proceeding with the project.

 That this evaluation and report may be done by an ISA Certified Arborist®.

Extenuating circumstances

The development and Joshua tree on this site have existed for many decades. There is historical evidence of damage to the Joshua tree on the property from traffic collisions. Existing construction features are not a result of the current development activity.

Qualifications of Author

The author, Paul E. Chaney, holds a BS degree in Omamental Horticulture from California State Polytechnic University, Pomona, He has been a California licensed C-27 landscape contractor since 1988 and a D-49 tree service contractor since the State required it 1992. He holds ISA Certified Arborist® credential WE-0135A and is Tree Risk Assessment Qualified.

Since 1988, he has reported extensively on construction impacts to trees for CEQA compliance during the development review process. Mr. Chaney wrote the first CEQA arborist reporting standards for the cities of San Bernardino, Fontana, Highland, and Yucaipa. His experience includes over 35 years of observing how trees respond to nursery production practices, structural and maintenance pruning treatments, and damage from various causes, including those that are construction related. Mr. Chaney's consulting clients have included engineers, developers, architects, landscape architects, landscape contractors, attorneys, insurance companies and adjusters, home and business owners, and public agencies.

Evaluation

The plan for the proposed sewer line connection in Sout Alley shows that the work will not disturb the existing Joshua tree. It is too far away to have any effect.

including the County of San Bernardino and the State of California.

Conclusion

The Joshua tree on this site has survived many decades. The proposed construction does not affect it. No beneficial tree protection specifications and no mitigation measures are needed with respect to the construction work proposed.

PAUL E. CHANEY
ISA Certified Arborist® WE-0135A

Paul E Chany

PROJECT

THE STAR CAFE

EBUIL-E

55761 TWENTYNINE PALMS HWY. YUCCA VALLEY, CA 92284

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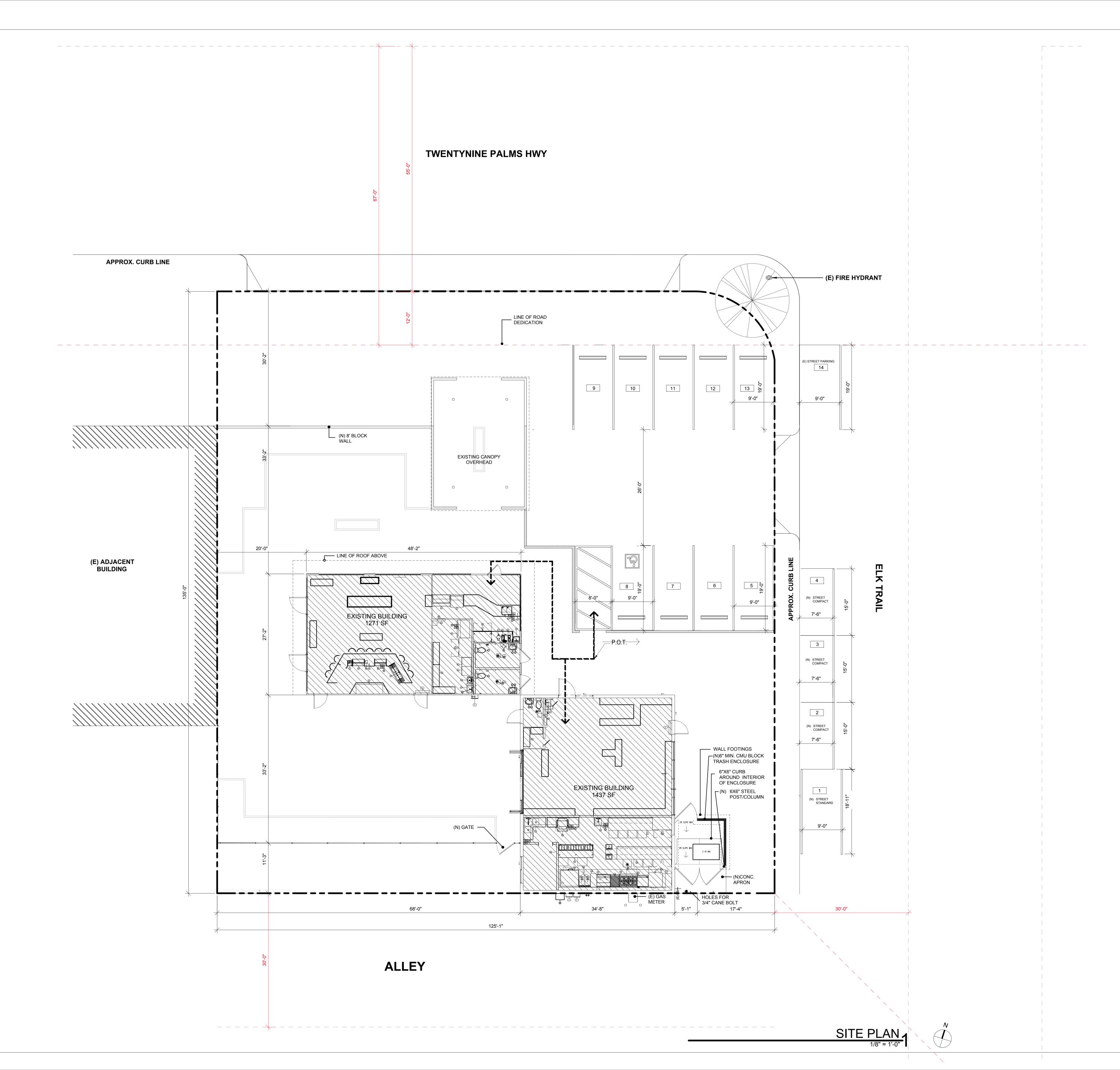
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JOSHUA TREE REPORT

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A.3.1



PROJECT

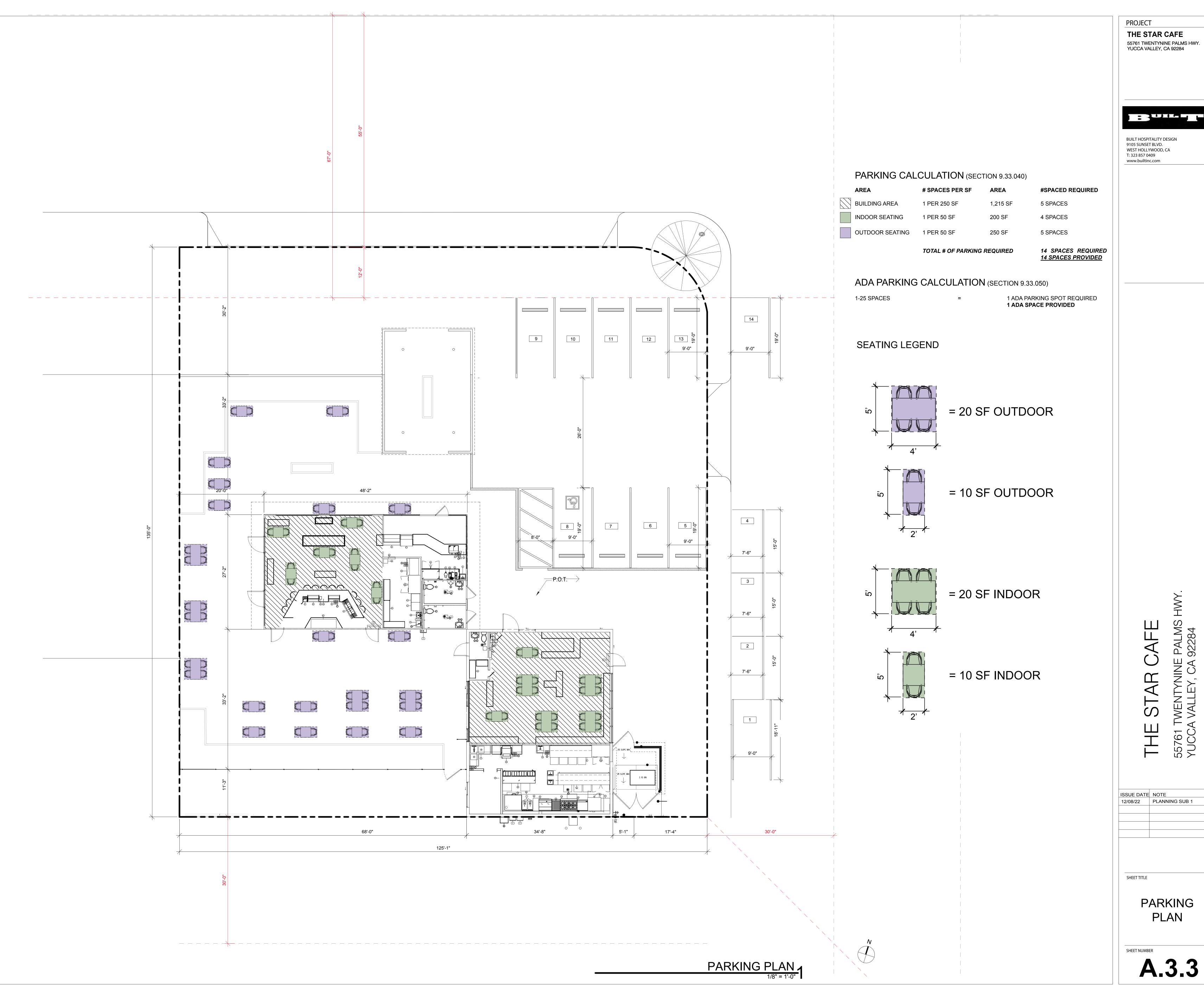
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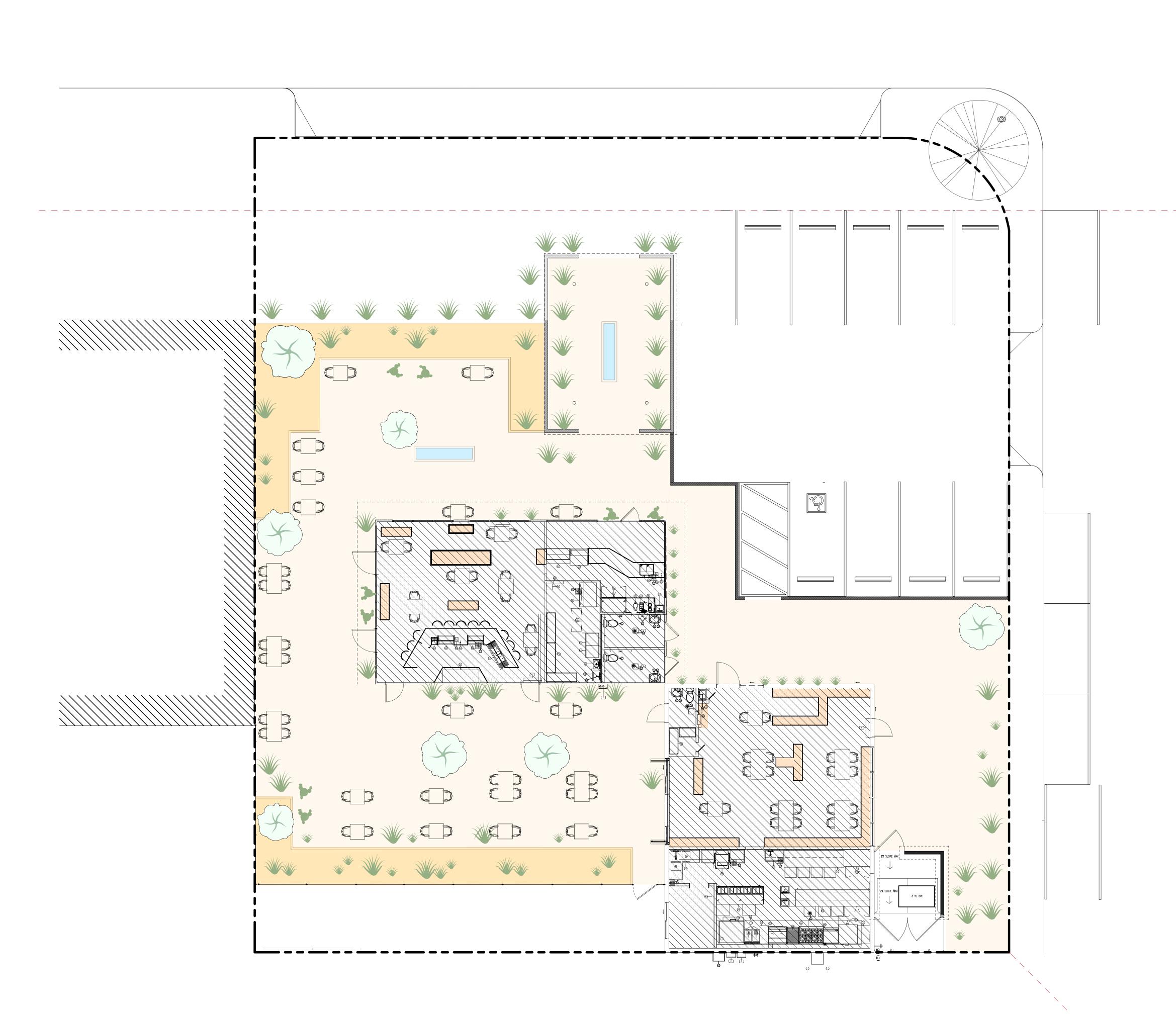
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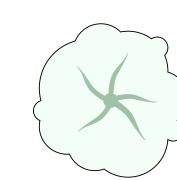
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SITE PLAN





LEGEND



36îBOX **DESERT WILLOW**

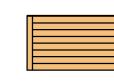




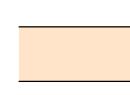
5 GALLON **MEXICAN GRASS**



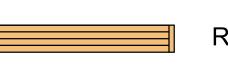
5 GALLON PADDLE CACTUS



BENCH



RETAIL DISPLAY



RETAIL SHELF



WATER FEATURE



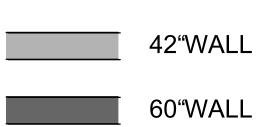
DECOMPOSED GRANITE



1/4"DESERT GOLD GRAVEL



30"WALL



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LANDSCAPING PLAN

LANDSCAPING PLAN

1/8" = 1'-0"

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EFFECTIVE MEANS OF DUST CONTROL WHICH SHALL INCLUDE PROVISIONS FOR ADEQUATE WATERING DURING THE GRADING PROCESS AND PROVISIONS FOR CONTINUANCE OF DUST CONTROL UNTIL THE GRADE SURFACE PRESENTS SUFFICIENT COVER AGAINST WIND OR WATER EROSION THAT SPECIAL DUST CONTROL MEASURES ARE NO LONGER NECESSARY.

3. CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED BY THE TOWN OF YUCCA VALLEY DEVELOPMENT CODE.

4. ALL GRADING SHALL COMPLY WITH APPENDIX CHAPTER 33 OF THE CALIFORNIA BUILDING CODE, LATEST EDITION.

5. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY SUBJECT TO THE PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 TWO WORKING DAYS PRIOR TO ANY EXCAVATION.

6. DIMENSIONING TO CURBS SHALL BE TO FACE OF CURB.

7. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE AT A LEGALLY

APPROVED DISPOSAL SITE.

8. CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITY FACILITIES AND SHOW LIMITS OF REMOVALS OF THE RECORD DRAWING.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPLACEMENT OR RELOCATION OF ALL REGULATORY, WARNING AND GUIDE SIGNS.

10. THE ASPHALT DESIGN MUST MEET THE CALTRANS STANDARD SPECIFICATIONS, 2015, SECTION 39, FOR TYPE B ASPHALT, 3/4" MAXIMUM MEDIUM AND 1/2" MAXIMUM MEDIUM THE OIL SHALL BE PG 70-10.

11. THE AGGREGATE BASE SHALL BE CLASS II, FOR 3/4" MAXIMUM ACCORDING TO THE

STATE OF CALIFORNIA STANDARD SPECIFICATIONS, SECTION 26, DATED 2015.

12. A 'RECORD DRAWING' (FORMERLY CALLED "AS—BUILT" DRAWING) OF THIS PLAN MUST
BE SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER BY THE PROJECT ENGINEER
OF RECORD PRIOR TO ACCEPTANCE OF THE PROJECT.

13. CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY TOWN STANDARDS OR AS DIRECTED BY THE TOWN ENGINEER AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE IN ACCORDANCE WITH STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES" DATE 1991, OR SUBSEQUENT EDITIONS IN FORCE AT THE TIME OF CONSTRUCTION.

14. THE FLOW LINES OF ALL CURB AND GUTTERS AND CROSS GUTTERS SHALL BE WATER TESTED BEFORE ACCEPTANCE OF THE PROJECT.

15. PARKING STALLS SHALL BE CLEARLY DELINEATED WITH A 4 TO 6 INCH STRIPE "HAIRPIN" OR ELONGATED "U" DESIGN OR OTHER APPROVED STRIPING OR STALL DELINEATION.

16. FINAL SITE GRADING AND DRAINAGE FLOW LINES SHALL BE CERTIFIED, IN WRITING, BY THE ENGINEER OF RECORD TO BE IN CONFORMANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL INSPECTION.

17. NPDES PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT FOR PARCELS 1 ACRES OR GREATER.

18. THE LOCATION OF BLOCK WALLS, RETAINING WALLS, AND OTHER STRUCTURES SHALL BE CLEARLY DEFINED ON THE PLANS CONSTRUCTION AND STRUCTURAL DETAILS SHALL NOT BE SHOWN ON THE GRADING PLAN.

19. ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY SLADDEN ENGINEERING DATED NOV 20, 2018 SHALL BE COMPLIED WITH.

20. THIS PLAN IS FOR GRADING PURPOSES ONLY APPROVAL DOES NOT CONSTITUTE APPROVAL OF BUILDING LOCATIONS, OFF—SITE DRAINAGE FACILITIES, DRIVEWAY LOCATIONS OR SIZES, PARKING LOT LAYOUT, ETC OR OTHER ITEMS NOT RELATED TO BASIC GRADING OPERATIONS NO STRUCTURAL CALCULATIONS HAVE BEEN MAD FOR ANY STRUCTURES ON THIS PLAN DURING PLAN CHECK, THEREFORE, THE PLAN CHECK ENGINEER TAKES NO RESPONSIBILITY FOR THE INTEGRITY OF SUCH STRUCTURES.

21. UPON ISSUANCE OF GRADING PERMIT BY THE TOWN OF YUCCA VALLEY ALL GRADING SHALL BE UNDERTAKEN AND COMPLETED IN COMPLIANCE WITH TOWN OF YUCCA VALLEY ORDINANCE NO 133, IN PARTICULAR, SECTION 4, 4 APPENDIX, VOLUME 1, CHAPTER 33, EXCAVATION AND GRADING, A SECTION 3309 3 GRADING DESIGNATION, B SECTION 3316, EROSION CONTROL AND 5, SECTION 3320 ENGINEERING REPORTS AND THE PROJECT ENGINEER OF RECORD SHALL CERTIFY THAT ALL GRADING COMPLIES WITH SAID ORDINANCE PRIOR TO ACCEPTANCE OF ISSUANCE OF ANY PERMITS BY THE TOWN OF YUCCA VALLEY

22. THESE PLANS SHALL EXPIRE OF CONSTRUCTION HAS NOT STARTED WITHIN TWELVE (12) MONTHS FROM THE DATE OF APPROVAL BY THE TOWN.

CONSTRUCTION NOTES

1) PROTECT EXISITNG DRIVEWAY APPROACH
2) INSTALL 6' WHEEL STOP

3 CONSTRUCT ADA ACCESS PATH OF TRAVEL PER CITY STANDARDS.
IF ADA SLOPES MORE THAN 5% RUNNING SLOPE OR MORE THAN
2% CROSS SLOPE, CONTRACTOR IS RESPONSIBLE TO REMOVE
EXISTING SURFACE TO MAINTAIN SLOPES ARE LESS THAN
ALLOWED.

4 REMOVE ALL WEEDS AND DEBRIS FROM CRACKS IN ASPHALT PAVEMENT. REPAIR EXISTING ASPHALT CRACKS WITH PG 64-16.

(5) IN H.C. AREA COLD MILL 2" OF EXISTING ASPHALT PAVEMENT RESURFACE WITH TYPE III CLASS B3 ASPHALT. MAX SLOPE 2%

(6) WATER FEATURE

7) REMOVE EXISTING FENCE AND GATE

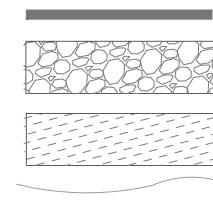
(8) PROPOSED WALL HIEGTH PER LANDSCAPING PLAN

PROPOSTED TRASH ENCLOSURE PER DETAIL ON THE LANDSCAPING PLANS

 PROPOSTED TRASH ENCLOSURE PER DETAIL ON THE LANDSCAPING PLANS

10 REMOVE EXISTING WALL
11) PROPOSED FENCE

LEGEND



EX. BUILDING

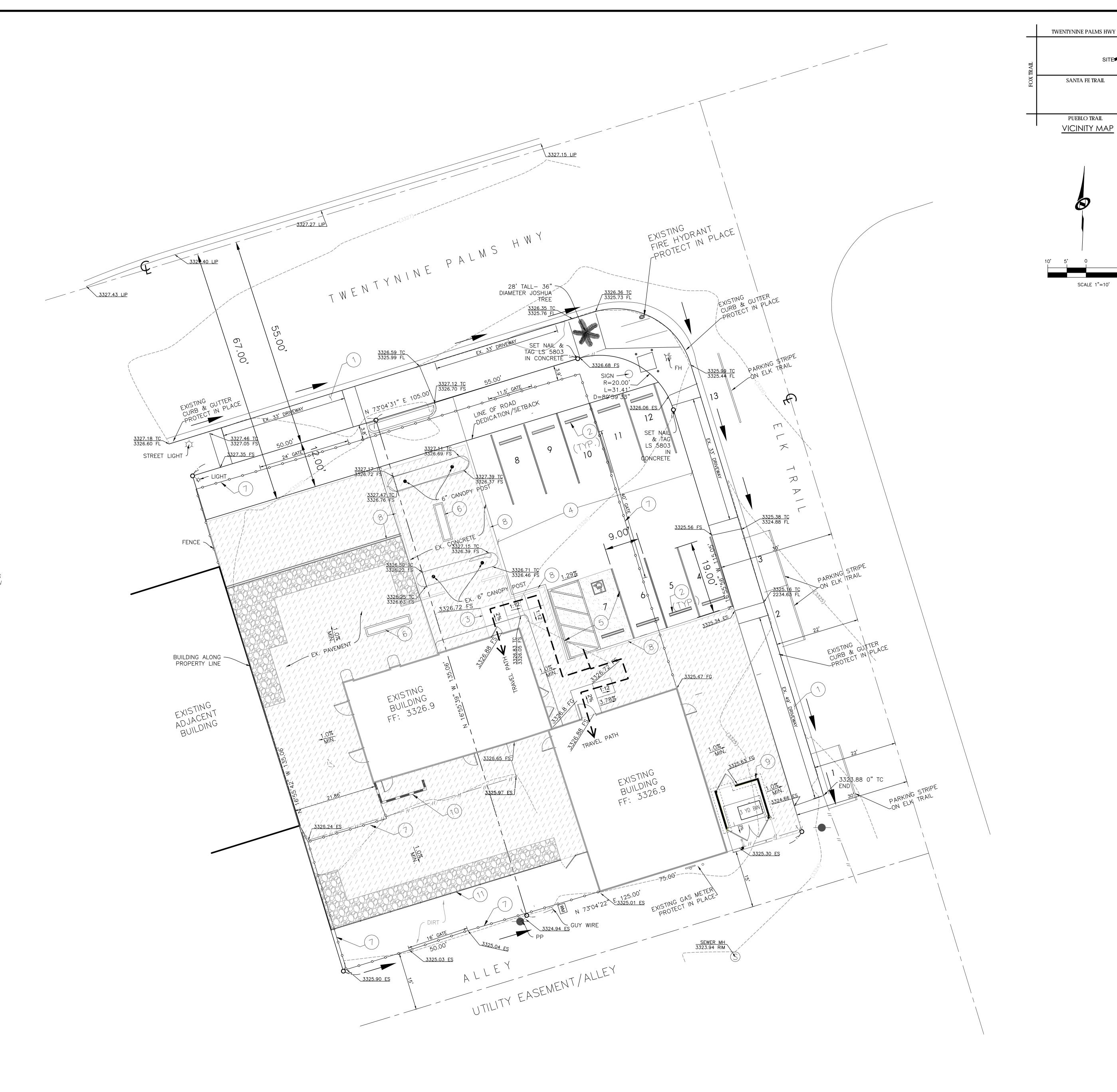
REMOVE EXISTING SURFACE AND INSTALL 1/4" DESERT GOLD GRANIT

REMOVE EXISTING SURFACE AND INSTALL D.G.

EXIST CONTOUR LINE

—— DRAINAGE DIRECTIONS

EX. EDGE OF PAVEMENT



PROJECT

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YUCCA VALLEY, CA 92284

MONICA BLVD STE 63454



CHECKED BY: JSS

DRAWN BY: WF

DRAWN BY:

INARY GRADING PLA
THE STAR CAFE

TWENTYNINE PALMS HWY.

UE DATE NOTE

SHEET TITLE

PRE GRADING PLAN

SHEET NUMBER

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PROJECT

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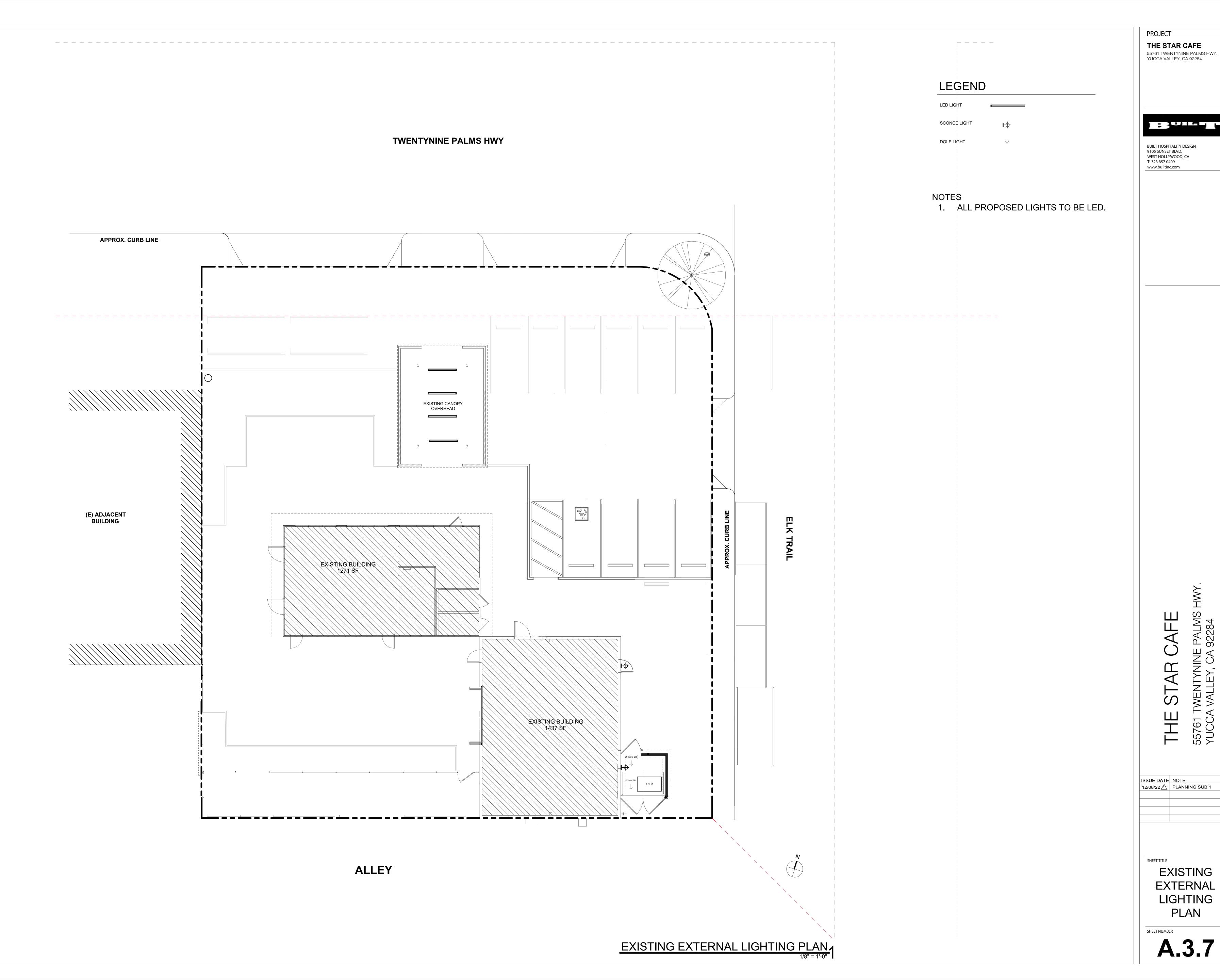
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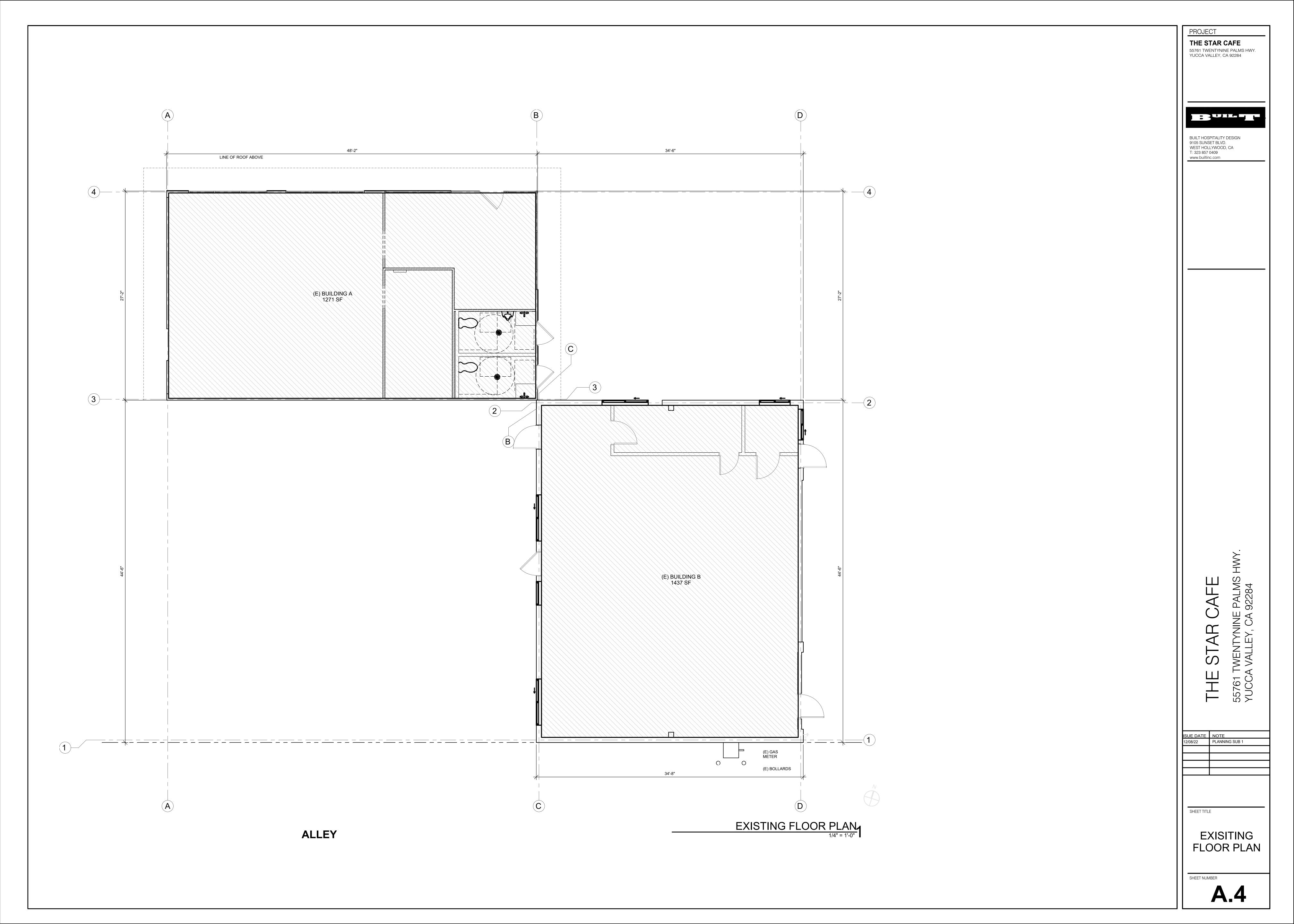
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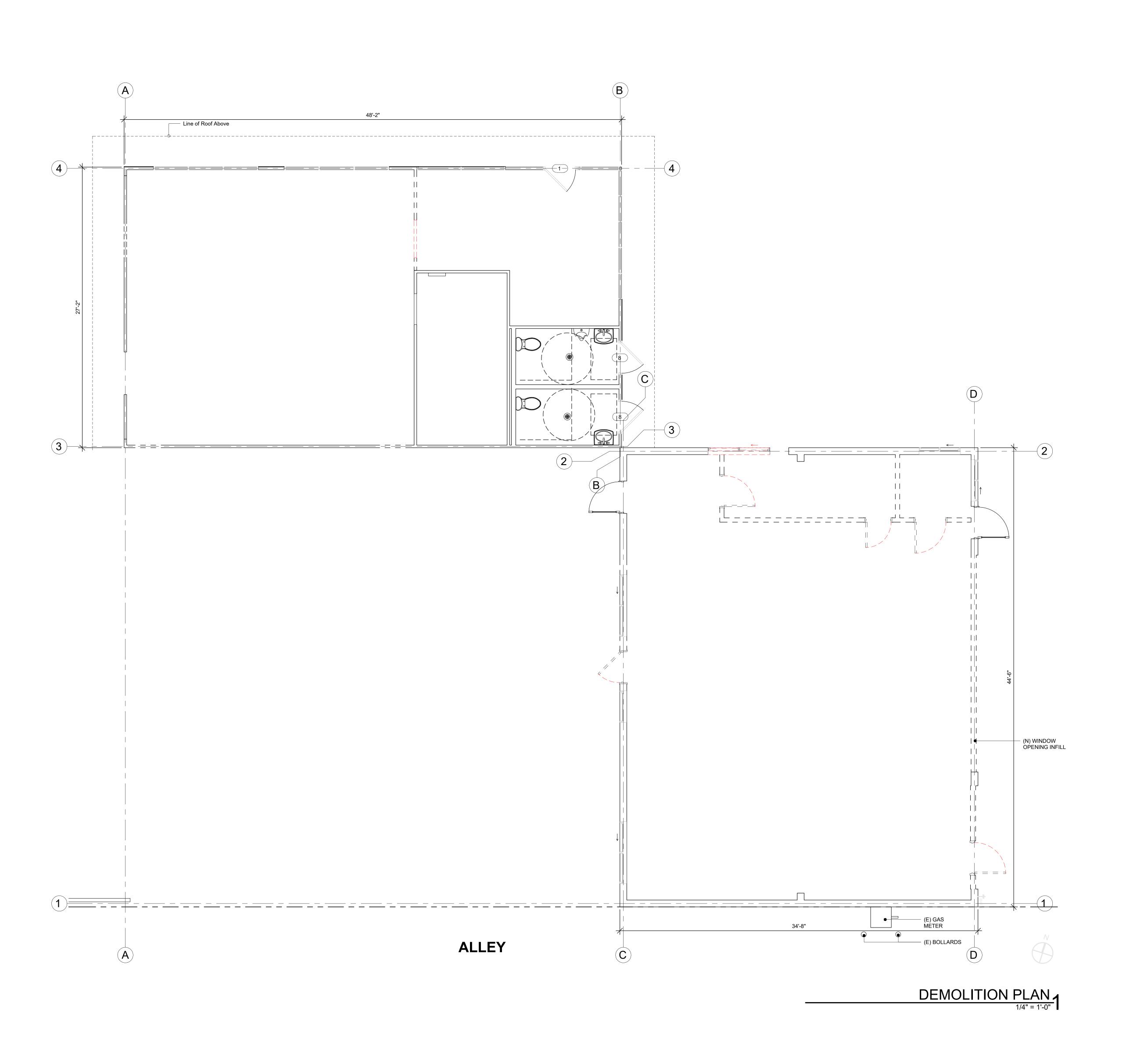
UTILITY PLAN

SHEET NUMBE

A.3.6







EGEND

EXISTING WALL

DEMO WALL

DEMOLITION NOTE

- ANY DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS SET BY THE 2019 CALIFORNIA BUILDING CODE, AND WITH THE RULES AND REGULATIONS OF ALL LOCAL AGENCIES, DEPARTMENTS OR LAWS HAVING JURISDICTION OVER ANY PORTION OR SPECIFIC PHASE OF THE WORK, INCLUDING BUT
- NOT LIMITED TO OSHA, ANSI, NFPA, ETC.

 2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE AND HELD LIABLE FOR COMPLIANCE WITH ALL PUBLIC AND PROPERTY SAFETY PROCEDURES DURING AND AFTER THE DEMOLITION WORK COVERED BY THE APPLICATION, AS DIRECTED BY THE LOCAL AGENCIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAY ALL FEES AS PART OF THE DEMOLITION WORK REQUIRED FOR THIS PROJECT.
- 4. THE GENERAL CONTRACTOR TO COORDINATE AND PAY FOR ALL UTILITIES SHUTDOWNS AT PRE-CONSTRUCTION.
- 5. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AFFECTING THE DEMOLITION AND NOTIFY THE DESIGNER AND TENANT OF ANY DISCREPANCIES ON THE DRAWINGS WHICH WOULD AFFECT THE WORK.
- THE GENERAL CONTRACTOR SHALL PROTECT AND PERSERVE ALL EXISTING ITEMS AND SHALL REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF WORK TO THE SATISFACTION OF THE LANDLORD AND/OR DESIGNER AT NO ADDITIONAL COST.
 WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ALL TRIMS,
- DOORS, FRAMES, WALL OUTLETS, SWITCHES, SURFACE MOUNTED FIXTURES.

 8. ALL COMBUSTIBLE MATERIALS AND DEBRIS SHALL BE REMOVED PRIOR TO ANY DEMOLITION WORK.
- 9. ALL DEMOLITION DEBRIS SHALL BE REMOVED AT LEAST ONCE PER DAY TO MAINTAIN SAFE WORK CONDITIONS. VERIFY METHOD AND LOCATION OR REMOVAL WITH THE LANDLORD PRIOR TO BEGINNING THE WORK. ALL EXISTING MATERIAL AND EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE LANDLORD AND BE GIVEN TO THE LANDLORD, OR DISPOSED OF AS DIRECTED BY THE LANDLORD.
- PROVIDE TEMPORARY LIGHTING AND ELECTRICAL SERVICE IN THE WORK AREA AS REQUIRED TO COMPLETE THE WORK.
 THE GENERAL CONTRACTOR SHALL REMOVE ANY EXISTING OR NEWLY ABANDONED MATERIALS, EQUIPMENT, PIPING, DUCTS, AND WIRING FROM THE PREMISES. THE GC
- SHALL CAP SERVICE AT POINT OF ORIGIN AND COORDINATE THIS WORK WITH THE LANDLORD'S OR REPRESENTATIVE.

 12. THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION WASTE MANAGEMENT PLAN REDUCING WASTE AT LEAST 50%.

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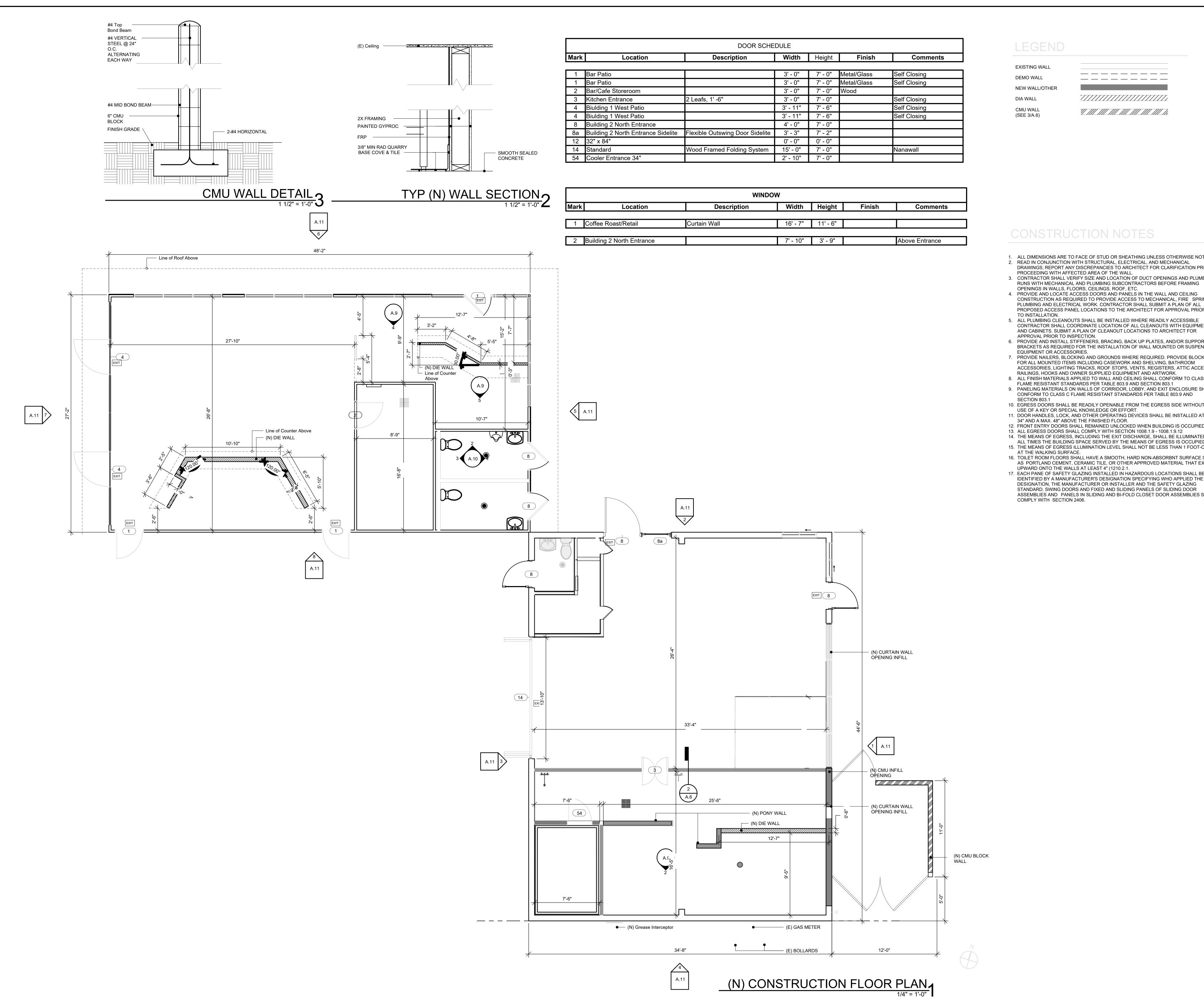
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12/08/22 PLANNING SUB 1

SHEET TITLE

DEMOLITION PLAN

CUEET NI IMPED



LEGEND

EXISTING WALL DEMO WALL

______ _____

NEW WALL/OTHER DIA WALL

- 1. ALL DIMENSIONS ARE TO FACE OF STUD OR SHEATHING UNLESS OTHERWISE NOTED. 2. READ IN CONJUNCTION WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS; REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH AFFECTED AREA OF THE WALL. 3. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING
- OPENINGS IN WALLS, FLOORS, CEILINGS, ROOF, ETC. 4. PROVIDE AND LOCATE ACCESS DOORS AND PANELS IN THE WALL AND CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO THE ARCHITECT FOR APPROVAL PRIOR
- TO INSTALLATION. 5. ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE CONTRACTOR SHALL COORDINATE LOCATION OF ALL CLEANOUTS WITH EQUIPMENT AND CABINETS. SUBMIT A PLAN OF CLEANOUT LOCATIONS TO ARCHITECT FOR
- APPROVAL PRIOR TO INSPECTION. 6. PROVIDE AND INSTALL STIFFENERS, BRACING, BACK UP PLATES, AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED
- EQUIPMENT OR ACCESSORIES. 7. PROVIDE NAILERS, BLOCKING AND GROUNDS WHERE REQUIRED. PROVIDE BLOCKING
- FOR ALL MOUNTED ITEMS INCLUDING CASEWORK AND SHELVING, BATHROOM ACCESSORIES, LIGHTING TRACKS, ROOF STOPS, VENTS, REGISTERS, ATTIC ACCESS, RAILINGS, HOOKS AND OWNER SUPPLIED EQUIPMENT AND ARTWORK.
- 8. ALL FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL CONFORM TO CLASS C FLAME RESISTANT STANDARDS PER TABLE 803.9 AND SECTION 803.1 9. PANELING MATERIALS ON WALLS OF CORRIDOR, LOBBY, AND EXIT ENCLOSURE SHALL
- CONFORM TO CLASS C FLAME RESISTANT STANDARDS PER TABLE 803.9 AND SECTION 803.1
- 10. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- 11. DOOR HANDLES, LOCK, AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. 12. FRONT ENTRY DOORS SHALL REMAINED UNLOCKED WHEN BUILDING IS OCCUPIED.
- 13. ALL EGRESS DOORS SHALL COMPLY WITH SECTION 1008.1.9 1008.1.9.12 14. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT
- ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. 15. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE
- AT THE WALKING SURFACE. 16. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBNT SURFACE SUCH
- AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4" (1210.2.1. 17. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE
- IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. SWING DOORS AND FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES SHALL COMPLY WITH SECTION 2406.

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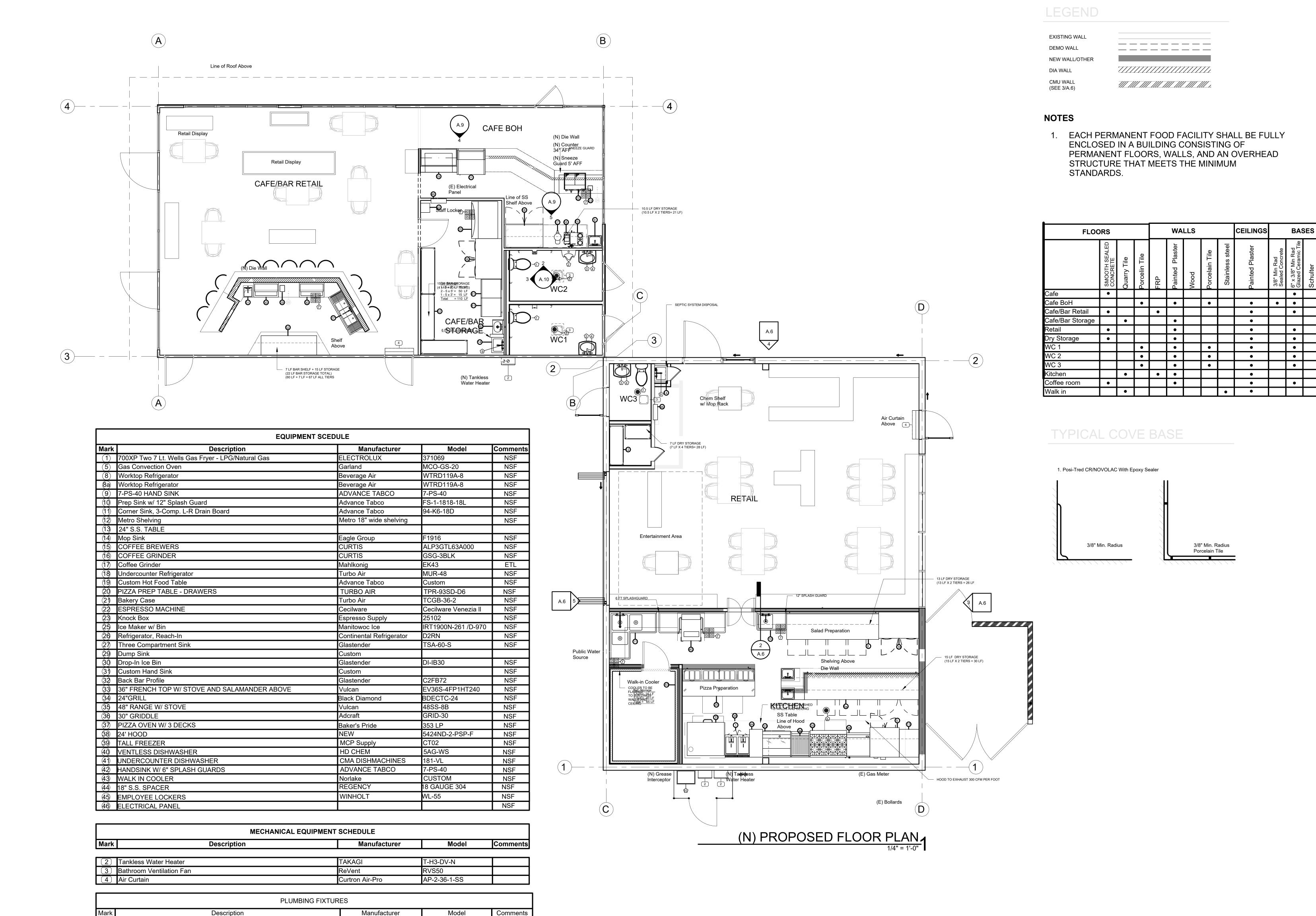
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PLANNING SUB 1

CONSTRUCTION FLOOR PLAN



(1) Comfort Height one-piece elongated 1.28 gpf toilet

(4) Widespread bathroom sink faucet

(5) Floor Drain

(8) Face Mount Faucet

(10) Grease Interceptor

(9) Mop Sink Service Faucet

(7) Floor Sink

(3) Pinoir Wall-mount bathroom sink with 8in widespread faucet holes

KOHLER Co.

KOHLER Co.

KOHLER Co.

Advance Tabco

Advance Tabco

Kohler

WATTS

ENDURA

K-3946-RA

2035-8-0

FS-742

K-101

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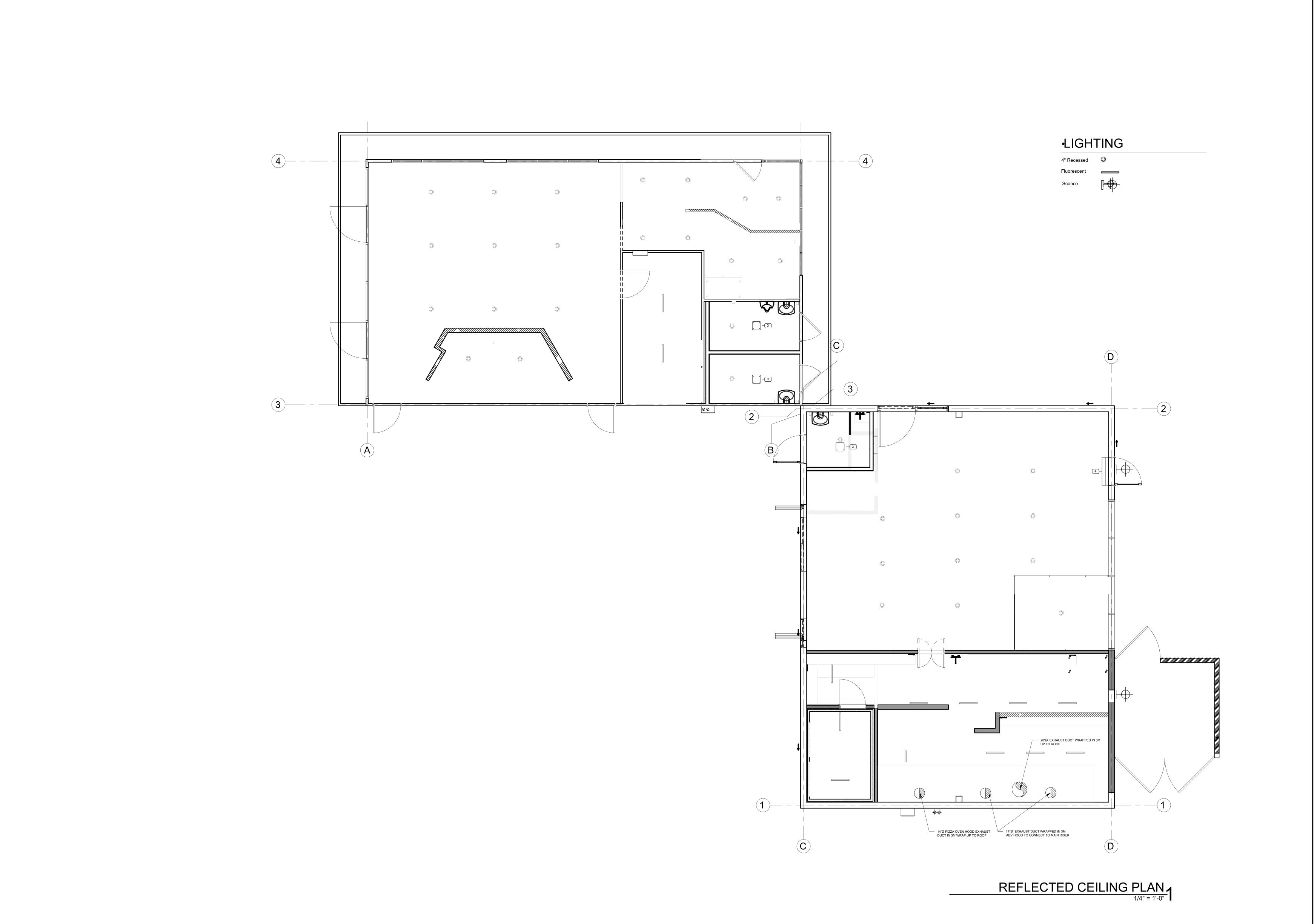
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PROPOSED FLOOR PLAN

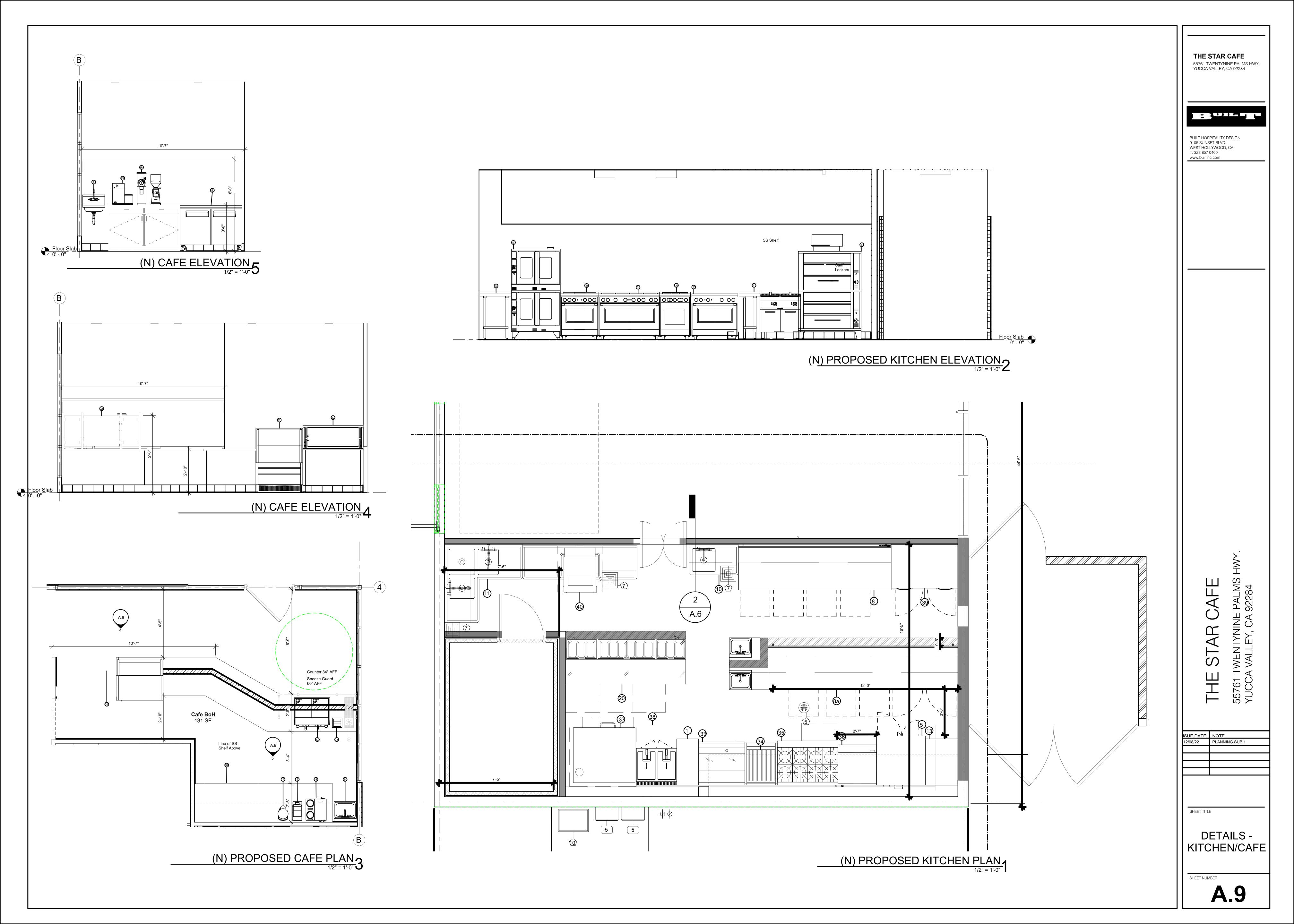
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TYPICAL COVE BASE

1. Posi-Tred CR/NOVOLAC With Epoxy Sealer —— 3/8" Min. Radius Porcelain Tile 1111111111

HEALTH DEPARTMENT NOTES

- 1. COVE BASE SHALL BE MINIMUM 3/8" RADIUS AND MINIMUM 4" HIGH. 2. FLOOR SHALL BE SMOOTH, DURABLE, EASY TO CLEAN AND NON-ABSORBANT. 3. PROVIDE MINIMUM OF 50 FOOTCANDLES OF LIGHT, MEASURED 30" ABOVE THE FLOOR IN
- 4. ALL FOOD PREP AREAS, STOREROOM AND RESTROOMS. 5. ALL EXIT / ENTRANCE DOORS MUST BE RODENT PROOF, TIGHT FITTING AND
- 6. EXISTING VENTILATION RATES COMPLY WITH SECTION 403 OF 2016 CMC FOOD FACILITY IS FULLY ENCLOSED. 7. ALL WINDOWS ARE FIXED.
- 8. RESTROOM AND EXIT DOORS MUST HAVE SELF-CLOSERS, PROVIDE EXHAUST FAN
- IN TOILET OOMS INTERLOCKED WITH LIGHT SWITCH. 9. ALL ICE BINS SHALL HAVE SLIDING LIDS
- 10. ALL HAND SINKS SHALL HAVE 6" SPLASH GUARDS ON BOTH SIDES 11. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.

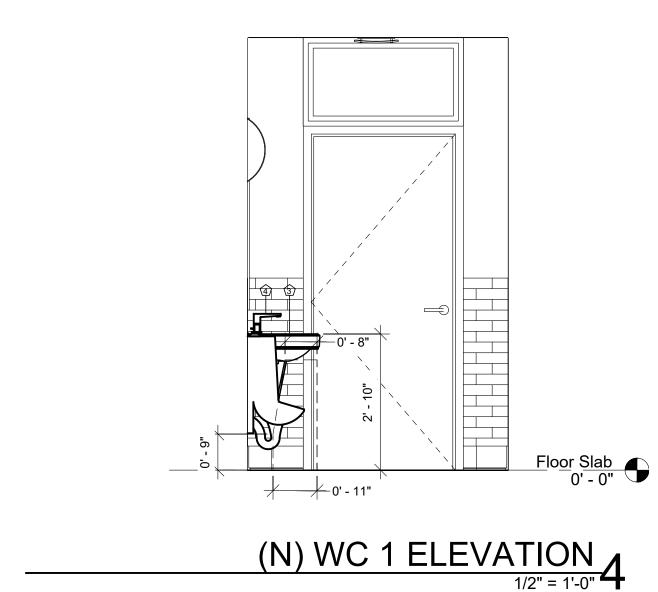
FINISH NOTES

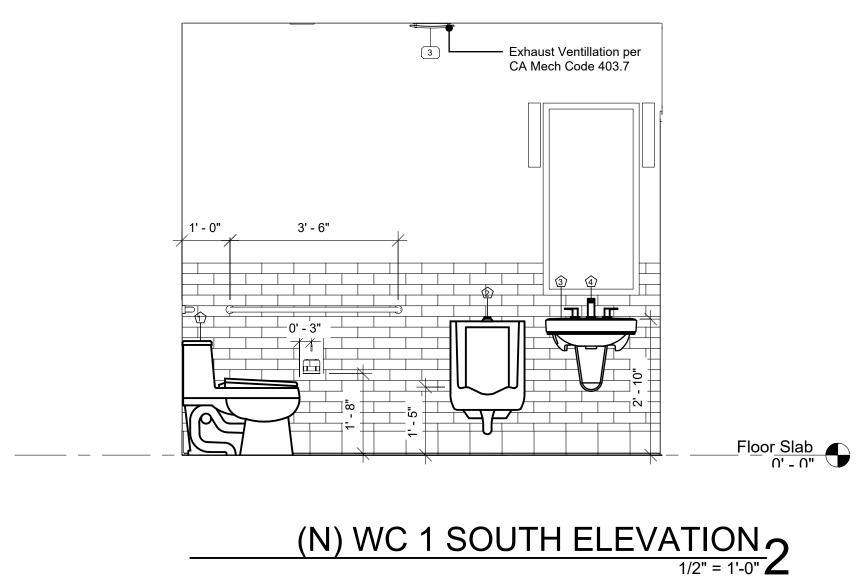
- 1. PORCELAIN TILE COVE BASE: TIME 2.0, SILVER, THROUGH BODY PORCELAIN P36C9 2. PAINT (BACK OF HOUSE): FRAZEE SEMI-GLOSS ENAMEL COLOR: WHITE WHITE 3. ALL IN FOOD AREAS TO HAVE A LIGHT REFLECTIVE VALUE OF NOT LESS THAN 70% 4. KITCHEN CEILING SHALL BE SMOOTH, CLEANABLE, DURABLE, AND NON-ABSORBENT,
- AND OF LIGHT COLOR WITH LIGHT REFLECTIVE VALUE OF 70% OR GREATER (GLOSS OR SEMI-GLOSS). 5. ALL FINISHES BEHIND ALL SINKS AND EQUIPMENT AT BARS SHALL BE MOISTURE RESISTANT 6. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.

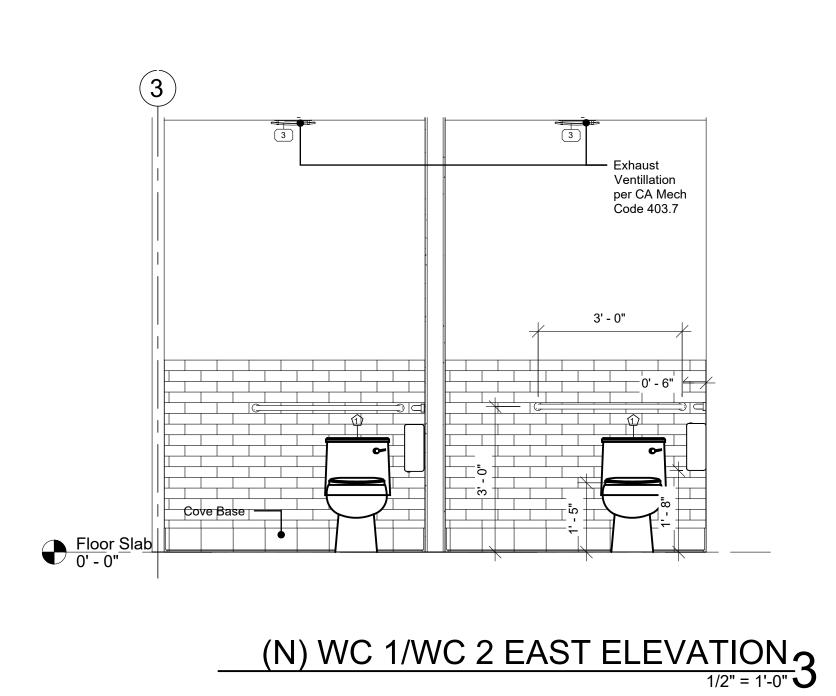
KEY PLAN CHECK ITEMS

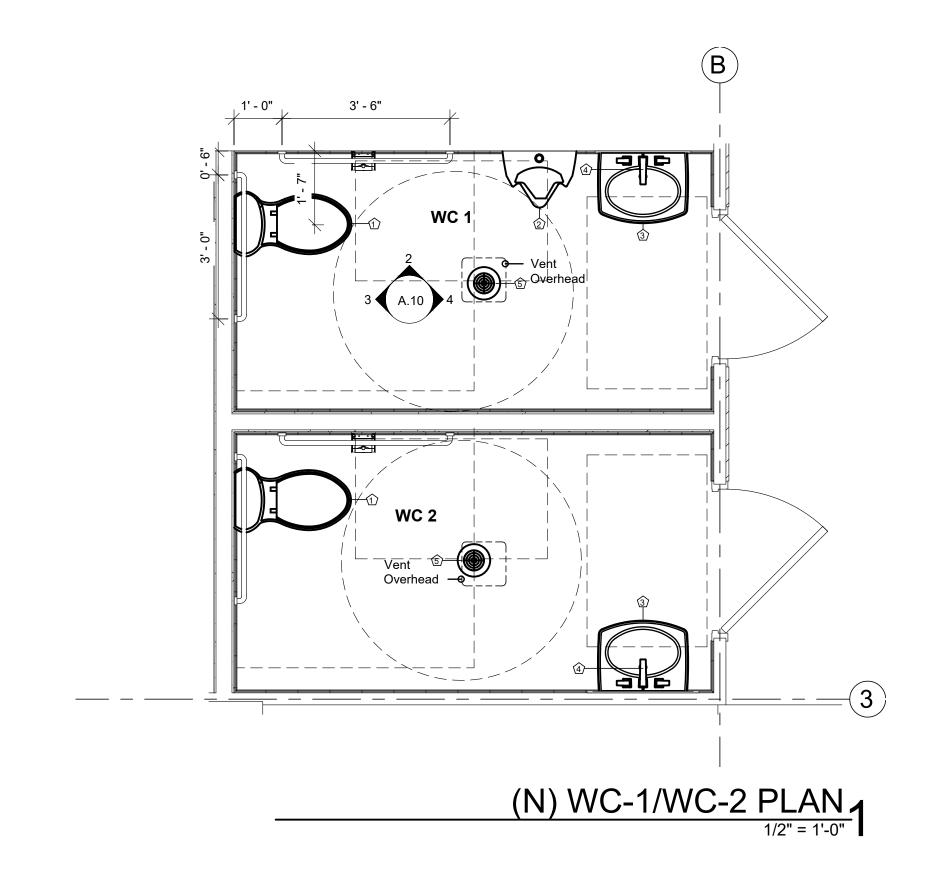
SANITIZED WITH +140 DEGREE F WATER AND CHEMICAL.

- 1. SOAP AND TOWEL DISPENSERS LOCATED AT EACH HAND SINK. 2. EXHAUST FANS FOR RESTROOMS AND DRESSING AREAS ARE PROVIDED OF THE PROPER SIZE AND QUANTITY OF AIR FLOW AND BE OPERATED BY ROOM LIGHT SWITCH. ALL SYSTEMS TO BE CAPABLE TO KEEP ALL AREAS FREE FROM EXCESSIVE HEAT, STEAM, CONDENSATION, SMOKE AND VAPORS AND TO PROVIDE TEMPERED AIR FOR A REASONABLE COMFORT FOR ALL EMPLOYEES/CUSTOMERS ON PREMISES. 3. DISHWASHING - NSF STANDARD #3 APPROVED MANUFACTURED LOW TEMP CHEMICALLY
- 4. LIGHTING REQUIREMENTS LIGHTING SHALL BE PROVIDED AT WALK INS AND DRY STORAGE AREAS WITH A MINIMUM OF 10 FOOT CANDLES OF LIGHT AT 30" AFF; AT CUSTOMER SELF SERVICE, WHERE FRESH PRODUCE/PREPACKAGED FOODS ARE OFFERED, INSIDE EQUIPMENT AREAS, HAND WASHING, WARE WASHING, EQUIPMENT, UTENSIL, AND REST ROOMS WITH A MINIMUM OF 20 FOOT CANDLES OF LIGHT AT 30" AFF; AT FOOD PREP/COOKING AREAS WHERE EMPLOYEES WORK WITH FOOD, UTENSILS, KNIVES, SLICERS, GRINDERS ETC. WITH A MINIMUM OF 50 FOOT CANDLES OF LIGHT AT 30" AFF.. ALL LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER RESISTANT IN AREAS WHERE OPEN FOOD, READY TO EAT FOODS, CLEAN EQUIPMENT AND LINENS OR UNWRAPPED SINGLE USE
- ARTICLES (CRFC-11452.1).
 5. GARBAGE AND TRASH AREA SHOWN ON PLOT PLAN SHEET









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PLANNING SUB 1

SHEET TITLE

WC1 DETAILS



PROJECT

DIAMOND AUTOMOTIVE

CAFE

55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

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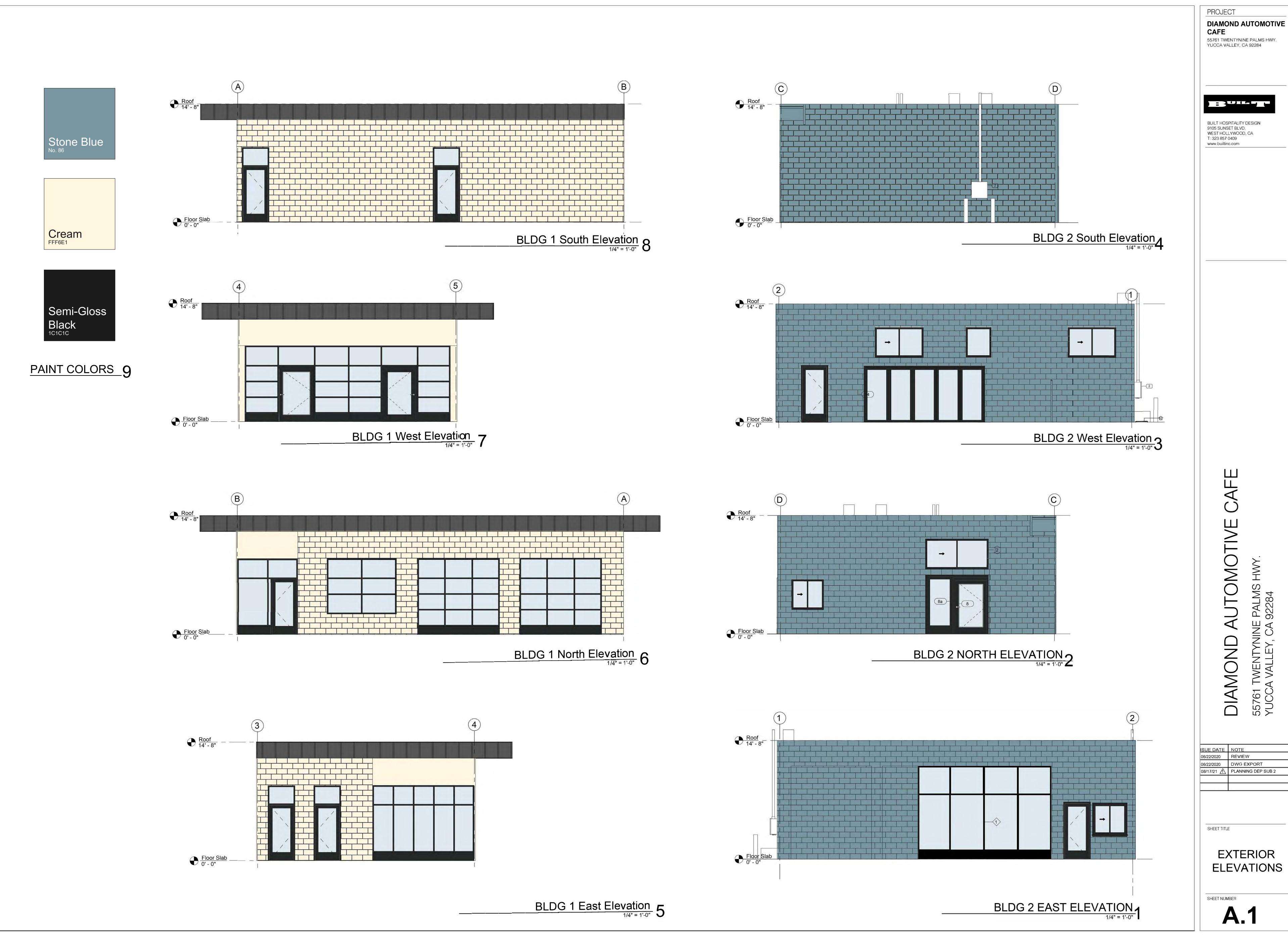
ISUE DATE NOTE
06/22/2020 REVIEW
06/22/2020 DWG EXPO

06/22/2020 DWG EXPORT
08/17/21 \(\frac{\hspace

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER



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 ISUE DATE
 NOTE

 06/22/2020
 REVIEW

 06/22/2020
 DWG EXPORT

 08/17/21 \(\frac{\(\) \\ \} \) PLANNING DEP SUB 2

EXTERIOR ELEVATIONS