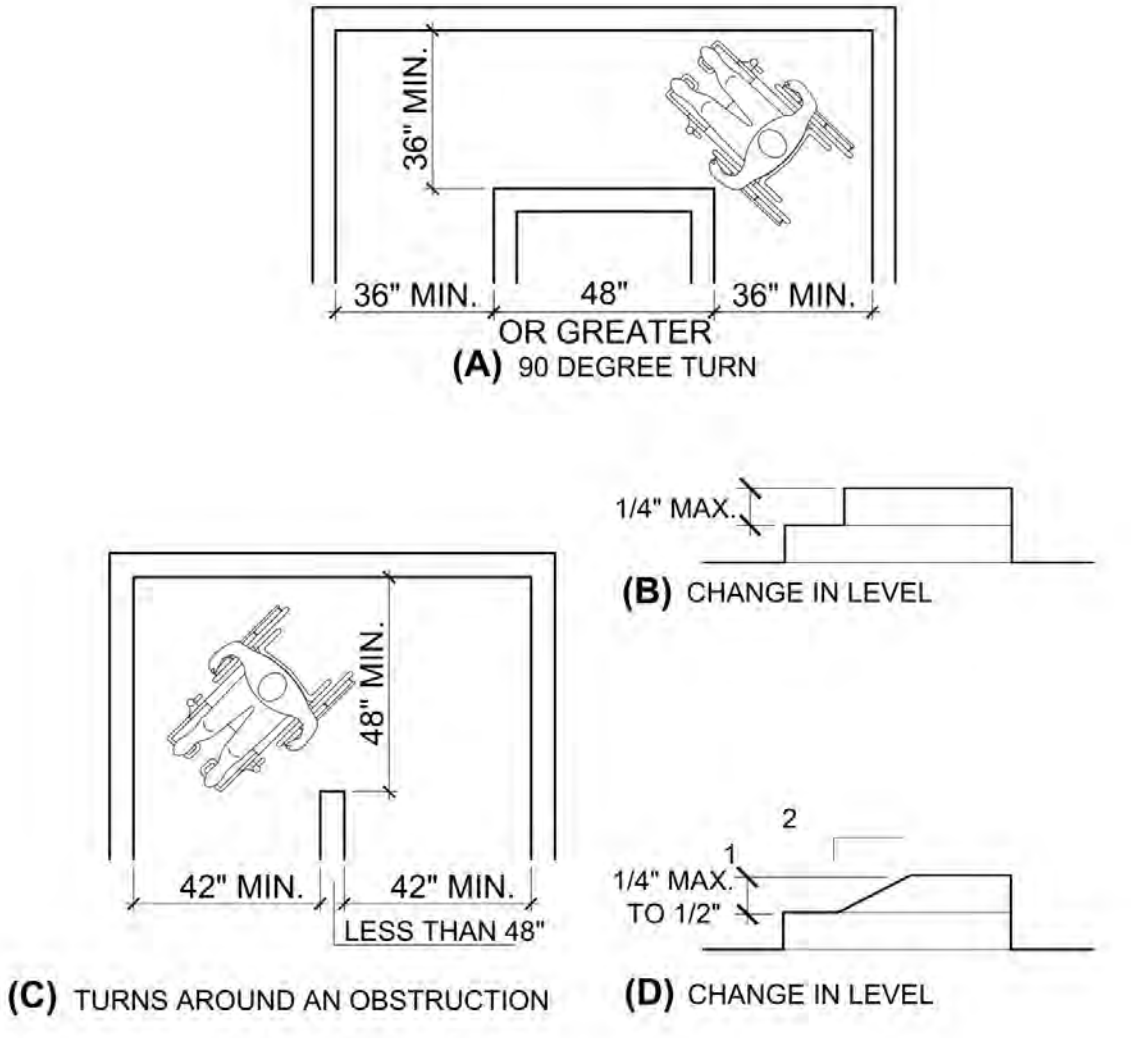
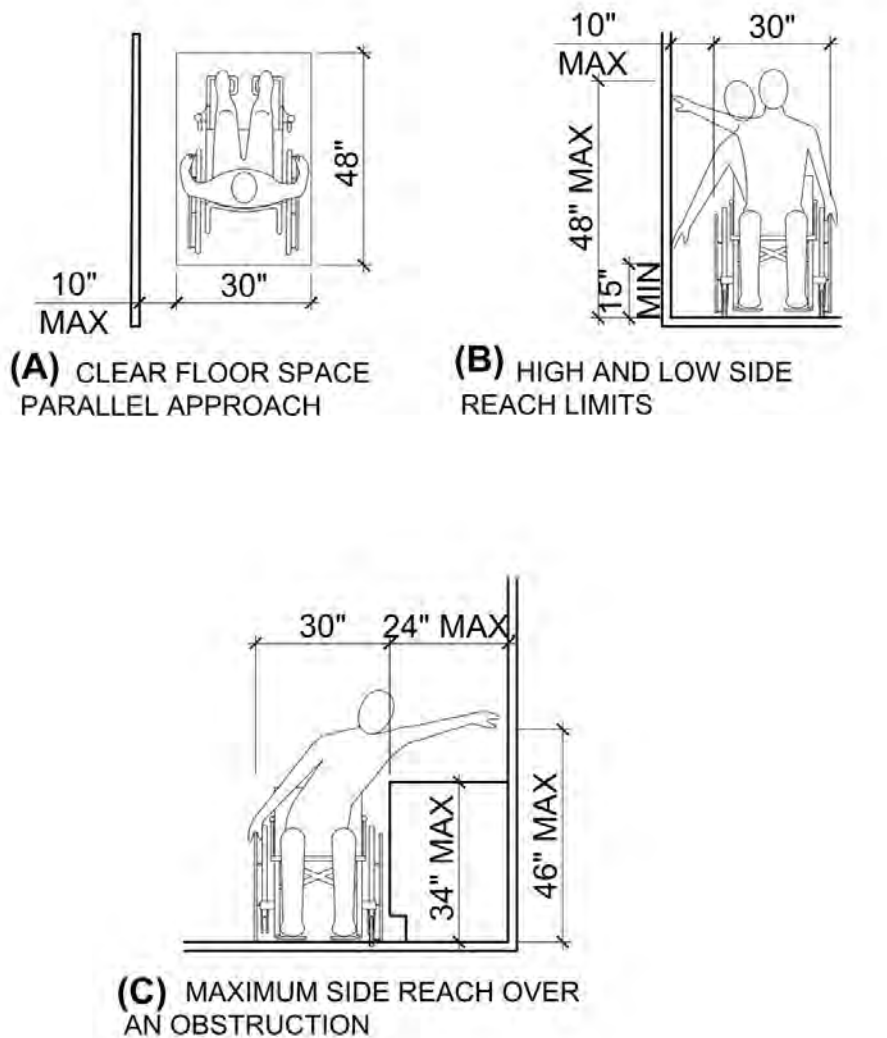


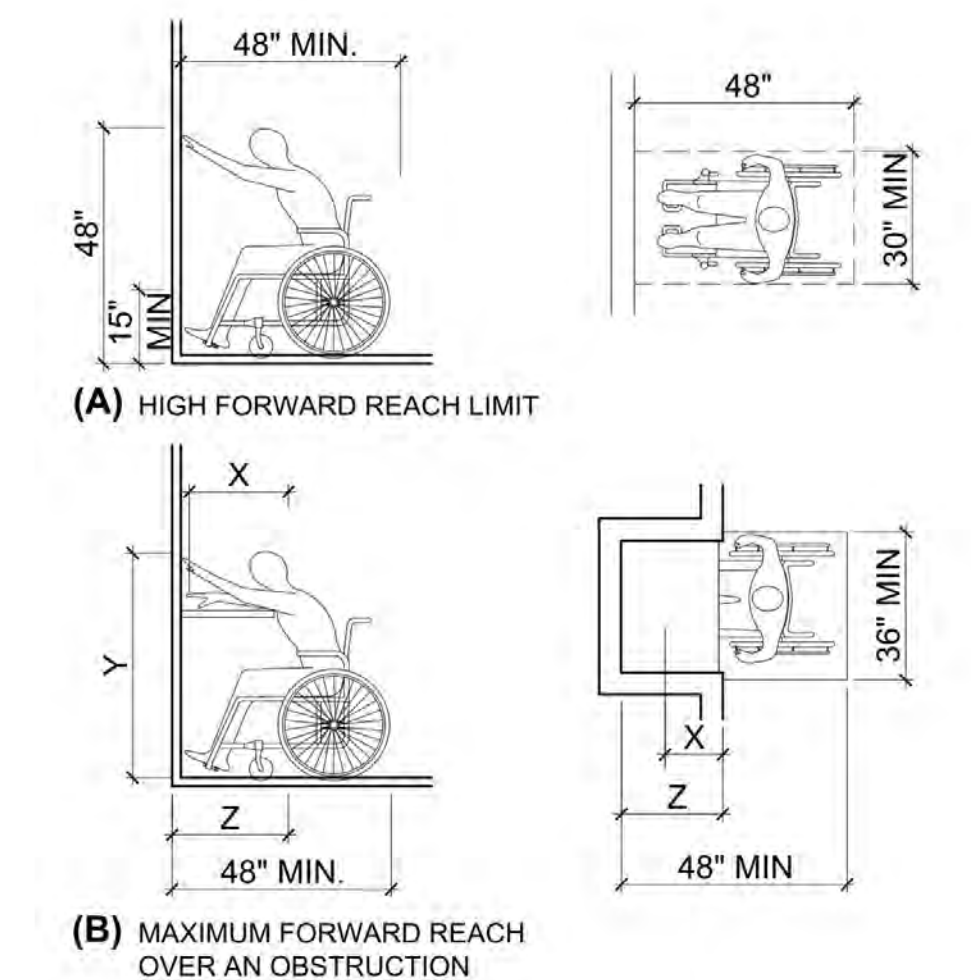
THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION



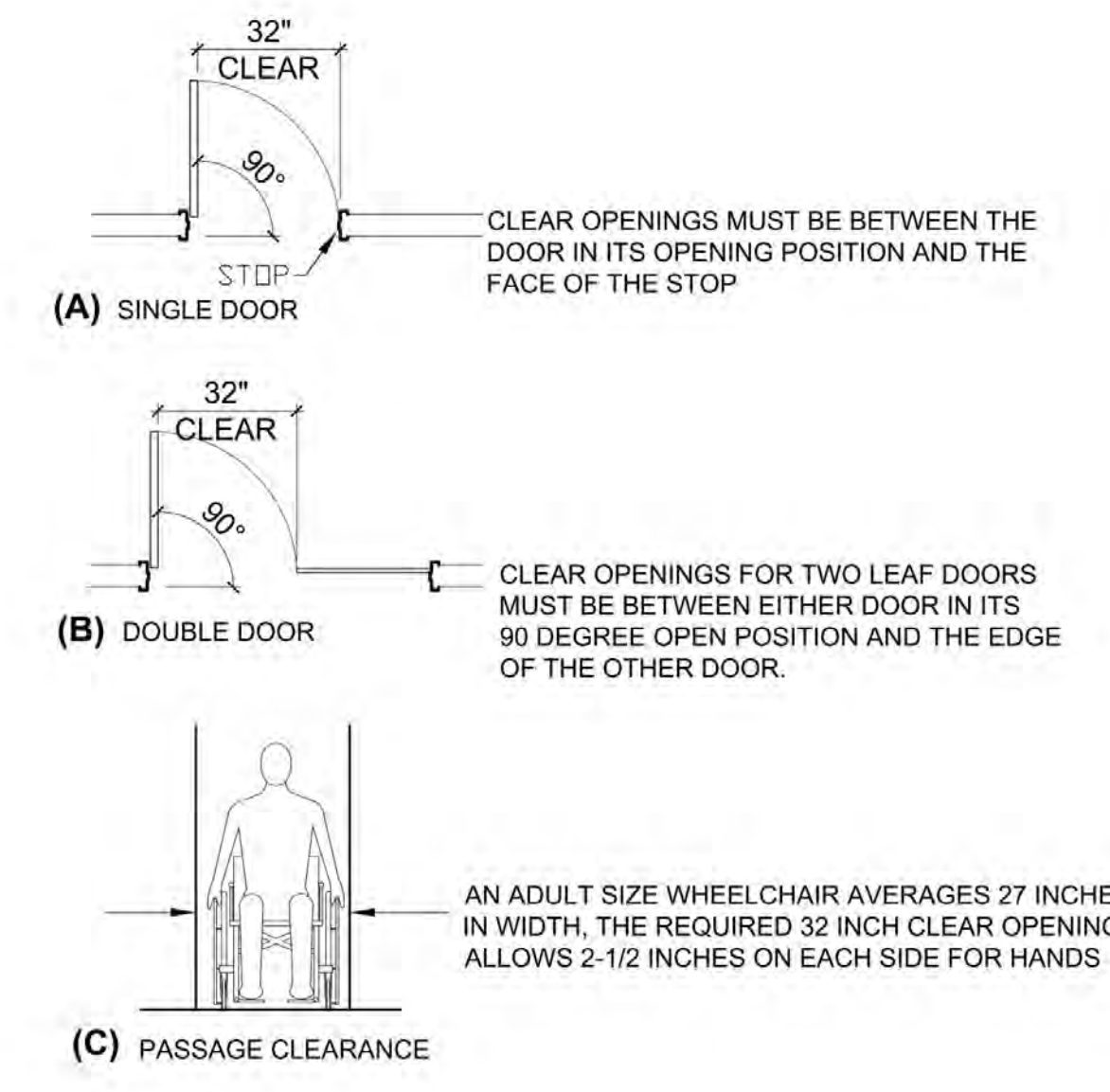
THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION



THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION



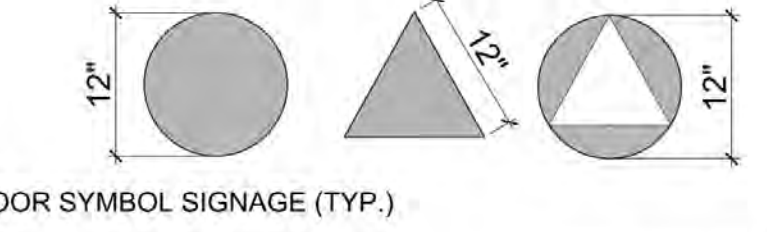
NOTE:
 X SHALL BE LESS THAN OR EQUAL TO 25 INCHES. Z SHALL BE GREATER THAN OR EQUAL TO X. WHEN X IS LESS THAN 20 INCHES, THEN Y SHALL BE 48 INCHES MAXIMUM WHEN X IS 20 TO 25 INCHES, THEN Y SHALL BE 44 INCHES MAXIMUM.



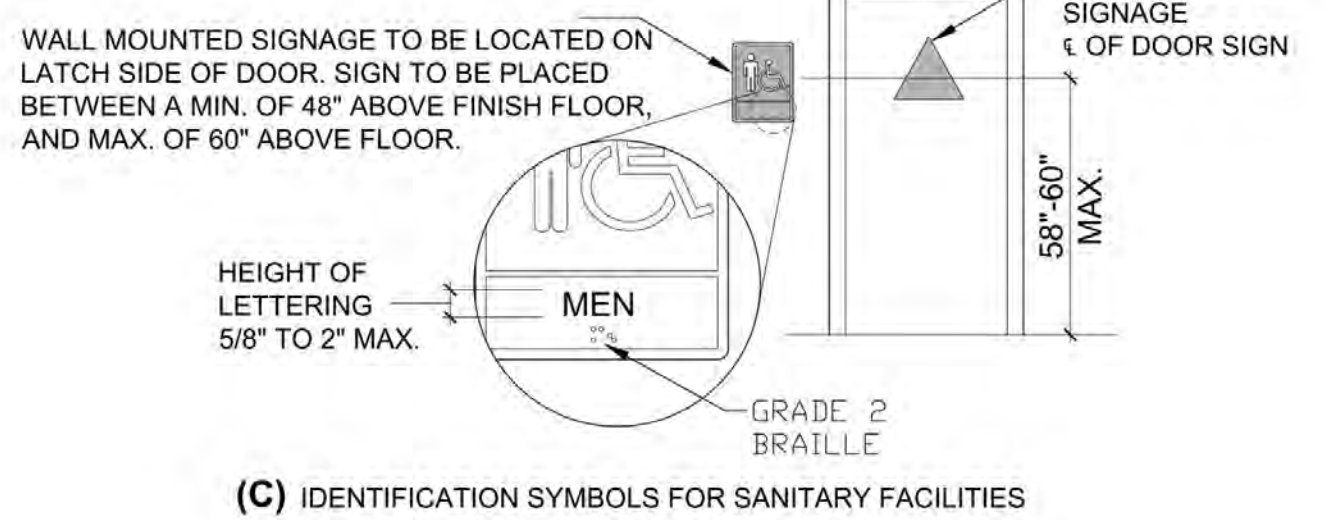
THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION



(A) WALL SIGNAGE (TYP.)

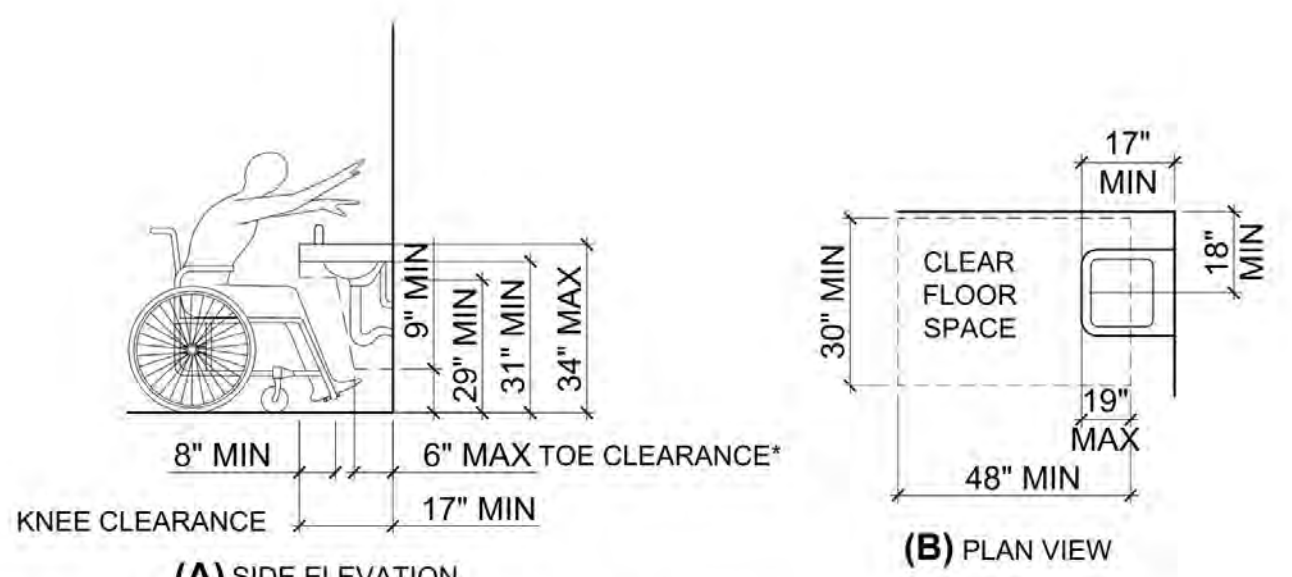


(B) DOOR SYMBOL SIGNAGE (TYP.)



(C) IDENTIFICATION SYMBOLS FOR SANITARY FACILITIES

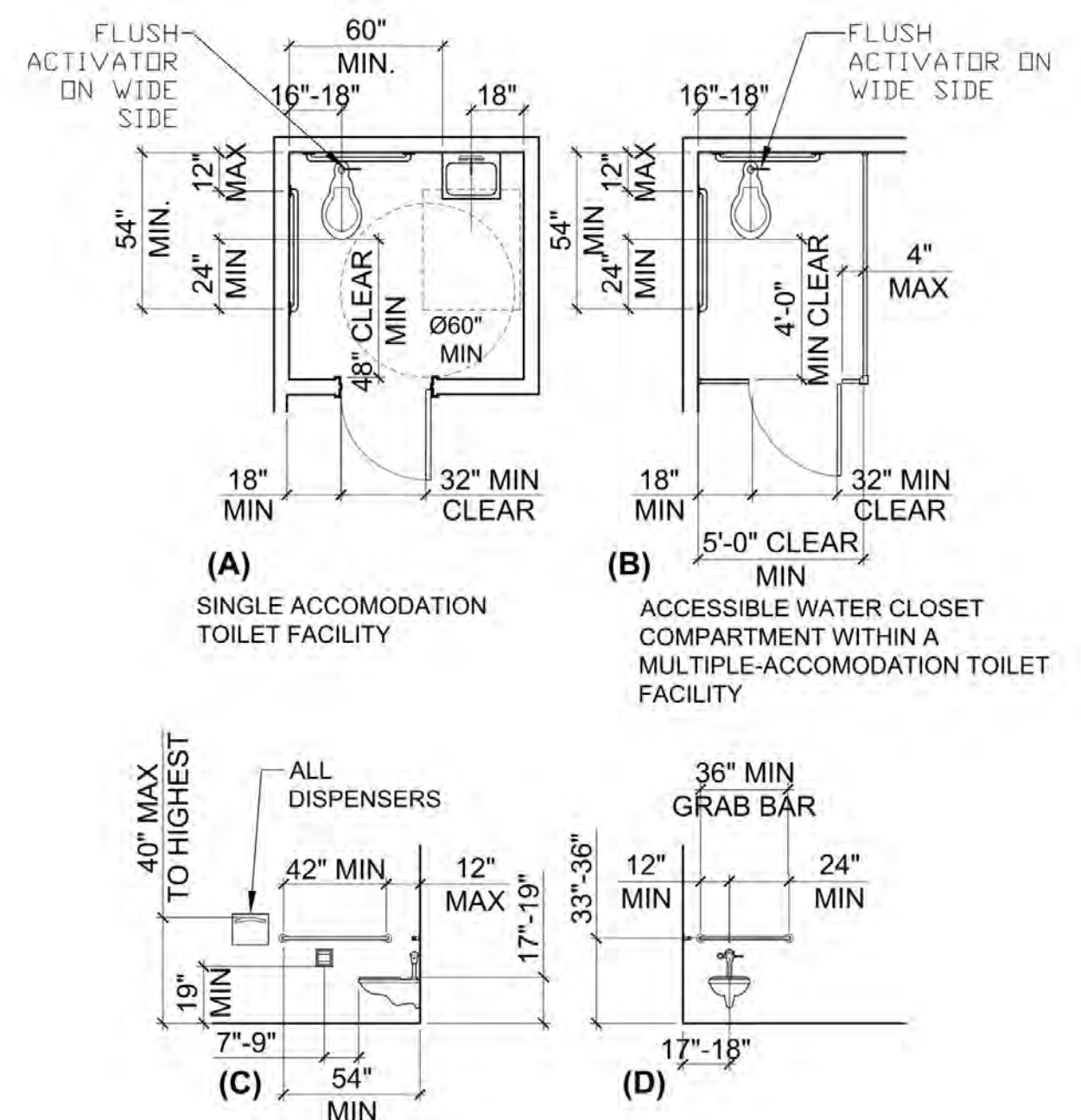
THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION



(A) SIDE ELEVATION
 (B) PLAN VIEW

NOTE: IF A MINIMUM 9 INCHES HEIGHT OF LEG CLEARANCE IS PROVIDED, A MAXIMUM OF 6 INCHES OF THE 48 INCHES OF CLEAR FLOOR SPACE REQUIRED AT THE FIXTURE MAY EXTEND INTO THE FREE SPACE.

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION



(A) SINGLE ACCOMMODATION TOILET FACILITY

(B) ACCESSIBLE WATER CLOSET COMPARTMENT WITHIN A MULTIPLE-ACCOMMODATION TOILET FACILITY

(C)

(D)

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION

PASSENGER DROP-OFF AND LOADING ZONES

General. Passenger drop-off and loading zones shall comply with Section 11B-503.

Vehicle pull-up space. Passenger drop-off and loading zones shall provide a vehicular pull-up space 96 inches wide minimum and 20 feet long minimum.

Access aisle. Passenger drop-off and loading zones shall provide access aisles complying with Section 11B-503 adjacent and parallel to the vehicle pull-up space. Access aisles shall adjust an accessible route and shall not overlap the vehicle way.

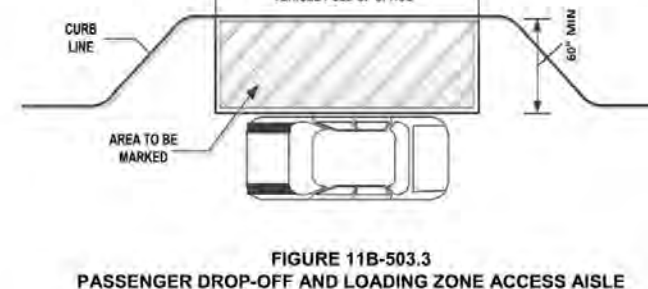


FIGURE 11B-503.3 PASSENGER DROP-OFF AND LOADING ZONE ACCESS AISLE

Width. Access aisles serving vehicle pull-up spaces shall be 60 inches wide minimum.

Length. Access aisles shall extend the full length of the vehicle pull-up spaces they serve.

Marking. Access aisles shall be marked with a painted borderline around their perimeter. The area within the borderlines shall be marked with hatched lines a maximum of 36 inches on center in a color contrasting with that of the aisle surface.

Floor and ground surfaces. Vehicle pull-up spaces and access aisles serving them shall comply with Section 11B-502. Access aisles shall be at the same level as the vehicle pull-up spaces they serve. Changes in level are not permitted.

Vertical clearance. Vehicle pull-up spaces, access aisles serving them, and the passenger drop-off and loading zone to a vehicle and shall provide a vertical clearance of 114 inches minimum.

Identification. Each passenger loading zone designated for persons with disabilities shall be identified with a reflectorized sign complying with Section 11B-703.3. It shall be permanently posted immediately adjacent to and visible from the passenger loading zone using "Passenger Loading Zone Only" and including the International Symbol of Accessibility complying with Section 11B-703.2.1 to white on a blue background.

Medical care and long-term care facilities. At least one passenger drop-off and loading zone complying with Section 11B-503 shall be provided at an accessible entrance to licensed medical care and licensed long-term care facilities where the period of stay may exceed twenty-four hours.

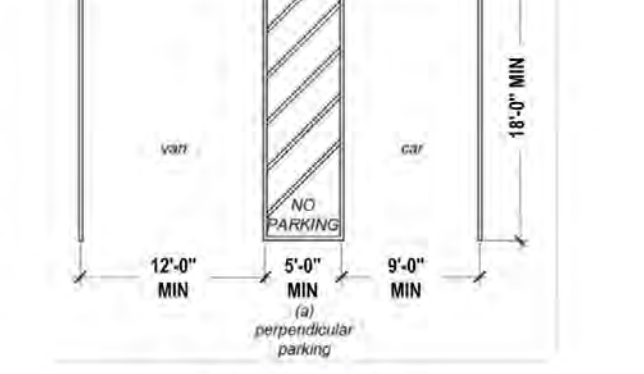
Valet parking. Parking facilities that provide valet parking services shall provide at least one passenger loading zone complying with Section 11B-503. The parking requirements of Section 11B-208.1 apply to facilities with valet parking.

Mechanical access parking garages. Mechanical access parking garages shall provide at least the "passenger" loading zone complying with Section 11B-503 at vehicle drop-off and vehicle pick-up areas.

PARKING SPACES

General. Car and van parking spaces shall comply with Section 11B-502. Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be permitted to include the full width of the line defining the parking space or access aisle.

Exception. Where parking spaces or access aisles are not adjacent to another parking space or access aisle, measurements shall be permitted to include the full width of the line defining the parking space or access aisle.



(A) PERPENDICULAR PARKING

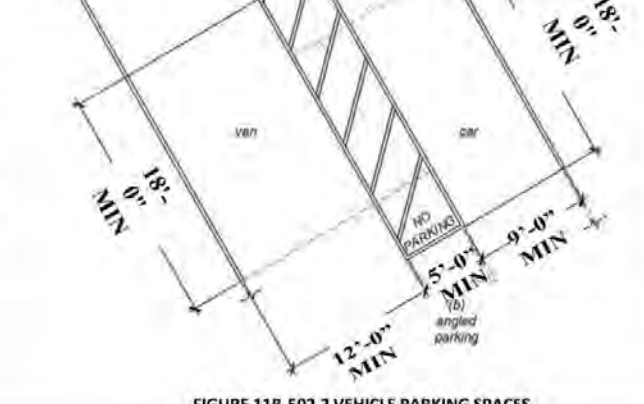


FIGURE 11B-502.2 VEHICLE PARKING SPACES

Vehicle spaces. Car and van parking spaces shall be 216 inches (18 feet) long minimum. Car parking spaces shall be 108 inches (9 feet) wide minimum and van parking spaces shall be 144 inches (12 feet) wide minimum. Signs shall be placed to define the width, and shall have an adjacent access aisle complying with Section 11B-502.3.

Exception. Van parking spaces shall be permitted to be 108 inches (9 feet) wide minimum where the access aisle is 96 inches (8 feet) wide minimum.

Access aisle. Access aisles serving parking spaces shall comply with Section 11B-502.3. Access aisles shall adjust an accessible route. Two parking spaces shall be permitted to share a common access aisle.

Width. Access aisles serving car and van parking spaces shall be 60 inches (5 feet) wide minimum.

Length. Access aisles shall extend the full required length of the parking spaces they serve.

Marking. Access aisles shall be marked with a blue painted borderline around their perimeter. The area within the blue borderlines shall be marked with hatched lines a maximum of 36 inches (3 feet) on center in a color contrasting with that of the aisle surface, preferably blue or white. The words "NO PARKING" shall be painted on the surface within each access aisle in white letters a minimum of 12 inches (1 foot) in height and located to be visible from the adjacent vehicular way. Access aisle markings may extend beyond the minimum required length.

Location. Access aisles shall not overlap the vehicular way. Access aisles shall be placed on either side of the parking space except for van parking spaces which shall have access aisles located on the passenger side of the parking spaces.

Floor or ground surfaces. Parking spaces and access aisles serving them shall comply with Section 11B-502. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted.

Exception. Slopes not steeper than 1:48 shall be permitted.

Vertical clearance. Parking spaces, access aisles and vehicular spaces serving them shall provide a vertical clearance of 98 inches (2489 mm) minimum.

Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with Section 11B-703.2.1. Signs identifying van parking spaces shall contain additional language or an additional sign with the description "van accessible." Signs shall be 60 inches (1524 mm) minimum above the finish floor or ground surface measured to the bottom of the sign.

Exception. Signs located within an accessible route shall be a minimum of 60 inches (1524 mm) above the finish floor or ground surface measured to the bottom of the sign.

Finish and size. Parking identification signs shall be reflectorized with a minimum area of 70 square inches.

Minimum height. Additional language or an additional sign below the International Symbol of Accessibility shall state "Minimum Fine \$200."

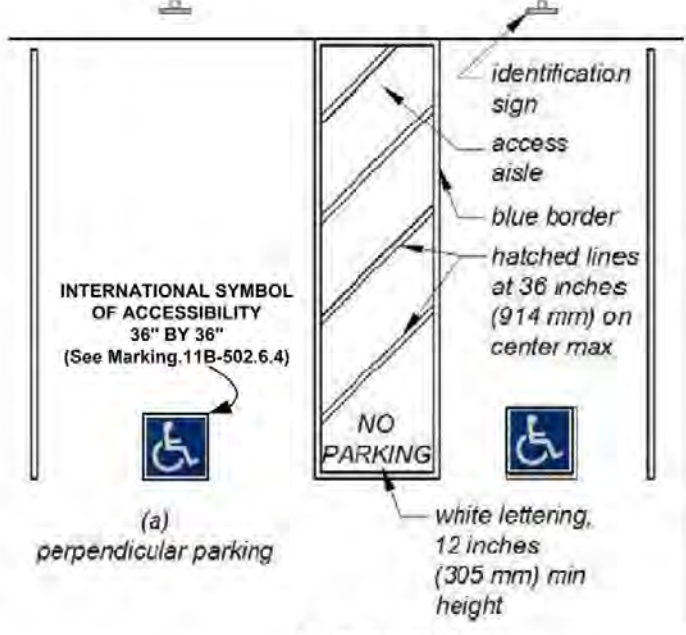


FIGURE 11B-502.3 PERPENDICULAR PARKING IDENTIFICATION

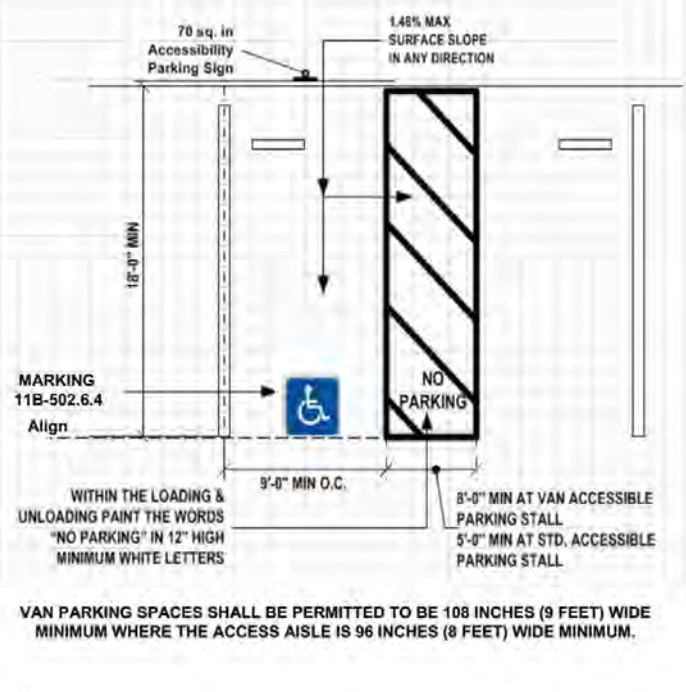


FIGURE 11B-502.4 VAN ACCESSIBLE PARKING IDENTIFICATION

VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (9 FEET) WIDE MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES (8 FEET) WIDE MINIMUM.

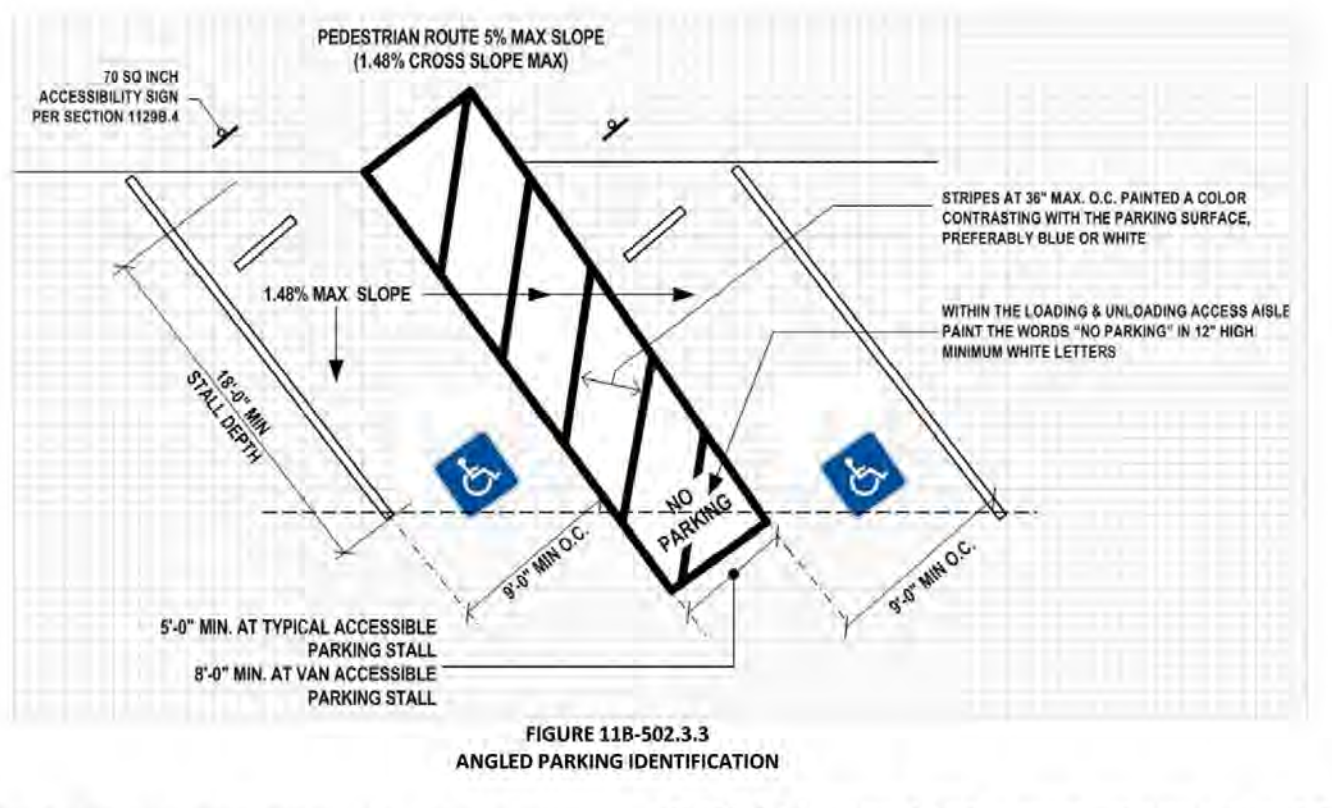


FIGURE 11B-502.3.3 ANGLED PARKING IDENTIFICATION

Location. A parking space identification sign shall be visible from each parking space. Signs shall be permanently posted either immediately adjacent to the parking space or within the projected parking space width at the head end of the parking space. Signs may also be permanently posted on a wall at the interior end of the parking space.

Marking. Each accessible car and van space shall have surface identification complying with either Sections 11B-502.6.4.1 or 11B-502.6.4.2.

The parking space shall be marked with an International Symbol of Accessibility complying with Section 11B-703.2.1 in white on a blue background a minimum 36 inches wide by 36 inches high. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space. Its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space length.

The parking space shall be defined or painted that and shall be marked with an International Symbol of Accessibility complying with Section 11B-703.2.1 a minimum 36 inches wide by 36 inches high in white or a suitable contrasting color. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space. Its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space.

Relationship to accessible routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes.

ACCESSIBLE PARKING SIGN INSTALLED AT EACH SPACE



FIGURE 11B-502.6 ACCESSIBLE PARKING SIGN INSTALLED AT EACH SPACE

11B-502.7.1 Arrangement. Parking spaces and access aisles shall be designed so that persons using them are not required to travel behind parking spaces other than to pass behind the parking space in which they parked.

11B-502.7.2 Wheel stops. A curb or wheel stop shall be provided if required to prevent encroachment of vehicles over the required clear width of adjacent accessible routes.

11B-502.8 Additional signage. An additional sign shall be posted either:

- 1) In a conspicuous place at each entrance to an off-street parking facility or
- 2) Immediately adjacent to on-site accessible parking and visible from each parking space.

11B-502.8.1 Size. The additional sign shall not be less than 17 inches wide by 22 inches high.

11B-502.8.2 Lettering. The additional sign shall clearly state in letters with a minimum height of 1 inch the following:

"Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at the owner's expense. Towed vehicles may be reclaimed at:"

or by telephoning _____

Blank spaces shall be filled in with appropriate information as a permanent part of the sign. (NOTE: Towing Co.'s Name and Telephone Number must be noted on the detail sheets on the plans.)

DATE	NOTE
11/08/22	PLANNING SUB 1

SHEET TITLE

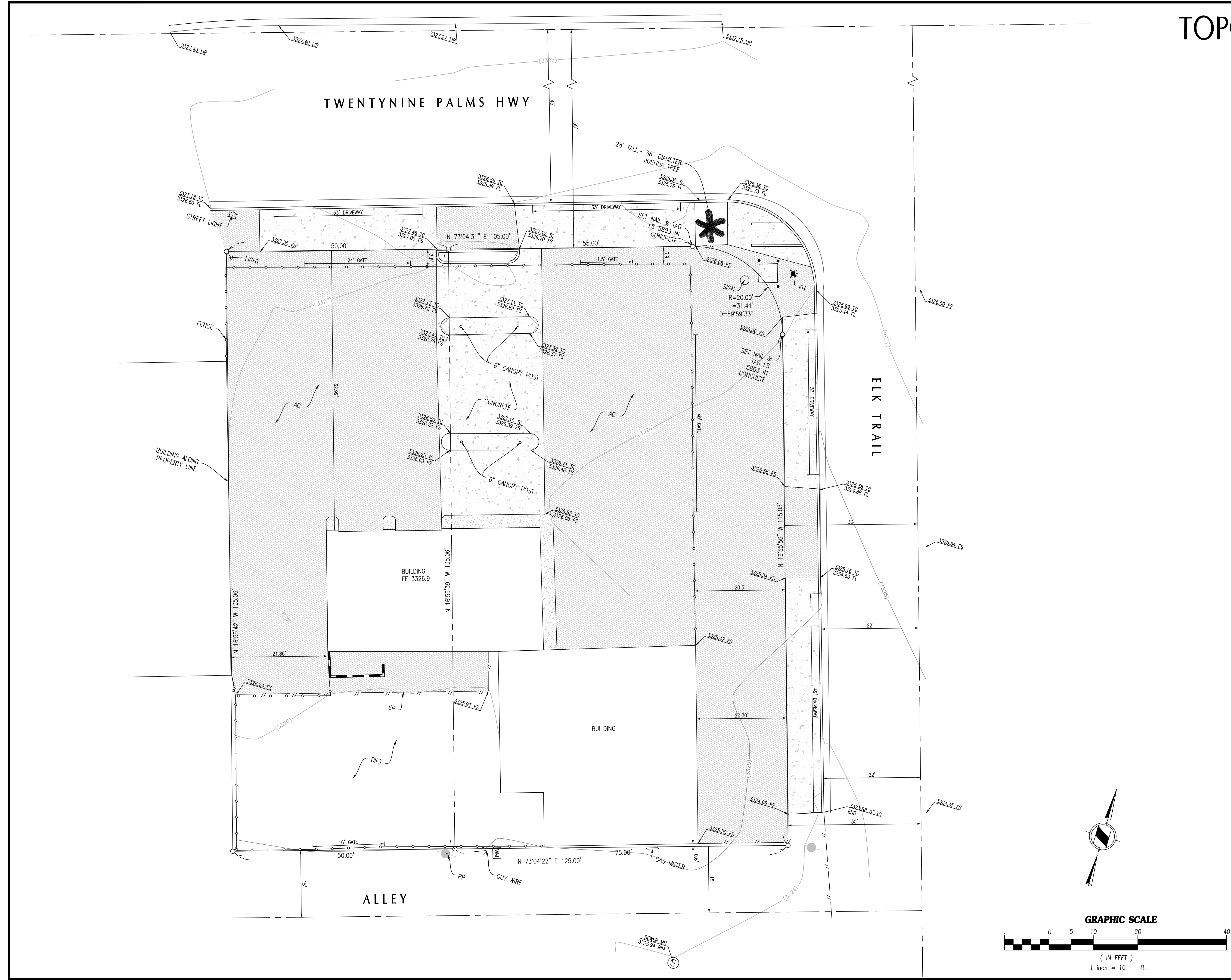
ADA NOTES

SHEET NUMBER

A.2



TOPOGRAPHIC SURVEY



PREPARED FOR

BUILT, INC.
 C/O JOHN SORIO
 9105 SUNSET BLVD
 WEST HOLLYWOOD, CA 90069
 (201) 207-6703
 JSORIO@BUILTINC.COM

APN

0586-341-12 & 13

LEGAL DESCRIPTION

LOTS 84 & 85
 TRACT 2865
 M.B. 39/97-90

DATE OF SURVEY

10/14/22

LEGEND

- AC INDICATES ASPHALT CONCRETE
- EP INDICATES EDGE OF PAVEMENT
- FF INDICATES FINISH FLOOR
- FH INDICATES FIRE HYDRANT
- FL INDICATES FLOWLINE
- PP INDICATES POWER POLE
- TC INDICATES TOP OF CURB
- WM INDICATES WATER METER

BENCHMARK

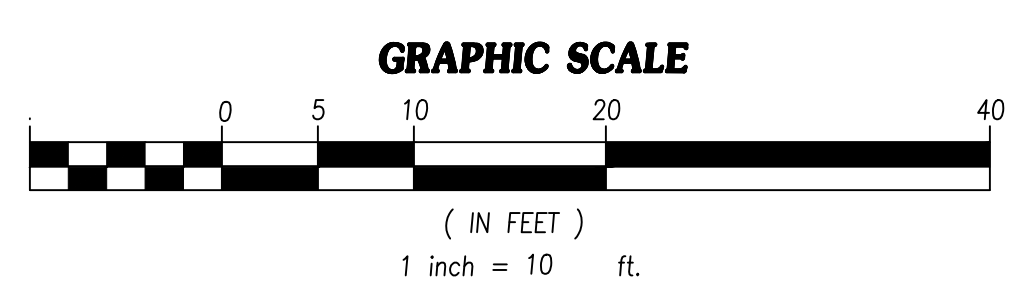
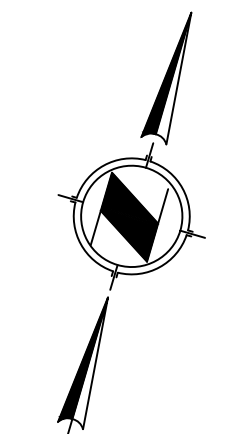
NGS BENCHMARK
 41266
 ELEVATION: 3329.55 (NAVD 88)
 0.55 MI. SOUTHWEST ALONG 29 PALMS HWY FROM POST
 OFFICE IN YUCCA VALLEY, 150 FEET NORTH OF
 CENTERLINE OF HIGHWAY, 45 FT EAST OF CENTERLINE
 OF KICKAPOO TRAIL, 3 FT NORTHEAST OF UTILITY POLE
 70930, 2 FT SOUTHWEST OF WITNESS POST

SURVEY NOTES

○ INDICATES SET 1" IP LS 5803, UNLESS NOTED OTHERWISE.

EASEMENT NOTE

OWNER OF SAID PROPERTY DID NOT PROVIDE A CURRENT TITLE REPORT, THEREFORE NO RECORDED EASEMENTS ARE PLOTTED ON THIS MAP.



PREPARED BY: J.E. Miller & Associates
 PREPARED DATE: 11/10/22

J.E. Miller & Associates
 Civil Engineering • Planning • Surveying
 17925 Olden HWY 193 St. Suite 1 Apple Valley, CA 92257
 Phone: (760) 242-6777 • info@jemillerandassociates.com

M:\DWG\J.E. MILLER\0922\2686.02 BUILT LS TOPO\DRAWING\0922\2686.02 TOPO.DWG

THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284

SUB DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE
TOPO SURVEY
 SHEET NUMBER
A.3

PROJECT

THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284



BUILT HOSPITALITY DESIGN
9105 SUNSET BLVD.
WEST HOLLYWOOD, CA
T: 310.357.0492
www.builtinc.com

THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

FIRST CERTIFIED ARBOR CARE
PO BOX 9592
SAN BERNARDINO CA 92427-0592
909-880-1131
California State Contractor license # 525283

September 2, 2022

Aziz Ibrahim
Built Inc.
aziz@builtinc.com

RE: Joshua tree report for 55761 Twentynine Palms Highway, Yucca Valley CA 92284

Purpose of report

The purpose of this report is to verify that a native Joshua trees on this property will not be disturbed by the proposed construction activities as described in the plan—to comply with State of California requirements elaborated in *San Bernardino County Information Bulletin IB-0016, Joshua Trees*.

Scope

Section 3.0 *Background of IB-0016* notes the following:

- That the Joshua tree is a *candidate for listing as an endangered species*.
- That the remedies of removal or transplanting to make room for development are not currently an approved option.
- That the threshold triggering reporting is the presence of a Joshua tree within 40 feet of proposed construction.
- A determination that *no Joshua trees are affected by the proposed grading/construction* must be made before proceeding with the project.
- That this evaluation and report may be done by an ISA Certified Arborist®.

Extenuating circumstances

The development and Joshua tree on this site have existed for many decades. There is historical evidence of damage to the Joshua tree on the property from traffic collisions. Existing construction features are not a result of the current development activity.

Qualifications of Author

The author, Paul E. Chaney, holds a BS degree in Ornamental Horticulture from California State Polytechnic University, Pomona. He has been a California licensed C-27 landscape contractor since 1988 and a D-49 tree service contractor since the State required it 1992. He holds ISA Certified Arborist® credential WE-0135A and is Tree Risk Assessment Qualified.

Since 1988, he has reported extensively on construction impacts to trees for CEQA compliance during the development review process. Mr. Chaney wrote the first CEQA arborist reporting standards for the cities of San Bernardino, Fontana, Highland, and Yucaipa. His experience includes over 35 years of observing how trees respond to nursery production practices, structural and maintenance pruning treatments, and damage from various causes, including those that are construction related. Mr. Chaney's consulting clients have included engineers, developers, architects, landscape architects, landscape contractors, attorneys, insurance companies and adjusters, home and business owners, and public agencies, including the County of San Bernardino and the State of California.

Evaluation

The plan for the proposed sewer line connection in Sout Alley shows that the work will not disturb the existing Joshua tree. It is too far away to have any effect.

Conclusion

The Joshua tree on this site has survived many decades. The proposed construction does not affect it. No beneficial tree protection specifications and no mitigation measures are needed with respect to the construction work proposed.

PAUL E. CHANEY
ISA Certified Arborist® WE-0135A

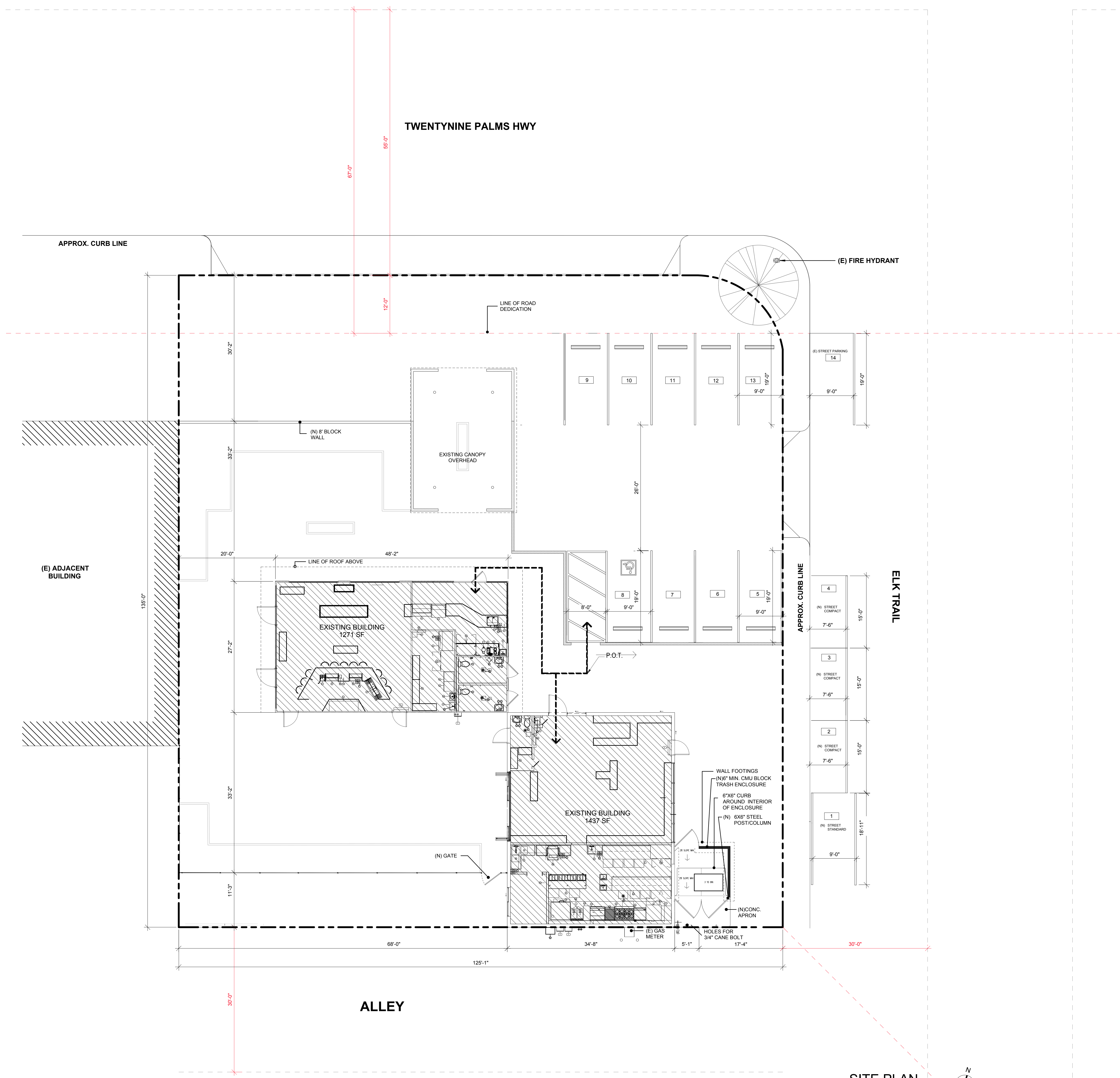
ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE

**JOSHUA
TREE
REPORT**

SHEET NUMBER

A.3.1



THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284

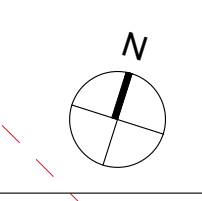
ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

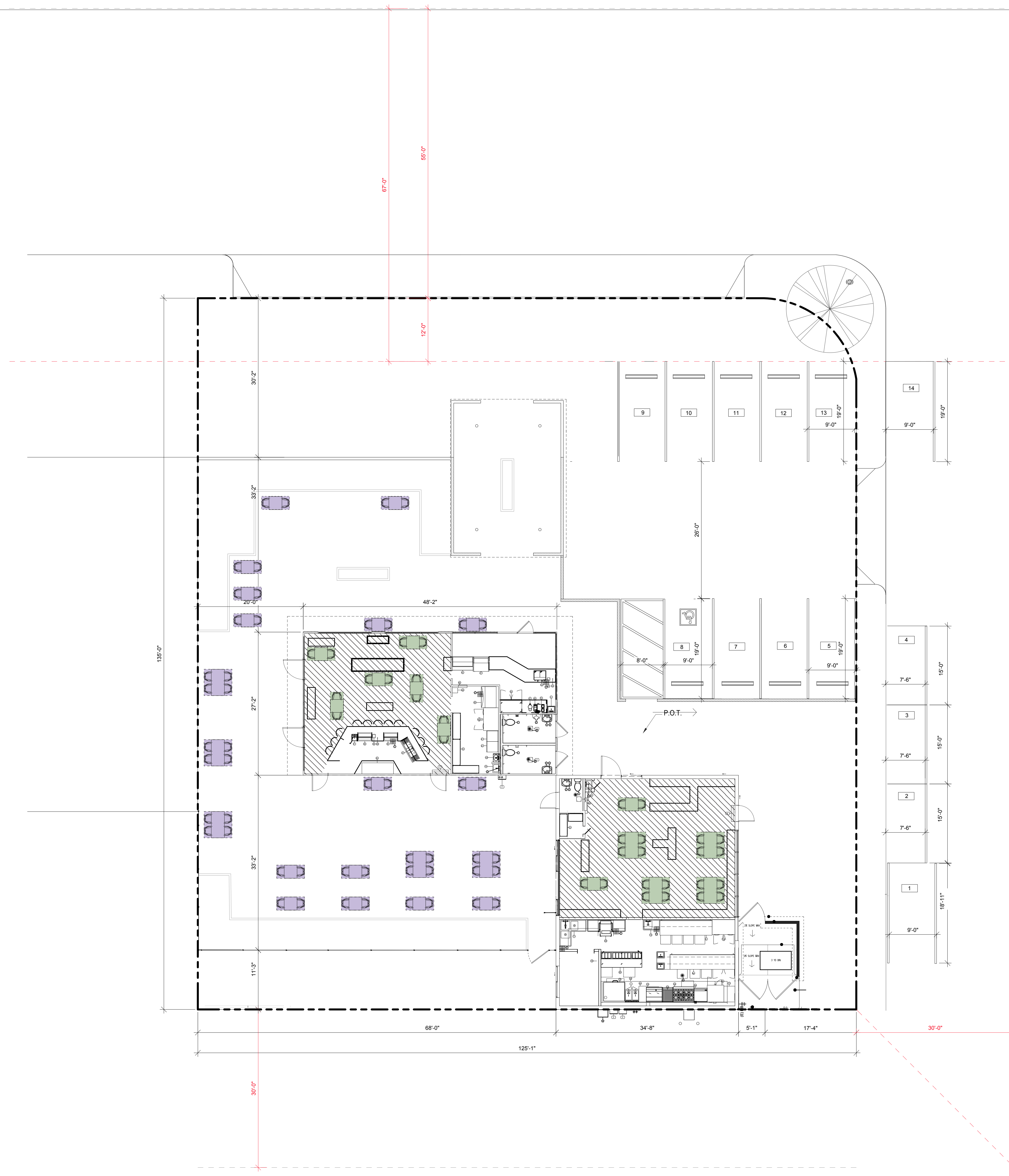
SHEET TITLE

SITE PLAN

SHEET NUMBER

A.3.2





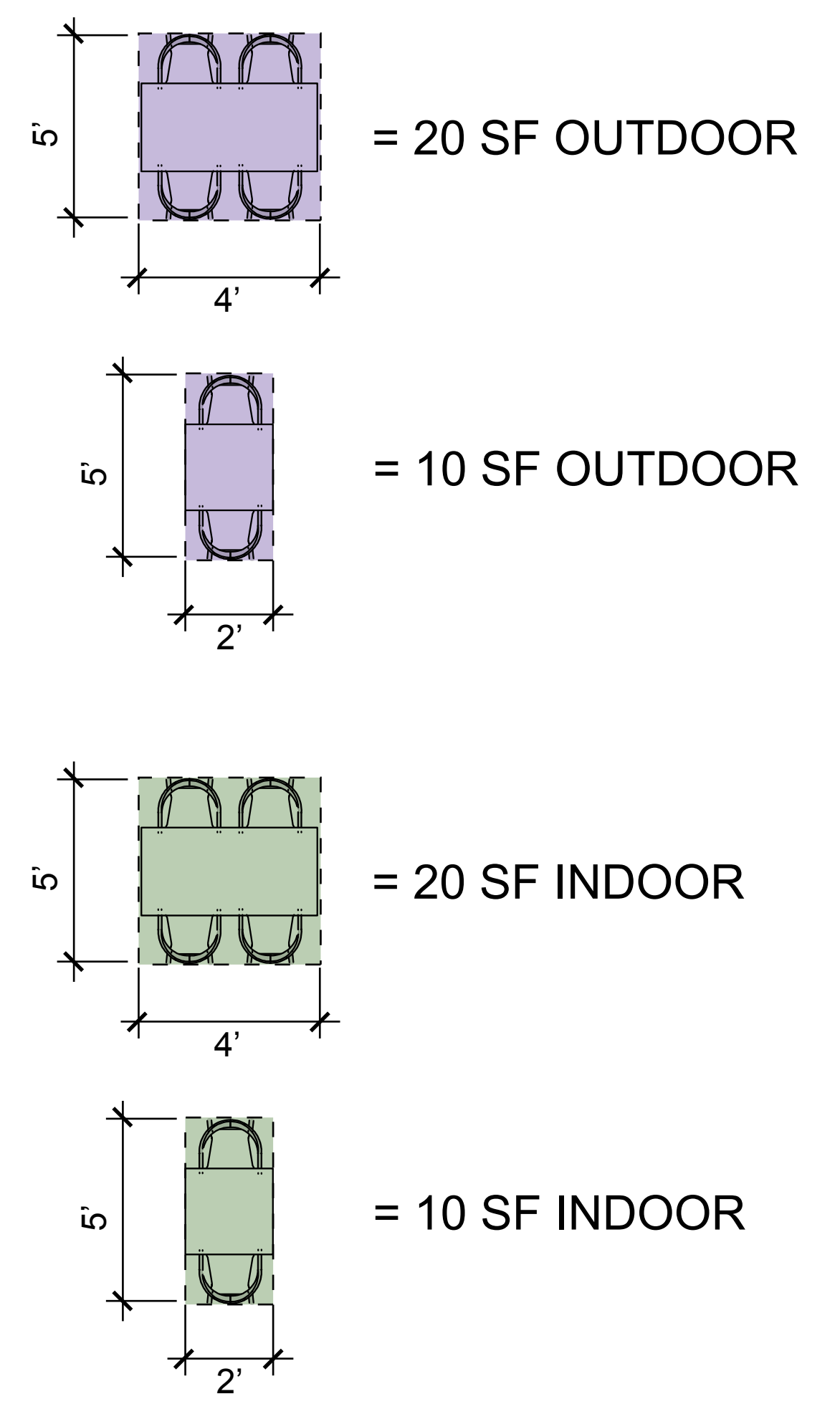
PARKING CALCULATION (SECTION 9.33.040)

AREA	# SPACES PER SF	AREA	# SPACES REQUIRED
BUILDING AREA	1 PER 250 SF	1,215 SF	5 SPACES
INDOOR SEATING	1 PER 50 SF	200 SF	4 SPACES
OUTDOOR SEATING	1 PER 50 SF	250 SF	5 SPACES
TOTAL # OF PARKING REQUIRED			14 SPACES REQUIRED
			14 SPACES PROVIDED

ADA PARKING CALCULATION (SECTION 9.33.050)

1:25 SPACES = 1 ADA PARKING SPOT REQUIRED
1 ADA SPACE PROVIDED

SEATING LEGEND



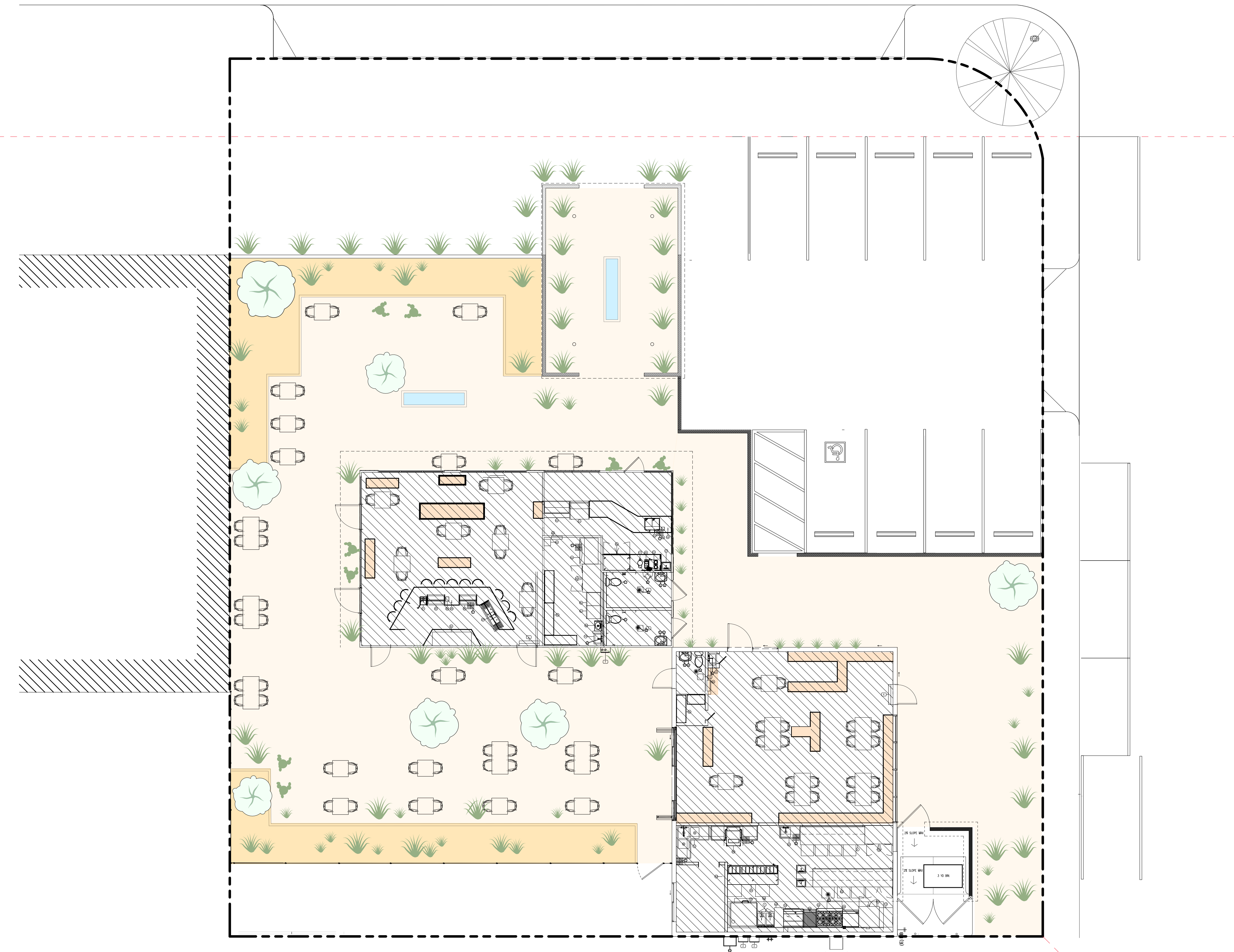
PARKING PLAN
 1/8" = 1'-0"

THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284

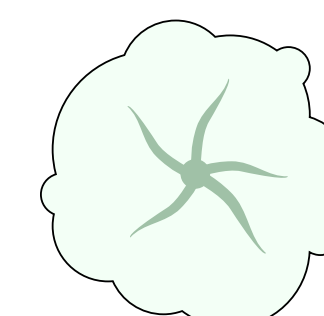


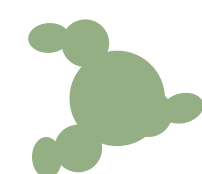







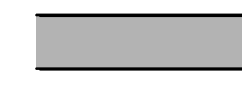

ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE
PARKING PLAN

SHEET NUMBER
A.3.3



LEGEND

-  36"BOX
DESERT WILLOW
-  15 GALLON
MEXICAN GRASS
-  5 GALLON
MEXICAN GRASS
-  5 GALLON
PADDLE CACTUS
-  BENCH
-  RETAIL DISPLAY
-  RETAIL SHELF
-  WATER FEATURE
-  DECOMPOSED
GRANITE
-  1/4"DESERT GOLD
GRAVEL
-  30"WALL
-  42"WALL
-  60"WALL

PROJECT
THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284



BUILT HOSPITALITY DESIGN
9105 SUNSET BLVD.
WEST HOLLYWOOD, CA
T: 323 857 0692
www.builtinc.com

THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

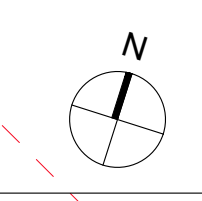
SHEET TITLE

**LANDSCAPING
PLAN**

SHEET NUMBER

A.3.4

LANDSCAPING PLAN 1
1/8" = 1'-0"




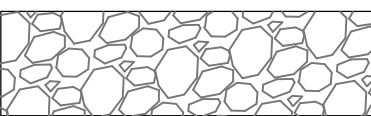
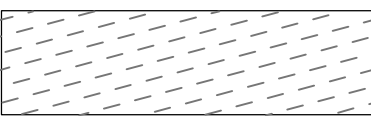

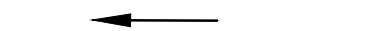

GRADING PLAN GENERAL NOTES

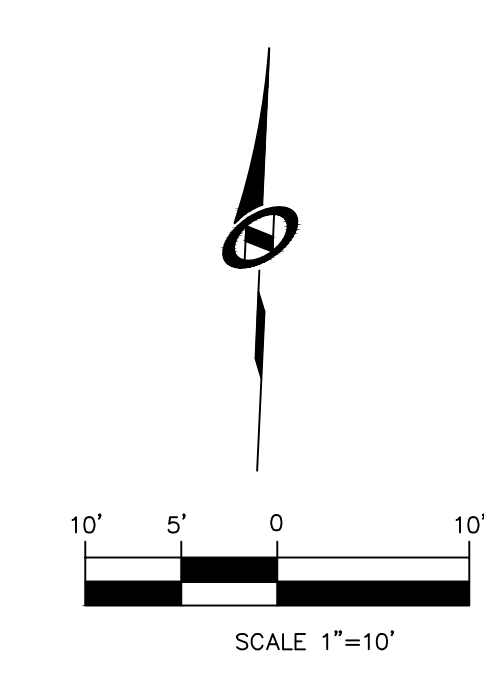
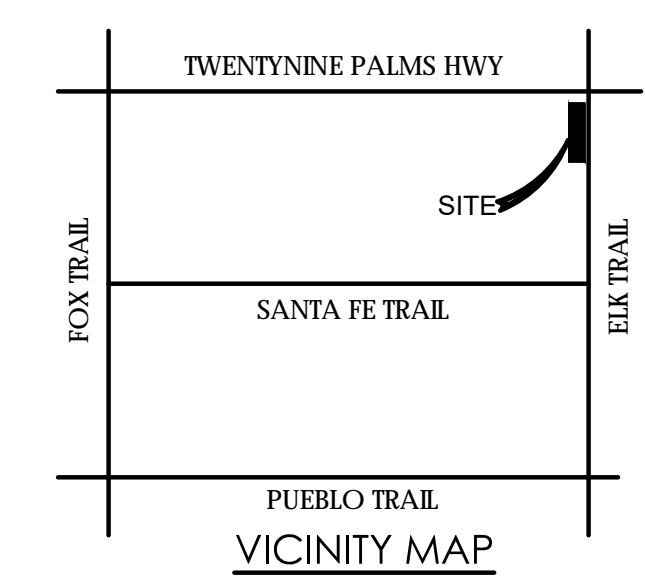
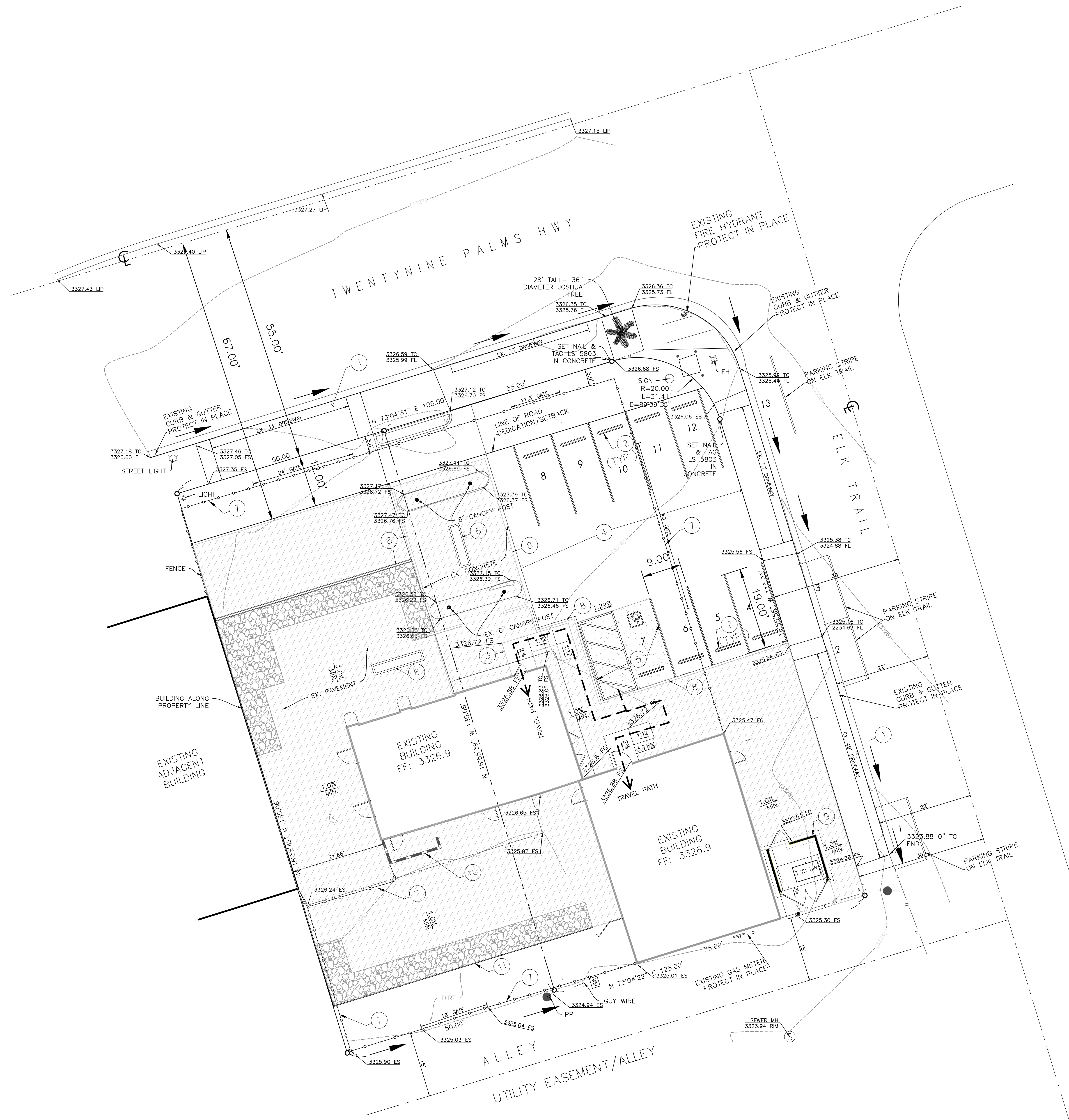
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD PLANS OF THE TOWN OF YUCCA VALLEY AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), LATEST EDITION, AND THE PROJECT'S CONDITIONS OF APPROVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EFFECTIVE MEANS OF DUST CONTROL WHICH SHALL INCLUDE PROVISIONS FOR ADEQUATE WATERING DURING THE GRADING PROCESS AND PROVISIONS FOR CONTINUANCE OF DUST CONTROL UNTIL THE GRADE SURFACE PRESENTS SUFFICIENT COVER AGAINST WIND OR WATER EROSION THAT SPECIAL DUST CONTROL MEASURES ARE NO LONGER NECESSARY.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED BY THE TOWN OF YUCCA VALLEY DEVELOPMENT CODE.
- ALL GRADING SHALL COMPLY WITH APPENDIX CHAPTER 33 OF THE CALIFORNIA BUILDING CODE, LATEST EDITION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY SUBJECT TO THE PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
- DIMENSIONING TO CURBS SHALL BE TO FACE OF CURB.
- CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE AT A LEGALLY APPROVED DISPOSAL SITE.
- CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITY FACILITIES AND SHOW LIMITS OF REMOVALS OF THE RECORD DRAWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPLACEMENT OR RELOCATION OF ALL REGULATORY, WARNING AND GUIDE SIGNS.
- THE ASPHALT DESIGN MUST MEET THE CALTRANS STANDARD SPECIFICATIONS, 2015, SECTION 39, FOR TYPE B ASPHALT, 3/4" MAXIMUM MEDIUM AND 1/2" MAXIMUM MEDIUM THE OIL SHALL BE PG 70-10.
- THE AGGREGATE BASE SHALL BE CLASS II, FOR 3/4" MAXIMUM ACCORDING TO THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS, SECTION 26, DATED 2015.
- A "RECORD DRAWING" (FORMERLY CALLED "AS-BUILT" DRAWING) OF THIS PLAN MUST BE SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER BY THE PROJECT ENGINEER OF RECORD PRIOR TO ACCEPTANCE OF THE PROJECT.
- CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY TOWN STANDARDS OR AS DIRECTED BY THE TOWN ENGINEER AS A MINIMUM ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE IN ACCORDANCE WITH STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES" DATE 1991, OR SUBSEQUENT EDITIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE FLOW LINES OF ALL CURB AND GUTTERS AND CROSS GUTTERS SHALL BE WATER TESTED BEFORE ACCEPTANCE OF THE PROJECT.
- PARKING STALLS SHALL BE CLEARLY DELINEATED WITH A 4 TO 6 INCH STRIPE "HAIRPIN" OR ELONGATED "U" DESIGN OR OTHER APPROVED STRIPING OR STALL DELINEATION.
- FINAL SITE GRADING AND DRAINAGE FLOW LINES SHALL BE CERTIFIED, IN WRITING, BY THE ENGINEER OF RECORD TO BE IN CONFORMANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL INSPECTION.
- NPDES PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT FOR PARCELS 1 ACRES OR GREATER.
- THE LOCATION OF BLOCK WALLS, RETAINING WALLS, AND OTHER STRUCTURES SHALL BE CLEARLY DEFINED ON THE PLANS CONSTRUCTION AND STRUCTURAL DETAILS SHALL NOT BE SHOWN ON THE GRADING PLAN.
- ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY SLADDEN ENGINEERING DATED NOV. 20, 2018 SHALL BE COMPLIED WITH.
- THIS PLAN IS FOR GRADING PURPOSES ONLY APPROVAL DOES NOT CONSTITUTE APPROVAL OF BUILDING LOCATIONS, OFF-SITE DRAINAGE FACILITIES, DRIVEWAY LOCATIONS OR SIZES, PARKING LOT LAYOUT, ETC OR OTHER ITEMS NOT RELATED TO BASIC GRADING OPERATIONS NO STRUCTURAL CALCULATIONS HAVE BEEN MADE FOR ANY STRUCTURES ON THIS PLAN DURING PLAN CHECK, THEREFORE, THE PLAN CHECK ENGINEER TAKES NO RESPONSIBILITY FOR THE INTEGRITY OF SUCH STRUCTURES.
- UPON ISSUANCE OF GRADING PERMIT BY THE TOWN OF YUCCA VALLEY ALL GRADING SHALL BE UNDERTAKEN AND COMPLETED IN COMPLIANCE WITH TOWN OF YUCCA VALLEY ORDINANCE NO. 133, IN PARTICULAR, SECTION 4.4 APPENDIX, VOLUME 1, CHAPTER 33, EXCAVATION AND GRADING, A SECTION 3309.3 GRADING DESIGNATION, B SECTION 3316, EROSION CONTROL AND 5, SECTION 3320 ENGINEERING REPORTS AND THE PROJECT ENGINEER OF RECORD SHALL CERTIFY THAT ALL GRADING COMPLIES WITH SAID ORDINANCE PRIOR TO ACCEPTANCE OF ANY PERMITS BY THE TOWN OF YUCCA VALLEY.
- THESE PLANS SHALL EXPIRE OF CONSTRUCTION HAS NOT STARTED WITHIN TWELVE (12) MONTHS FROM THE DATE OF APPROVAL BY THE TOWN.

CONSTRUCTION NOTES

- PROTECT EXISTING DRIVEWAY APPROACH
- INSTALL 6" WHEEL STOP
- CONSTRUCT ADA ACCESS PATH OF TRAVEL PER CITY STANDARDS. IF ADA SLOPES MORE THAN 5% RUNNING SLOPE OR MORE THAN 2% CROSS SLOPE, CONTRACTOR IS RESPONSIBLE TO REMOVE EXISTING SURFACE TO MAINTAIN SLOPES ARE LESS THAN ALLOWED.
- REMOVE ALL WEEDS AND DEBRIS FROM CRACKS IN ASPHALT PAVEMENT. REPAIR EXISTING ASPHALT CRACKS WITH PG 64-16.
- IN H.C. AREA COLD MILL 2" OF EXISTING ASPHALT PAVEMENT RESURFACE WITH TYPE III CLASS B3 ASPHALT. MAX SLOPE 2%
- WATER FEATURE
- REMOVE EXISTING FENCE AND GATE
- PROPOSED WALL HEIGHT PER LANDSCAPING PLAN
- PROPOSED TRASH ENCLOSURE PER DETAIL ON THE LANDSCAPING PLANS
- REMOVE EXISTING WALL
- PROPOSED FENCE

LEGEND

-  EX. BUILDING
-  REMOVE EXISTING SURFACE AND INSTALL 1/4" DESERT GOLD GRANIT
-  REMOVE EXISTING SURFACE AND INSTALL D.G.
-  EXIST CONTOUR LINE
-  DRAINAGE DIRECTIONS
-  EX. EDGE OF PAVEMENT



PROJECT
THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

WINSTON ENGINEERING INC
8605 SANTA MONICA BLVD STE 63454
WEST HOLLYWOOD, CA 90069
OFFICE: 951-902-6600



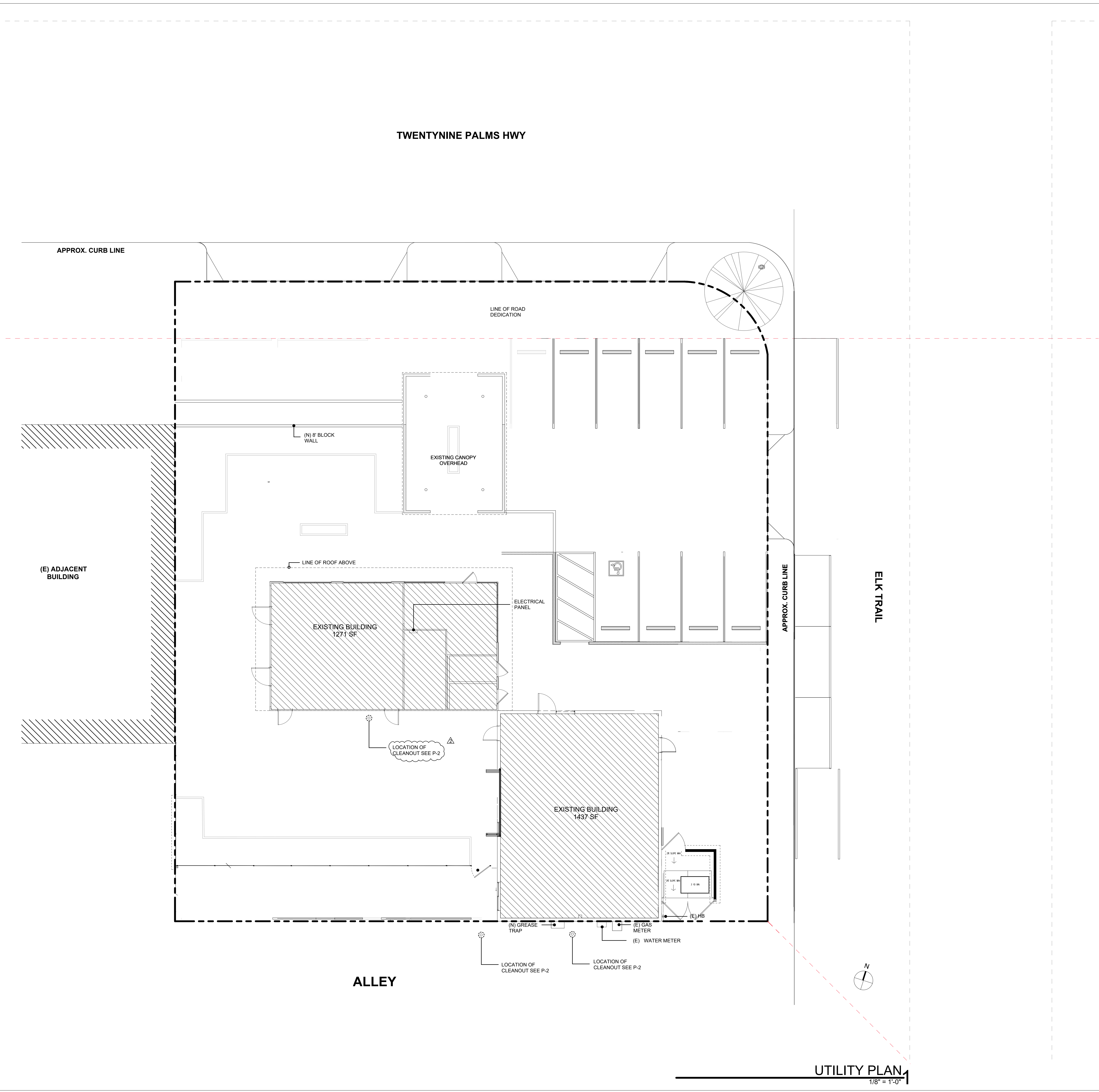
CHECKED BY: JSS
DRAWN BY: WJF

PRELIMINARY GRADING PLAN
THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

ISSUE DATE	NOTE

SHEET TITLE
PRE GRADING PLAN




SHEET NUMBER
C. 1



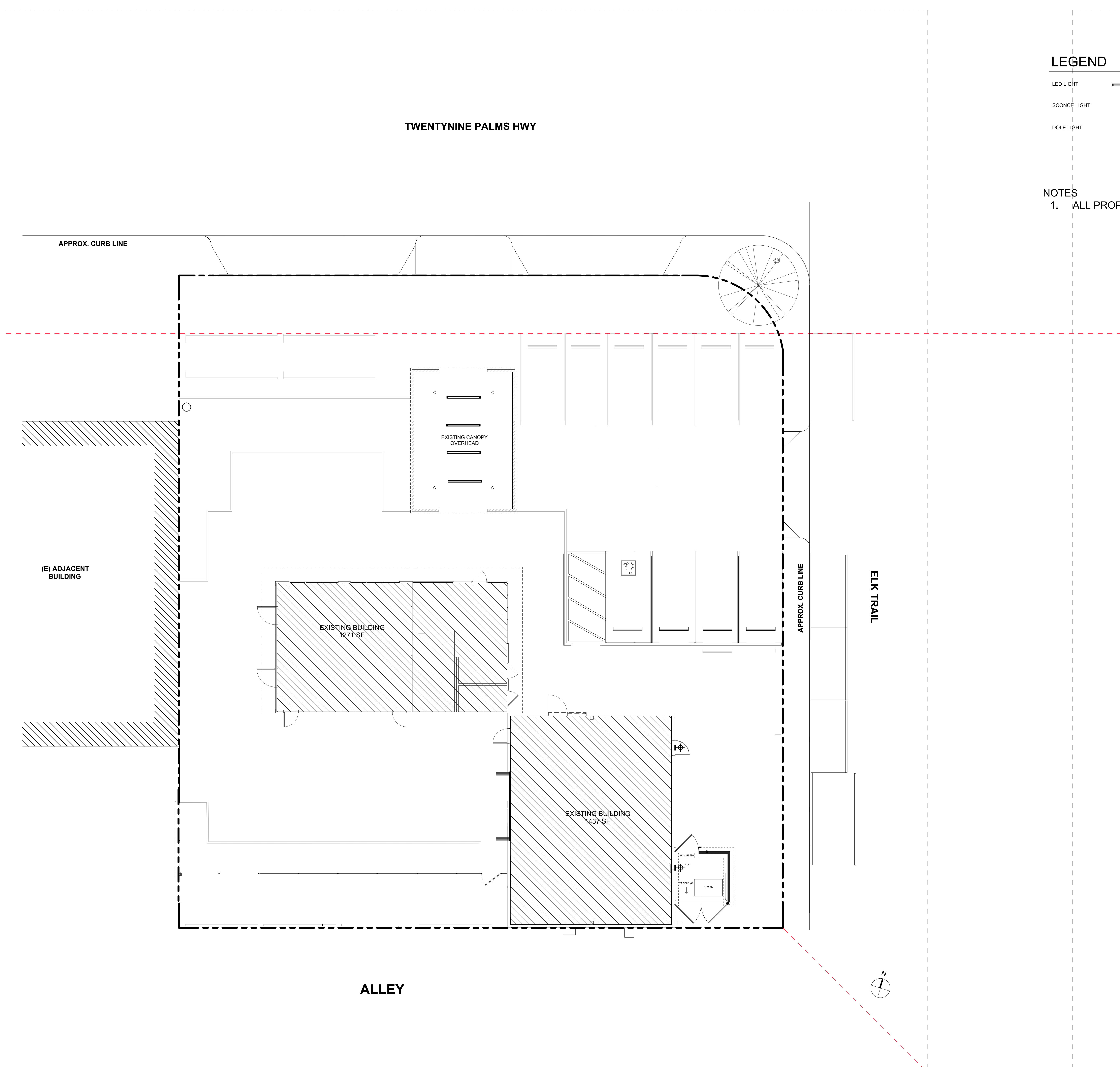
UTILITY PLAN
 1/8" = 1'-0"



LEGEND

- LED LIGHT 
- SCONCE LIGHT 
- DOLE LIGHT 

- NOTES**
- ALL PROPOSED LIGHTS TO BE LED.



EXISTING EXTERNAL LIGHTING PLAN₁
 1/8" = 1'-0"

THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284

ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE
EXISTING EXTERNAL LIGHTING PLAN

SHEET NUMBER
A.3.7



THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284

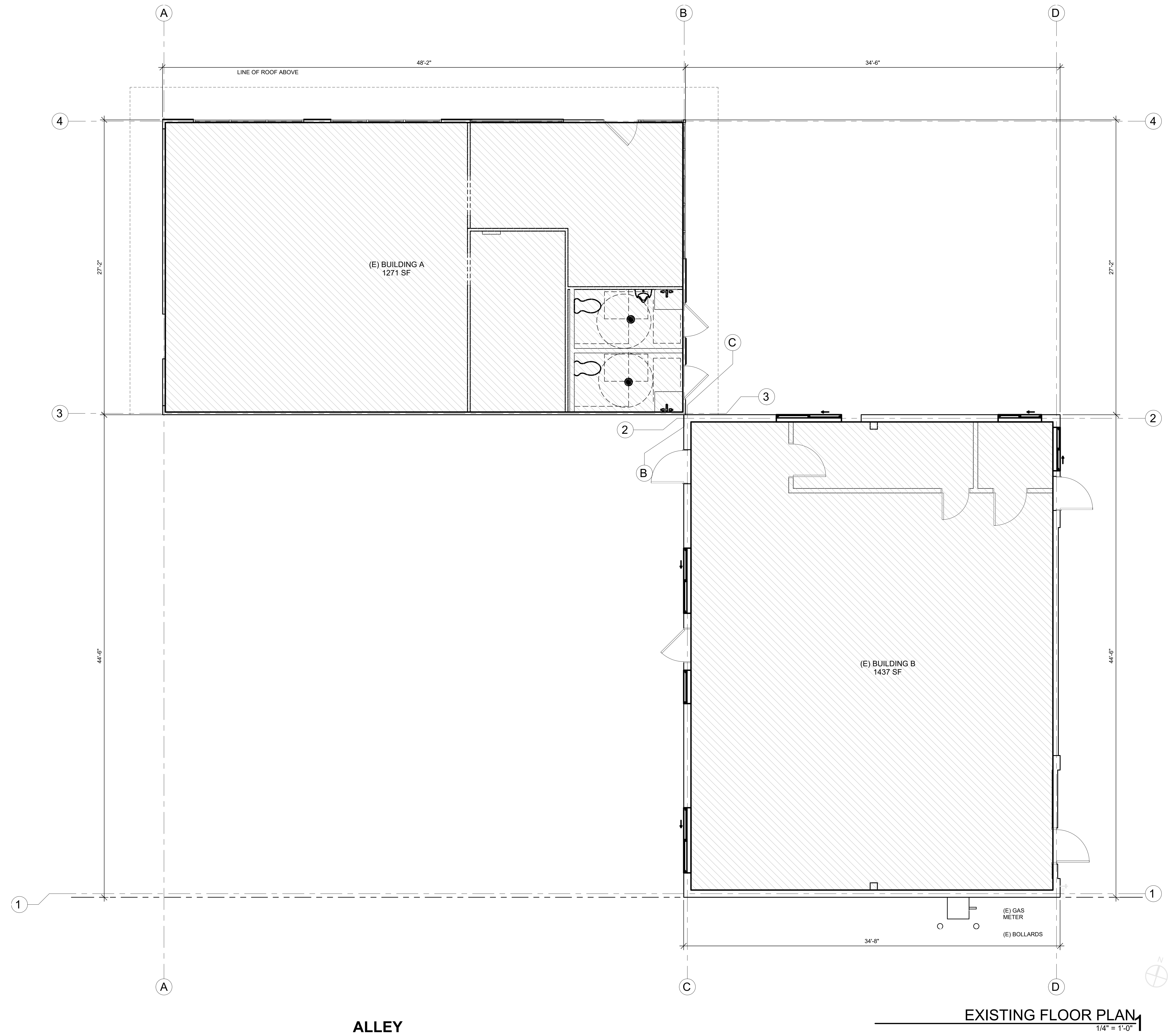
DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE

EXISTING FLOOR PLAN

SHEET NUMBER

A.4



EXISTING FLOOR PLAN
 1/4" = 1'-0"

ALLEY

PROJECT

THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284



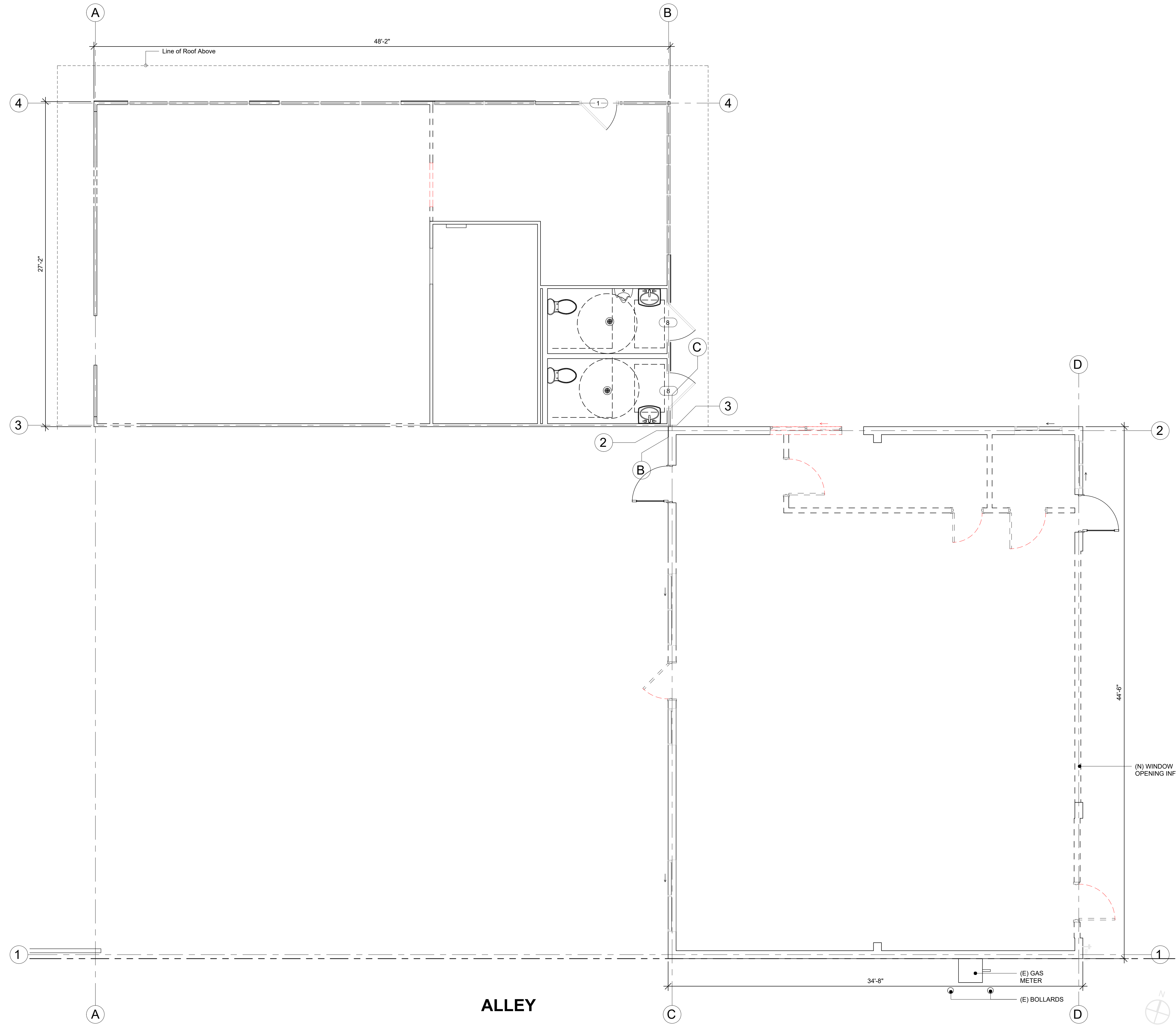
BUILT HOSPITALITY DESIGN
 9106 SUNSET BLVD.
 WEST HOLLYWOOD, CA
 T: 323.857.6099
 www.builtinc.com

LEGEND

- EXISTING WALL
- DEMO WALL

DEMOLITION NOTES

1. ANY DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS SET BY THE 2019 CALIFORNIA BUILDING CODE, AND WITH THE RULES AND REGULATIONS OF ALL LOCAL AGENCIES, DEPARTMENTS OR LAWS HAVING JURISDICTION OVER ANY PORTION OR SPECIFIC PHASE OF THE WORK, INCLUDING BUT NOT LIMITED TO OSHA, ANSI, NFPA, ETC.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE AND HELD LIABLE FOR COMPLIANCE WITH ALL PUBLIC AND PROPERTY SAFETY PROCEDURES DURING AND AFTER THE DEMOLITION WORK COVERED BY THE APPLICATION, AS DIRECTED BY THE LOCAL AGENCIES HAVING JURISDICTION.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAY ALL FEES AS PART OF THE DEMOLITION WORK REQUIRED FOR THIS PROJECT.
4. THE GENERAL CONTRACTOR TO COORDINATE AND PAY FOR ALL UTILITIES SHUTDOWNS AT PRE-CONSTRUCTION.
5. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AFFECTING THE DEMOLITION AND NOTIFY THE DESIGNER AND TENANT OF ANY DISCREPANCIES ON THE DRAWINGS WHICH WOULD AFFECT THE WORK.
6. THE GENERAL CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ITEMS AND SHALL REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF WORK TO THE SATISFACTION OF THE LANDLORD AND/OR DESIGNER AT NO ADDITIONAL COST.
7. WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ALL TRIMS, DOORS, FRAMES, WALL OUTLETS, SWITCHES, SURFACE MOUNTED FIXTURES.
8. ALL COMBUSTIBLE MATERIALS AND DEBRIS SHALL BE REMOVED PRIOR TO ANY DEMOLITION WORK.
9. ALL DEMOLITION DEBRIS SHALL BE REMOVED AT LEAST ONCE PER DAY TO MAINTAIN SAFE WORK CONDITIONS. VERIFY METHOD AND LOCATION OF REMOVAL WITH THE LANDLORD PRIOR TO BEGINNING THE WORK. ALL EXISTING MATERIAL AND EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE LANDLORD AND BE GIVEN TO THE LANDLORD OR DISPOSED OF AS DIRECTED BY THE LANDLORD.
10. PROVIDE TEMPORARY LIGHTING AND ELECTRICAL SERVICE IN THE WORK AREA AS REQUIRED TO COMPLETE THE WORK.
11. THE GENERAL CONTRACTOR SHALL REMOVE ANY EXISTING OR NEWLY ABANDONED MATERIALS, EQUIPMENT, PIPING, DUCTS, AND WIRING FROM THE PREMISES. THE GC SHALL CAP SERVICE AT POINT OF ORIGIN AND COORDINATE THIS WORK WITH THE LANDLORD'S OR REPRESENTATIVE.
12. THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION WASTE MANAGEMENT PLAN REDUCING WASTE AT LEAST 50%.



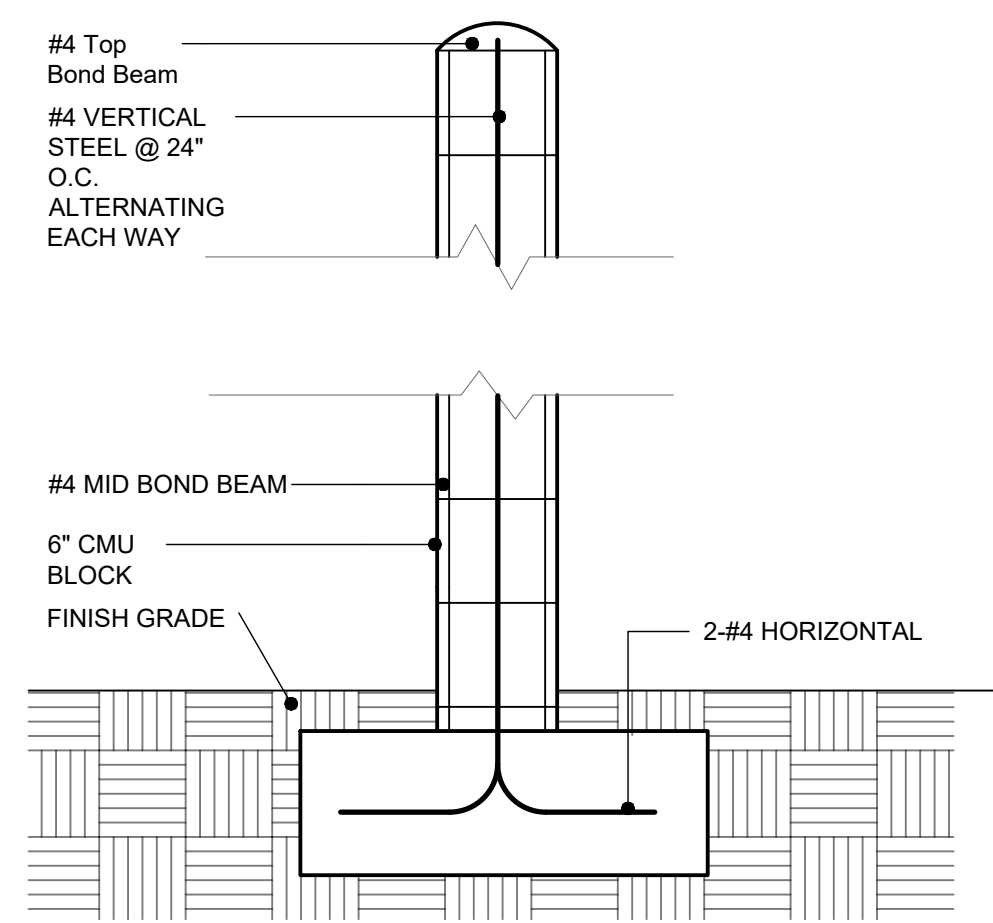
DEMOLITION PLAN
 1/4" = 1'-0"

THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284

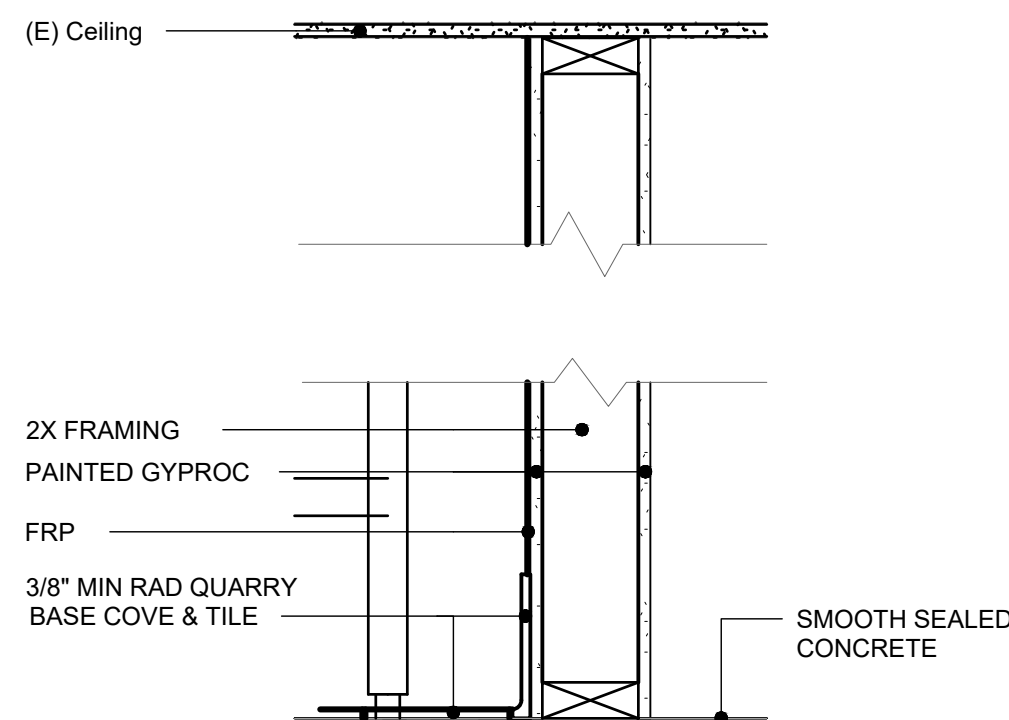
ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
A.5



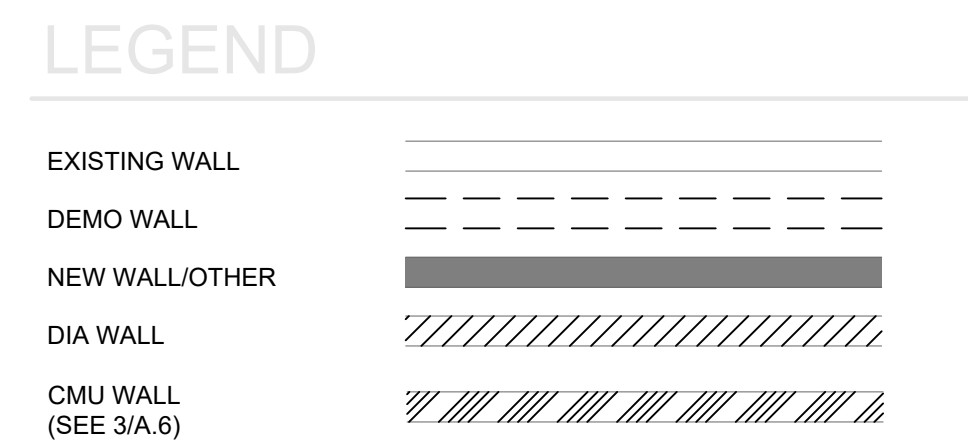
CMU WALL DETAIL 3
1 1/2" = 1'-0"



TYP (N) WALL SECTION 2
1 1/2" = 1'-0"

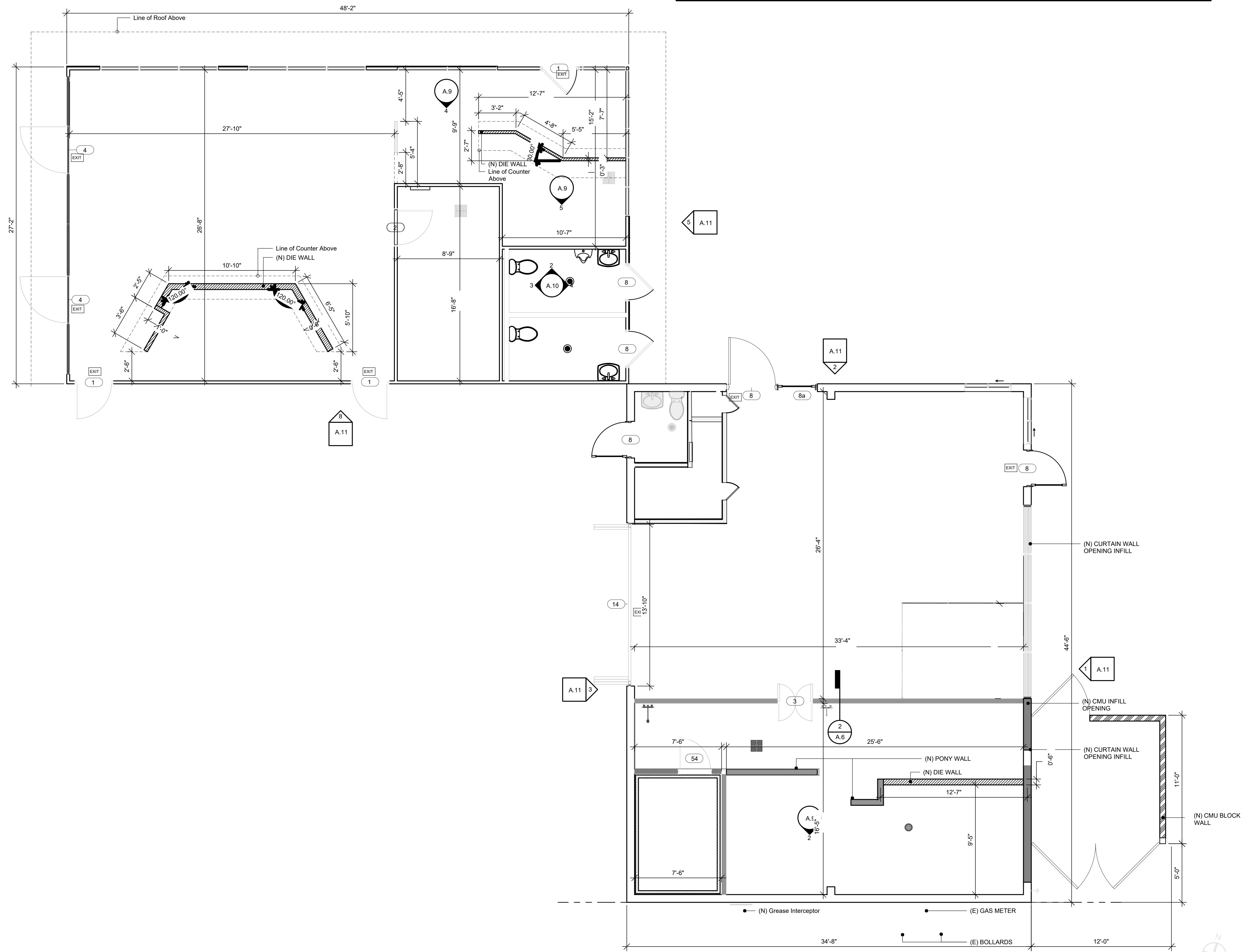
DOOR SCHEDULE						
Mark	Location	Description	Width	Height	Finish	Comments
1	Bar Patio		3' - 0"	7' - 0"	Metal/Glass	Self Closing
1	Bar Patio		3' - 0"	7' - 0"	Metal/Glass	Self Closing
2	Bar/Cafe Storeroom		3' - 0"	7' - 0"	Wood	
3	Kitchen Entrance	2 Leafs, 1'-6"	3' - 0"	7' - 0"		Self Closing
4	Building 1 West Patio		3' - 11"	7' - 6"		Self Closing
4	Building 1 West Patio		3' - 11"	7' - 6"		Self Closing
8	Building 2 North Entrance		4' - 0"	7' - 0"		
8a	Building 2 North Entrance Sidelite	Flexible Outswing Door Sidelite	3' - 3"	7' - 2"		
12	32" x 84"		0' - 0"	0' - 0"		
14	Standard	Wood Framed Folding System	15' - 0"	7' - 0"		
54	Cooler Entrance 34"		2' - 10"	7' - 0"		Nanawall

WINDOW						
Mark	Location	Description	Width	Height	Finish	Comments
1	Coffee Roast/Retail	Curtain Wall	16' - 7"	11' - 6"		
2	Building 2 North Entrance		7' - 10"	3' - 9"		Above Entrance



CONSTRUCTION NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR SHEATHING UNLESS OTHERWISE NOTED.
- READ IN CONJUNCTION WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH AFFECTED AREA OF THE WALL.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING SUBCONTRACTORS BEFORE FRAMING OPENINGS IN WALLS, FLOORS, CEILINGS, ROOF, ETC.
- PROVIDE AND LOCATE ACCESS DOORS AND PANELS IN THE WALL AND CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. CONTRACTOR SHALL COORDINATE LOCATION OF ALL CLEANOUTS WITH EQUIPMENT AND CABINETS. SUBMIT A PLAN OF CLEANOUT LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSPECTION.
- PROVIDE AND INSTALL STIFFENERS, BRACING, BACK UP PLATES, AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED EQUIPMENT OR ACCESSORIES.
- PROVIDE NAILERS, BLOCKING AND GROUNDS WHERE REQUIRED. PROVIDE BLOCKING FOR ALL MOUNTED ITEMS INCLUDING CASEWORK AND SHELVING, BATHROOM ACCESSORIES, LIGHTING TRACKS, ROOF STOPS, VENTS, REGISTERS, ATTIC ACCESS, RAILINGS, HOOKS AND OWNER SUPPLIED EQUIPMENT AND ARTWORK.
- ALL FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL CONFORM TO CLASS C FLAME RESISTANT STANDARDS PER TABLE 803.9 AND SECTION 803.1.
- PANELING MATERIALS ON WALLS OF CORRIDOR, LOBBY, AND EXIT ENCLOSURE SHALL CONFORM TO CLASS C FLAME RESISTANT STANDARDS PER TABLE 803.9 AND SECTION 803.1.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- DOOR HANDLES, LOCK, AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.
- FRONT ENTRY DOORS SHALL REMAINED UNLOCKED WHEN BUILDING IS OCCUPIED.
- ALL EGRESS DOORS SHALL COMPLY WITH SECTION 1008.1.9 - 1008.1.5.12.
- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
- TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4" (1210.2.1).
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. SWING DOORS AND FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES SHALL COMPLY WITH SECTION 2405.



(N) CONSTRUCTION FLOOR PLAN 1
1/4" = 1'-0"

THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

BUILT HOSPITALITY DESIGN
9105 SUNSET BLVD.
WEST HOLLYWOOD, CA
T: 323.857.0409
www.builtinc.com

THE STAR CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE

CONSTRUCTION FLOOR PLAN

SHEET NUMBER

A.6



ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE

PROPOSED FLOOR PLAN

SHEET NUMBER

A.7

LEGEND

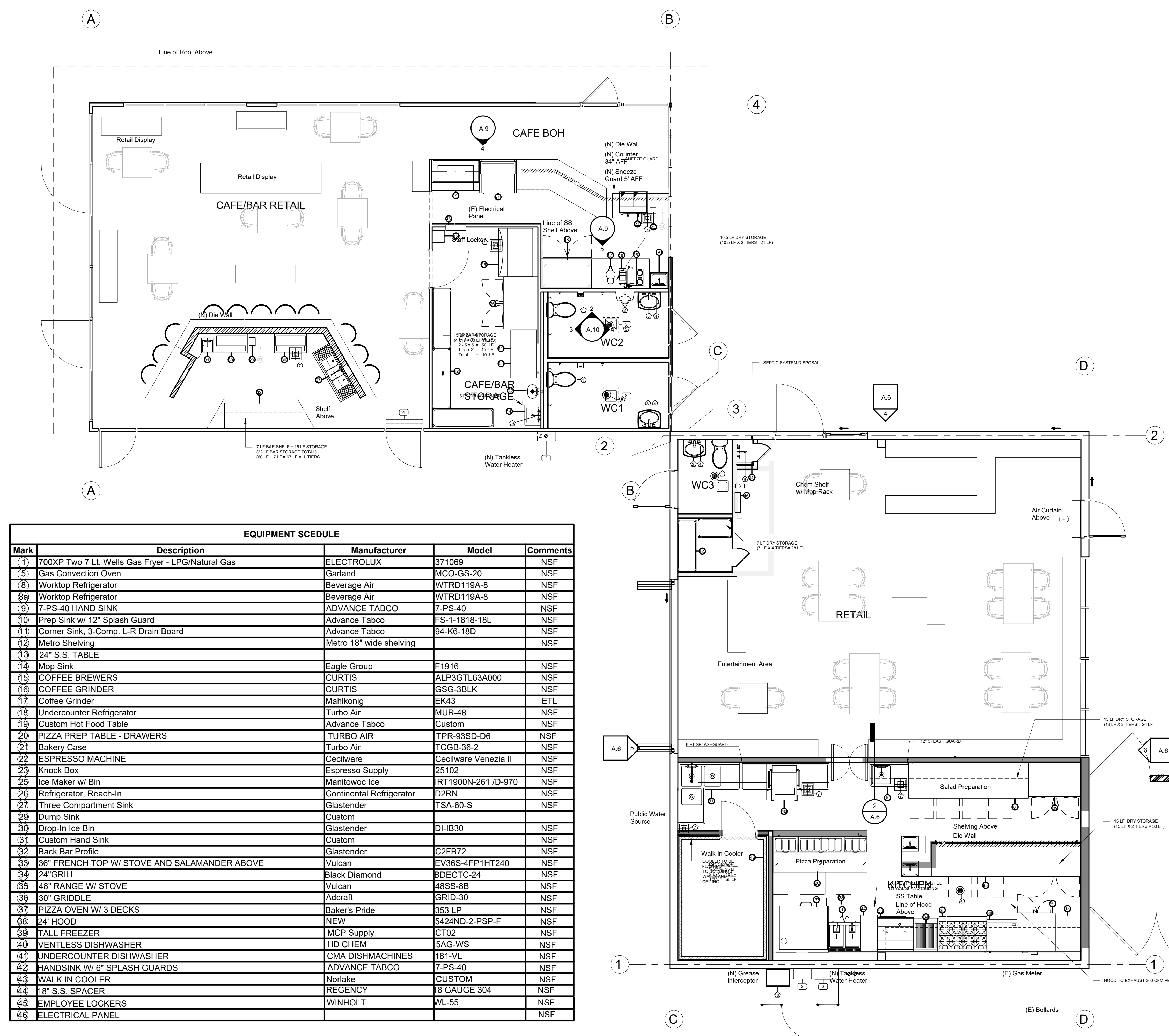
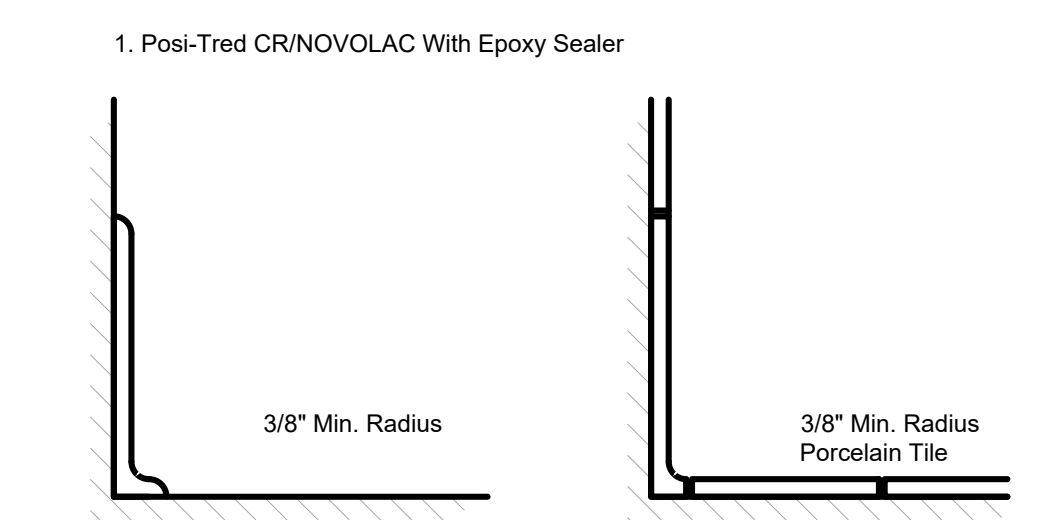
EXISTING WALL	
DEMO WALL	
NEW WALL/OTHER	
DIA WALL	
CMU WALL (SEE 3/A.6)	

NOTES

1. EACH PERMANENT FOOD FACILITY SHALL BE FULLY ENCLOSED IN A BUILDING CONSISTING OF PERMANENT FLOORS, WALLS, AND AN OVERHEAD STRUCTURE THAT MEETS THE MINIMUM STANDARDS.

FLOORS	WALLS			CEILING		BASES	
	SMOOTH SEALED CONCRETE	Quarry Tile	Porcelain Tile	FRP	Painted Plaster	Wood	Porcelain Tile
Cafe	•	•	•	•	•	•	•
Cafe BoH	•	•	•	•	•	•	•
Cafe/Bar Retail	•	•	•	•	•	•	•
Cafe/Bar Storage	•	•	•	•	•	•	•
Retail	•	•	•	•	•	•	•
Dry Storage	•	•	•	•	•	•	•
WC 1	•	•	•	•	•	•	•
WC 2	•	•	•	•	•	•	•
WC 3	•	•	•	•	•	•	•
Kitchen	•	•	•	•	•	•	•
Coffee room	•	•	•	•	•	•	•
Walk in	•	•	•	•	•	•	•

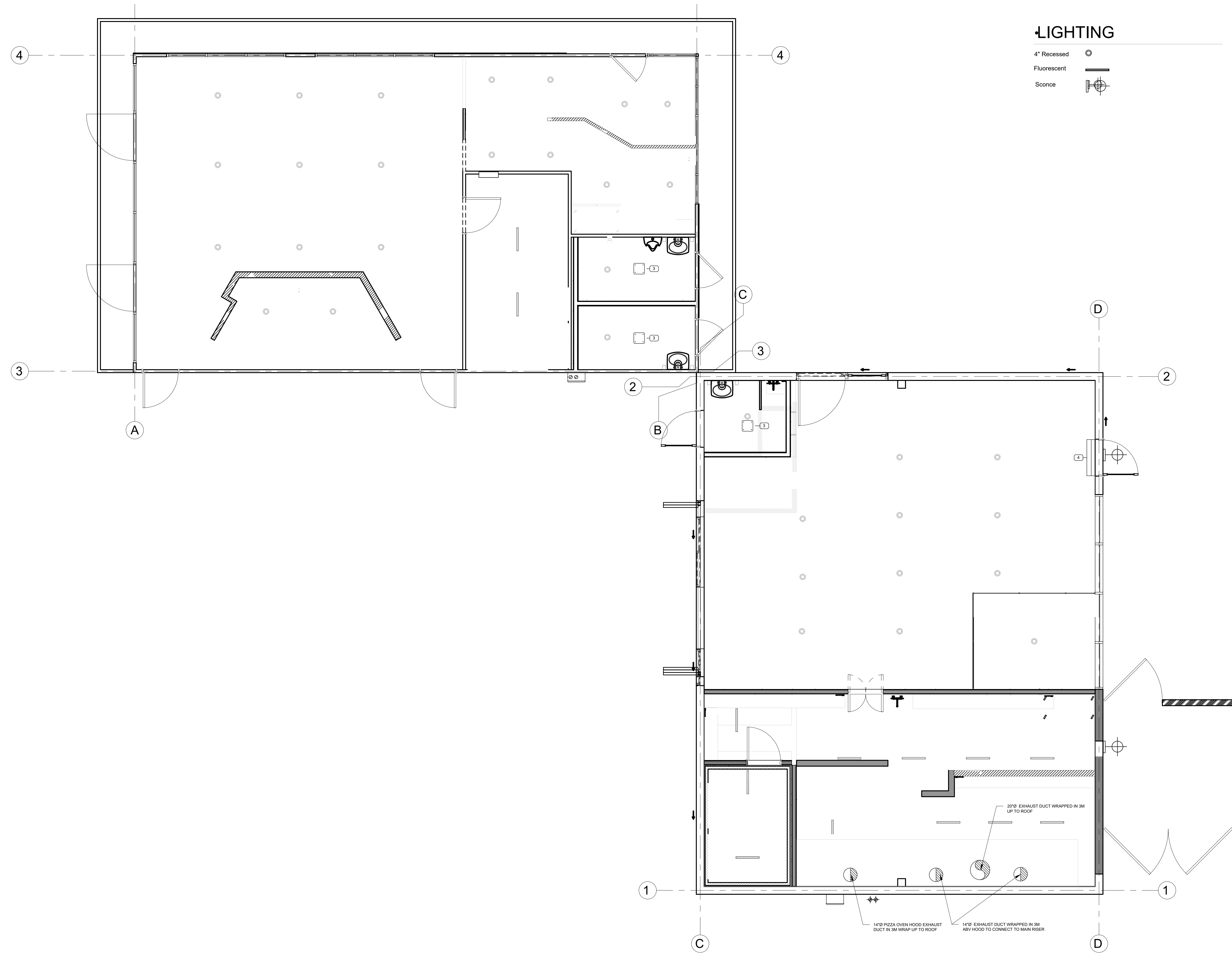
TYPICAL COVE BASE



Mark	Description	Manufacturer	Model	Comments
1	700XP Two 7 Lt. Wells Gas Fryer - LPG/Natural Gas	ELECTROLUX	371069	NSF
5	Gas Convection Oven	Garland	MCO-GS-20	NSF
8	Worktop Refrigerator	Beverage Air	WTRD119A-8	NSF
8a	Worktop Refrigerator	Beverage Air	WTRD119A-8	NSF
9	7-PS-40 HAND SINK	ADVANCE TABCO	7-PS-40	NSF
10	Prep Sink w/ 12" Splash Guard	Advance Tabco	FS-1-1818-18L	NSF
11	Corner Sink, 3-Comp. L-R Drain Board	Advance Tabco	94-K6-18D	NSF
12	Metro Shelving	Metro	18" wide shelving	NSF
13	24" S.S. TABLE			
14	Mop Sink	Eagle Group	F1916	NSF
15	COFFEE BREWERS	CURTIS	ALP3GTL63A000	NSF
16	COFFEE GRINDER	CURTIS	GSG-3BLK	NSF
17	Coffee Grinder	Mahkonig	EK43	ETL
18	Undercounter Refrigerator	Turbo Air	MUR-48	NSF
19	Custom Hot Food Table	Advance Tabco	Custom	NSF
20	PIZZA PREP TABLE - DRAWERS	TURBO AIR	TPR-93SD-D6	NSF
21	Bakery Case	Turbo Air	TCGB-36-2	NSF
22	ESPRESSO MACHINE	Cecilware	Cecilware Venezia II	NSF
23	Knock Box	Espresso Supply	25102	NSF
25	Ice Maker w/ Bin	Manitowoc Ice	IRT1900N-261 /D-970	NSF
26	Refrigerator, Reach-In	Continental Refrigerator	D2RN	NSF
27	Three Compartment Sink	Glastender	TSA-60-S	NSF
29	Dump Sink	Custom		
30	Drop-In Ice Bin	Glastender	DI-B30	NSF
31	Custom Hand Sink	Custom		
32	Back Bar Profile	Glastender	C2FB72	NSF
33	36" FRENCH TOP W/ STOVE AND SALAMANDER ABOVE	Vulcan	EV36S-4FP1HT240	NSF
34	24" GRILL	Black Diamond	BDECTC-24	NSF
35	48" RANGE W/ STOVE	Vulcan	48SS-8B	NSF
36	30" GRIDDLE	Adcraft	GRID-30	NSF
37	PIZZA OVEN W/ 3 DECKS	Baker's Pride	353 LP	NSF
38	24" HOOD	NEW	5424ND-2-PSP-F	NSF
39	TALL FREEZER	MCP Supply	CT02	NSF
40	VENTLESS DISHWASHER	HD CHEM	5AG-WS	NSF
41	UNDERCOUNTER DISHWASHER	CMA DISHMACHINES	181-VL	NSF
42	HANDSINK W/ 6" SPLASH GUARDS	ADVANCE TABCO	7-PS-40	NSF
43	WALK IN COOLER	Norlake	CUSTOM	NSF
44	18" S.S. SPACER	REGENCY	18 GAUGE 304	NSF
45	EMPLOYEE LOCKERS	WINHOLT	WL-55	NSF
46	ELECTRICAL PANEL			NSF

Mark	Description	Manufacturer	Model	Comments
2	Tankless Water Heater	TAKAGI	T-H3-DV-N	
3	Bathroom Ventilation Fan	ReVent	RVS50	
4	Air Curtain	Curtron Air-Pro	AP-2-36-1-SS	

Mark	Description	Manufacturer	Model	Comments
1	Comfort Height one-piece elongated 1.28 gpf toilet	KOHLER Co.	K-3946-RA	
2	Urinal	KOHLER Co.	0	
3	Pinor Wall-mount bathroom sink with 8in widespread faucet holes	Kohler	2035-8-0	
4	Widespread bathroom sink faucet	KOHLER Co.	K-24857-4-CP	
5	Floor Drain	TBD	TBD	
7	Floor Sink	WATTS	FS-742	
8	Face Mount Faucet	Advance Tabco	K-101	
9	Mop Sink Service Faucet	Advance Tabco	K-240	
10	Grease Interceptor	ENDURA	3950A03	



REFLECTED CEILING PLAN₁
 1/4" = 1'-0"

SHEET DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE

**RCP -
 LIGHTING**

SHEET NUMBER

A.8



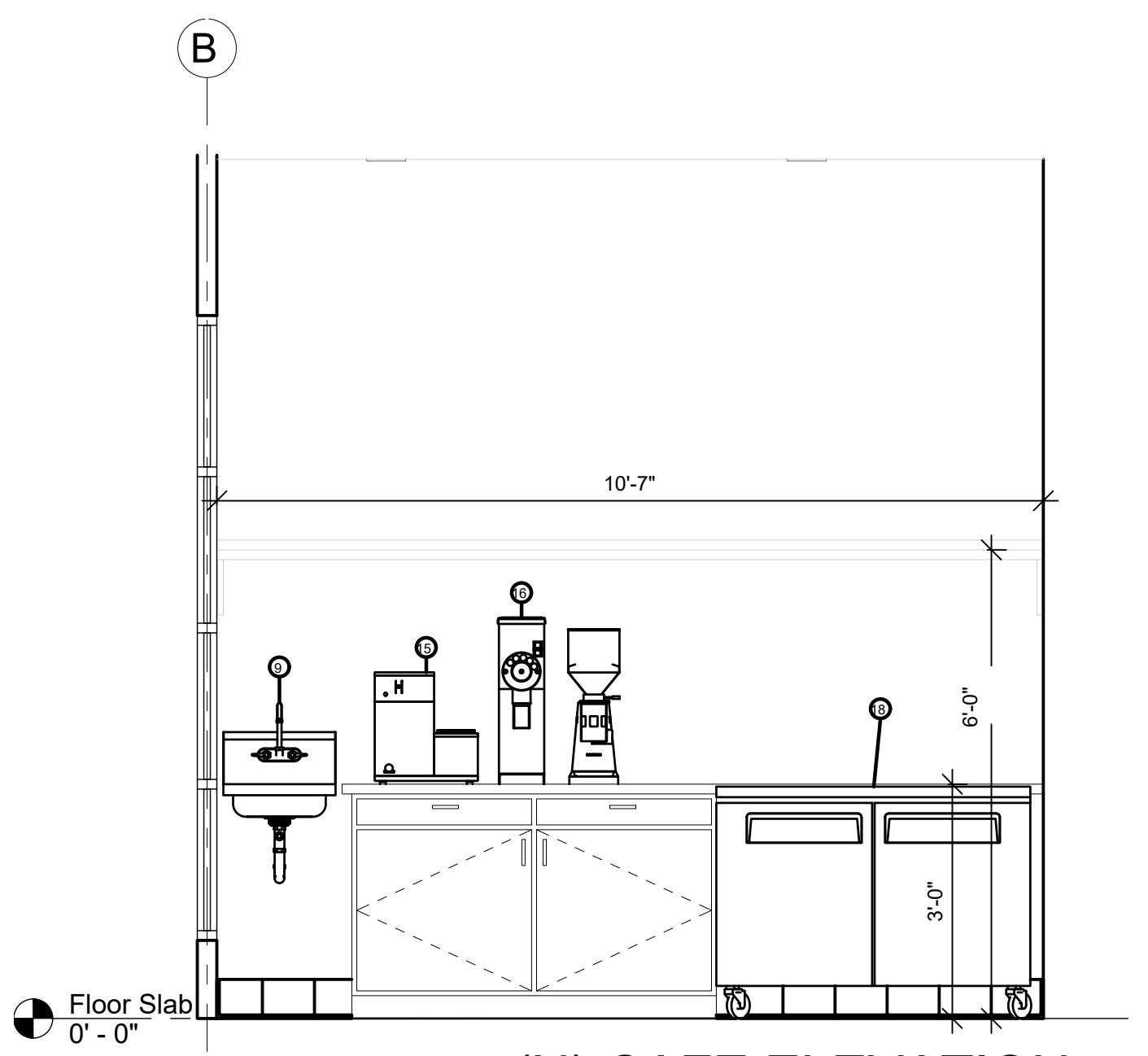
DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE

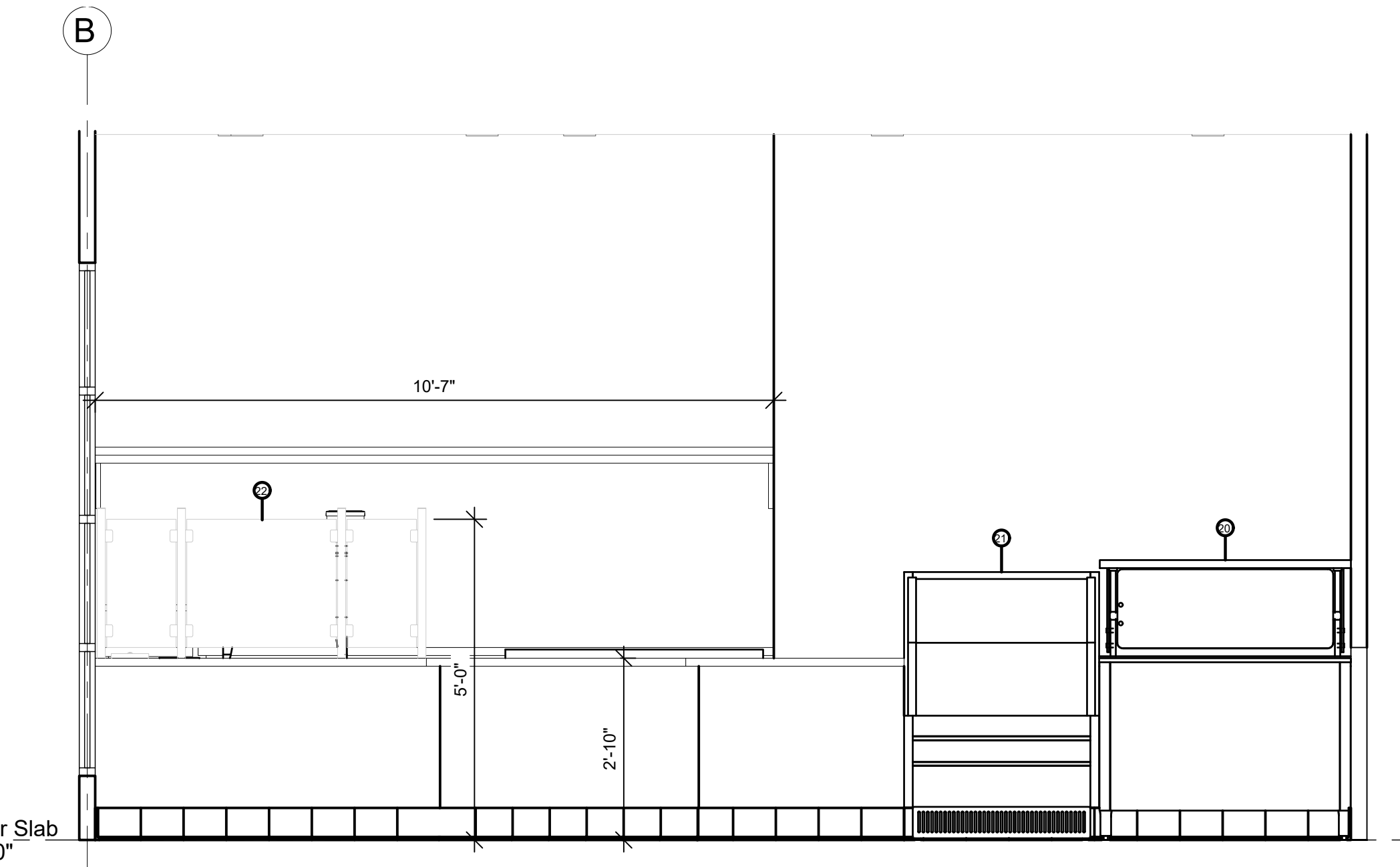
**DETAILS -
 KITCHEN/CAFE**

SHEET NUMBER

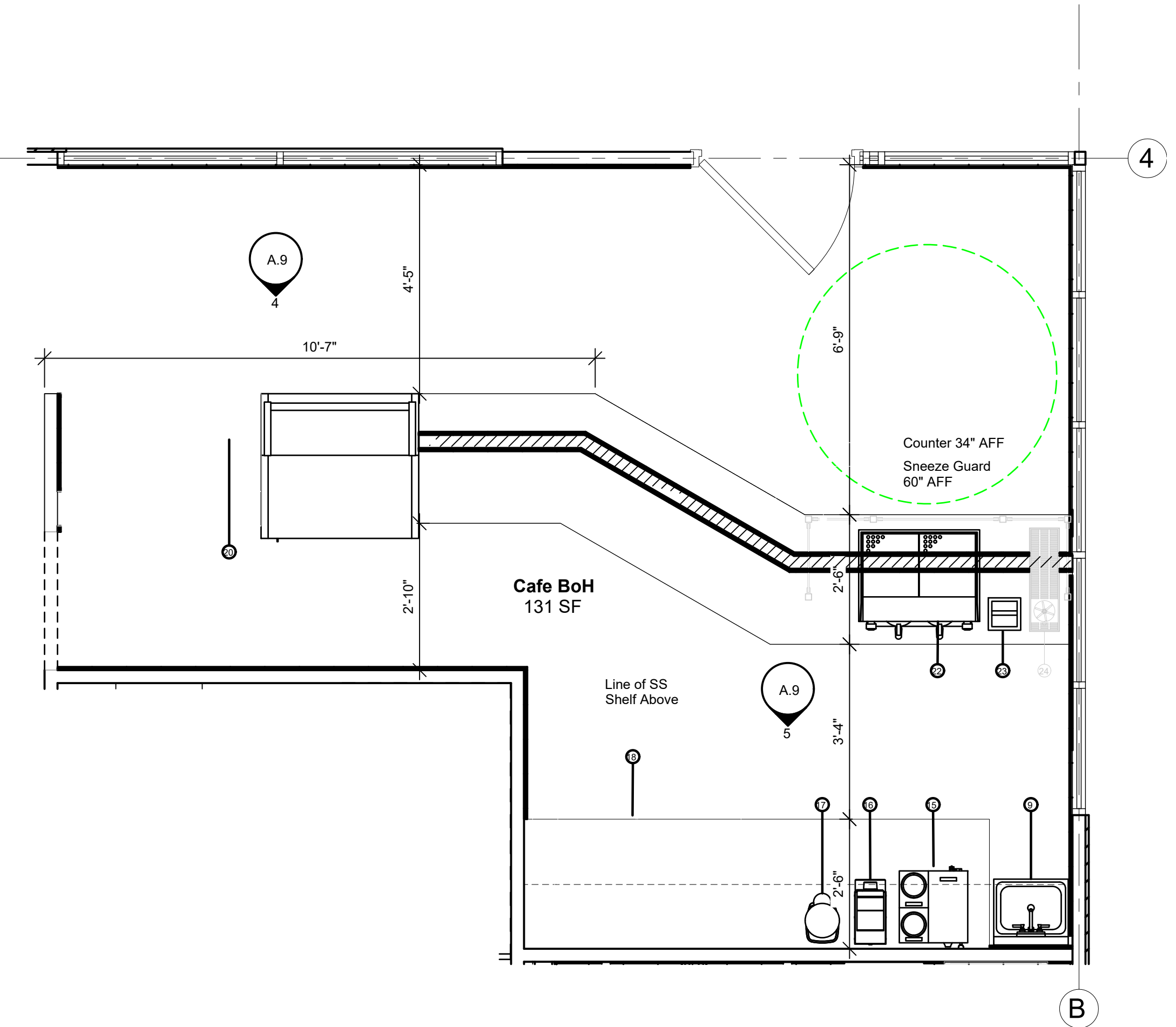
A.9



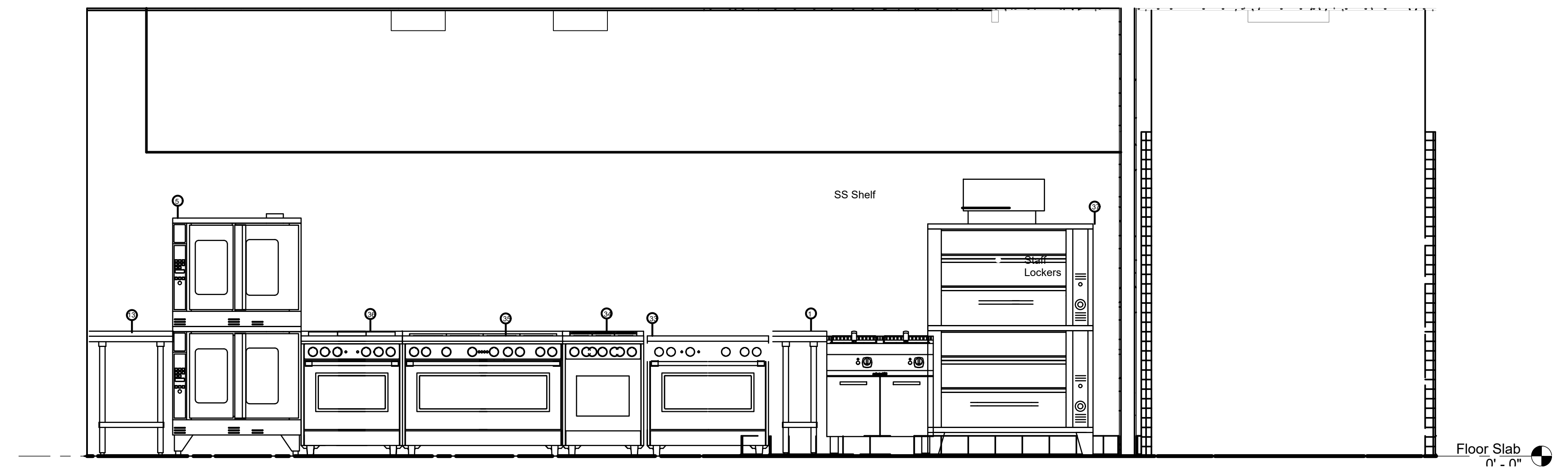
(N) CAFE ELEVATION 5
 1/2" = 1'-0"



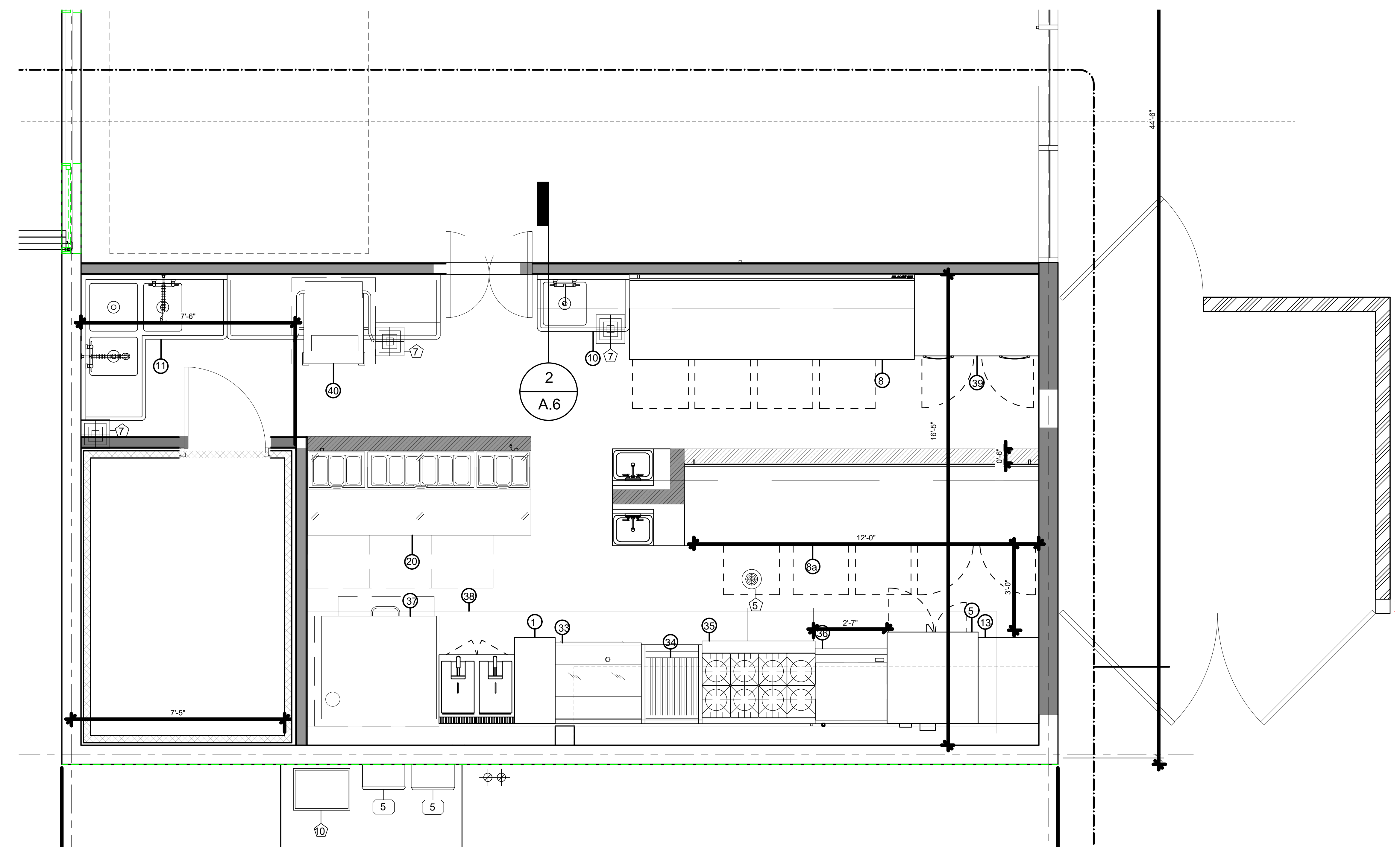
(N) CAFE ELEVATION 4
 1/2" = 1'-0"



(N) PROPOSED CAFE PLAN 3
 1/2" = 1'-0"



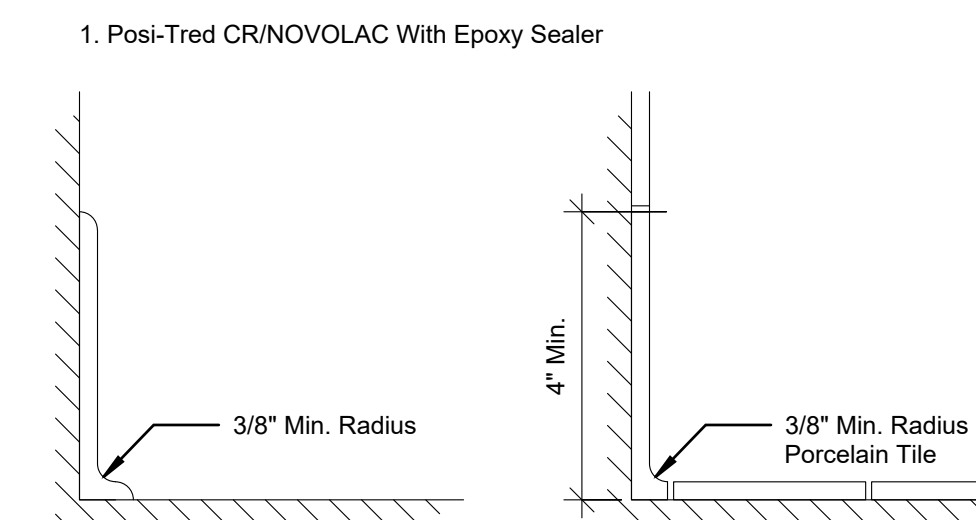
(N) PROPOSED KITCHEN ELEVATION 2
 1/2" = 1'-0"



(N) PROPOSED KITCHEN PLAN 1
 1/2" = 1'-0"



TYPICAL COVE BASE



HEALTH DEPARTMENT NOTES

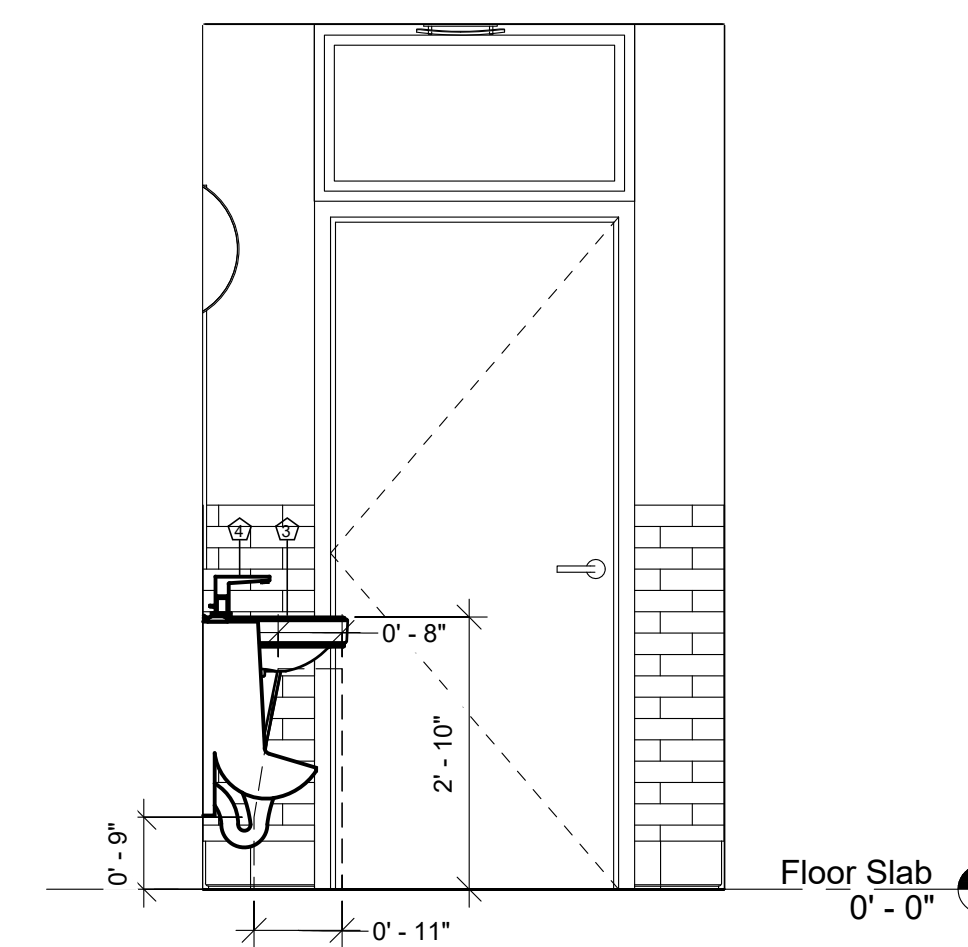
1. COVE BASE SHALL BE MINIMUM 3/8" RADIUS AND MINIMUM 4" HIGH
2. FLOOR SHALL BE SMOOTH, DURABLE, EASY TO CLEAN AND NON-ABSORBANT.
3. PROVIDE MINIMUM OF 50 FOOTCANDLES OF LIGHT, MEASURED 30" ABOVE THE FLOOR IN
4. ALL FOOD PREP AREAS, STOREROOM AND RESTROOMS.
5. ALL EXIT / ENTRANCE DOORS MUST BE RODENT PROOF, TIGHT FITTING AND SELF-CLOSING
6. EXISTING VENTILATION RATES COMPLY WITH SECTION 403 OF 2016 CMC FOOD FACILITY IS FULLY ENCLOSED.
7. ALL WINDOWS ARE FIXED.
8. RESTROOM AND EXIT DOORS MUST HAVE SELF-CLOSERS, PROVIDE EXHAUST FAN IN TOILET ROOMS INTERLOCKED WITH LIGHT SWITCH.
9. ALL ICE BINS SHALL HAVE SLIDING LIDS
10. ALL HAND SINKS SHALL HAVE 6" SPLASH GUARDS ON BOTH SIDES
11. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.

FINISH NOTES

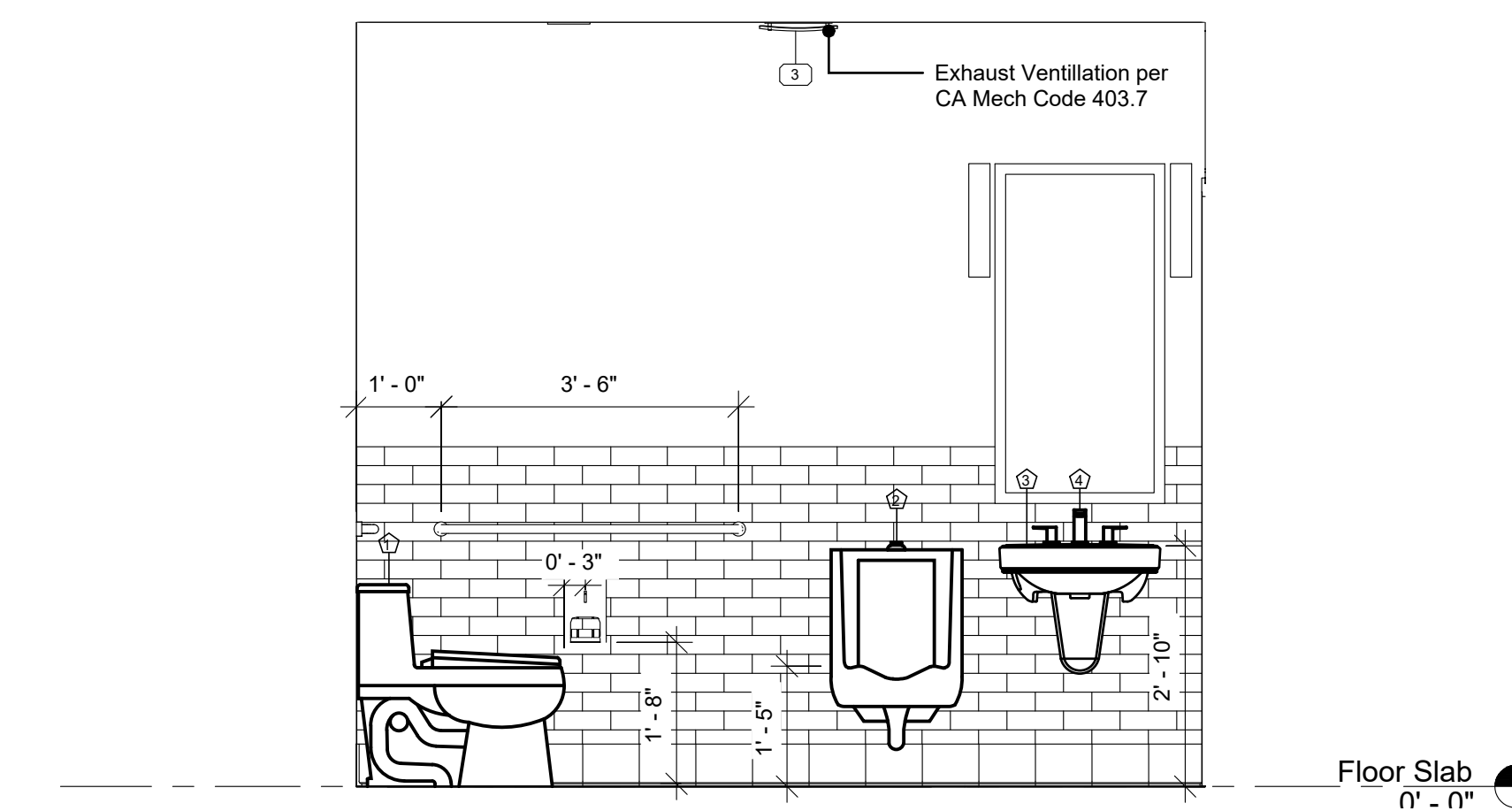
1. PORCELAIN TILE COVE BASE: TIME 2.0, SILVER, THROUGH BODY PORCELAIN P36C9
2. PAINT (BACK OF HOUSE): FRAZEE SEMI-GLOSS ENAMEL, COLOR: WHITE WHITE
3. ALL IN FOOD AREAS TO HAVE A LIGHT REFLECTIVE VALUE OF NOT LESS THAN 70%
4. KITCHEN CEILING SHALL BE SMOOTH, CLEANABLE, DURABLE, AND NON-ABSORBENT, AND OF LIGHT COLOR WITH LIGHT REFLECTIVE VALUE OF 70% OR GREATER (GLOSS OR SEMI-GLOSS).
5. ALL FINISHES BEHIND ALL SINKS AND EQUIPMENT AT BARS SHALL BE MOISTURE RESISTANT
6. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.

KEY PLAN CHECK ITEMS

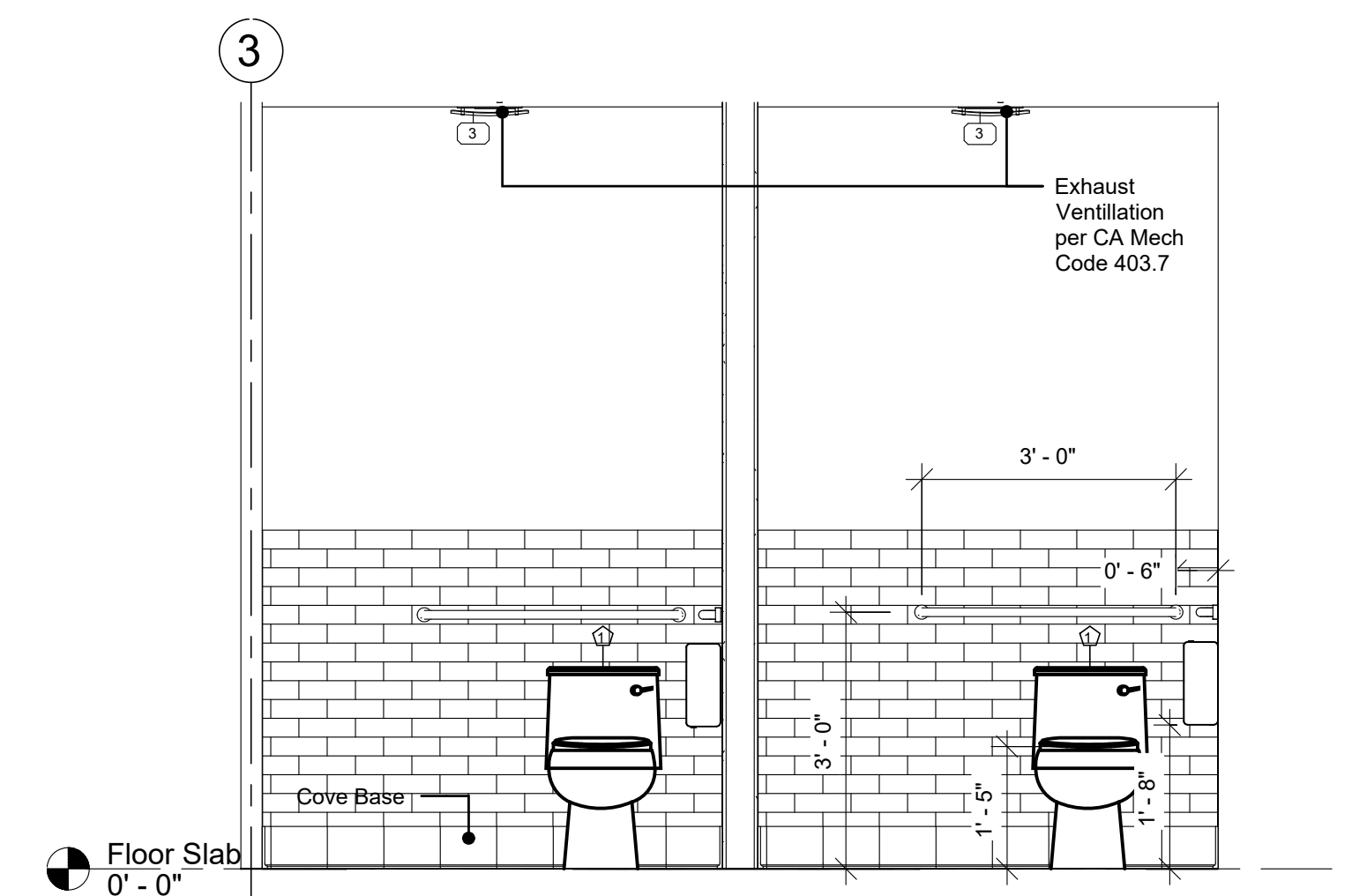
1. SOAP AND TOWEL DISPENSERS LOCATED AT EACH HAND SINK
2. EXHAUST FANS FOR RESTROOMS AND DRESSING AREAS ARE PROVIDED OF THE PROPER SIZE AND QUANTITY OF AIR FLOW AND BE OPERATED BY ROOM LIGHT SWITCH. ALL SYSTEMS TO BE CAPABLE TO KEEP ALL AREAS FREE FROM EXCESSIVE HEAT, STEAM, CONDENSATION, SMOKE AND VAPORS AND TO PROVIDE TEMPERED AIR FOR A REASONABLE COMFORT FOR ALL EMPLOYEES/CUSTOMERS ON PREMISES.
3. DISHWASHING - NSF STANDARD #3 APPROVED MANUFACTURED LOW TEMP CHEMICALLY SANITIZED WITH +140 DEGREE F WATER AND CHEMICAL.
4. LIGHTING REQUIREMENTS - LIGHTING SHALL BE PROVIDED - AT WALK INS AND DRY STORAGE AREAS WITH A MINIMUM OF 10 FOOT CANDLES OF LIGHT AT 30" AFF; AT CUSTOMER SELF SERVICE, WHERE FRESH PRODUCE/PREPACKAGED FOODS ARE OFFERED, INSIDE EQUIPMENT AREAS, HAND WASHING, WARE WASHING, EQUIPMENT, UTENSIL, AND REST ROOMS WITH A MINIMUM OF 20 FOOT CANDLES OF LIGHT AT 30" AFF; AT FOOD PREP/COOKING AREAS WHERE EMPLOYEES WORK WITH FOOD, UTENSILS, KNIVES, SLICERS, GRINDERS ETC. WITH A MINIMUM OF 50 FOOT CANDLES OF LIGHT AT 30" AFF. ALL LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER RESISTANT IN AREAS WHERE OPEN FOOD, READY TO EAT FOODS, CLEAN EQUIPMENT AND LINENS OR UNWRAPPED SINGLE USE ARTICLES (CRFC-11452.1).
5. GARBAGE AND TRASH AREA - SHOWN ON PLOT PLAN SHEET



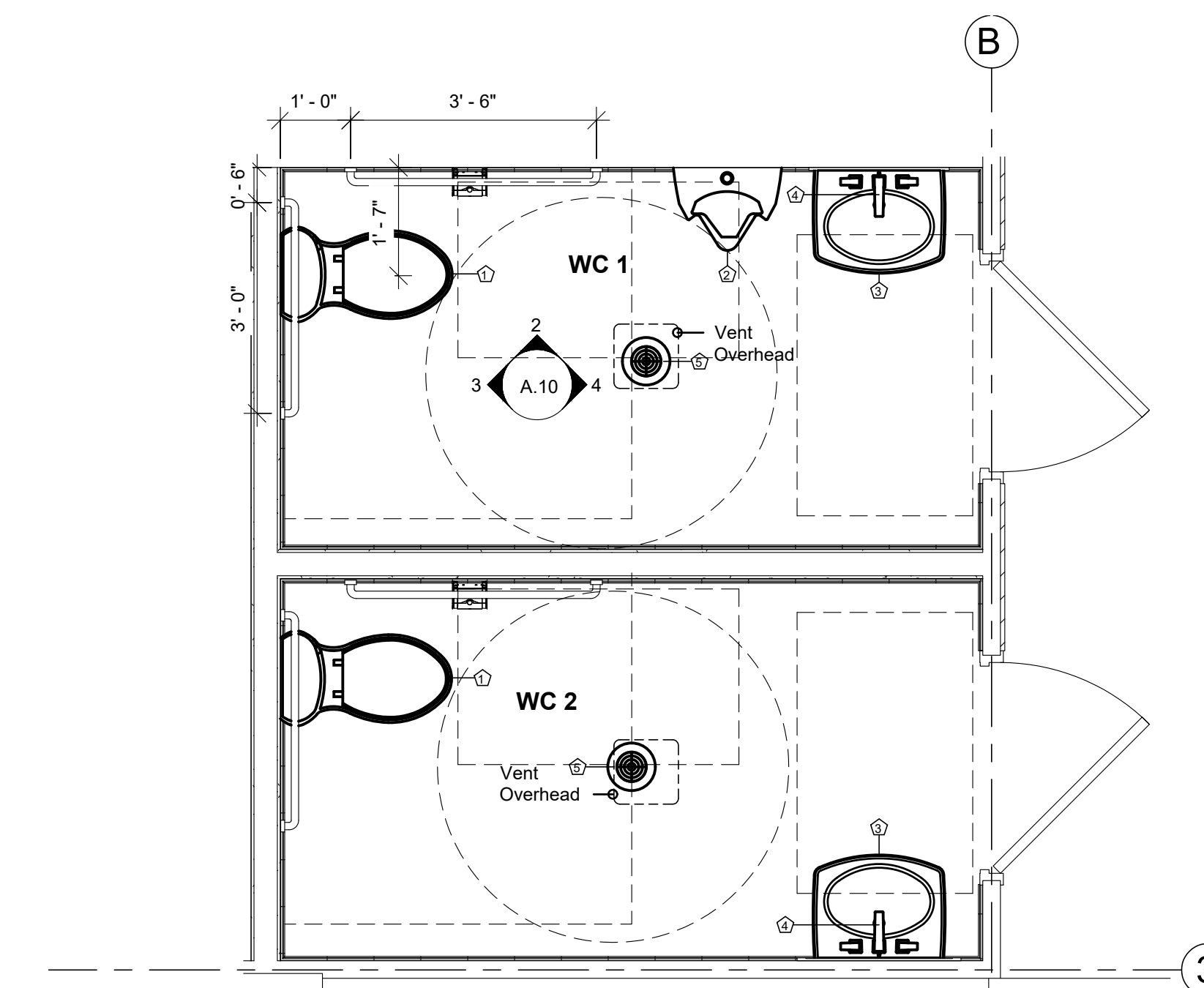
(N) WC 1 ELEVATION 4
 1/2" = 1'-0"



(N) WC 1 SOUTH ELEVATION 2
 1/2" = 1'-0"



(N) WC 1/WC 2 EAST ELEVATION 3
 1/2" = 1'-0"



(N) WC-1/WC-2 PLAN 1
 1/2" = 1'-0"

THE STAR CAFE
 55761 TWENTYNINE PALMS HWY.
 YUCCA VALLEY, CA 92284

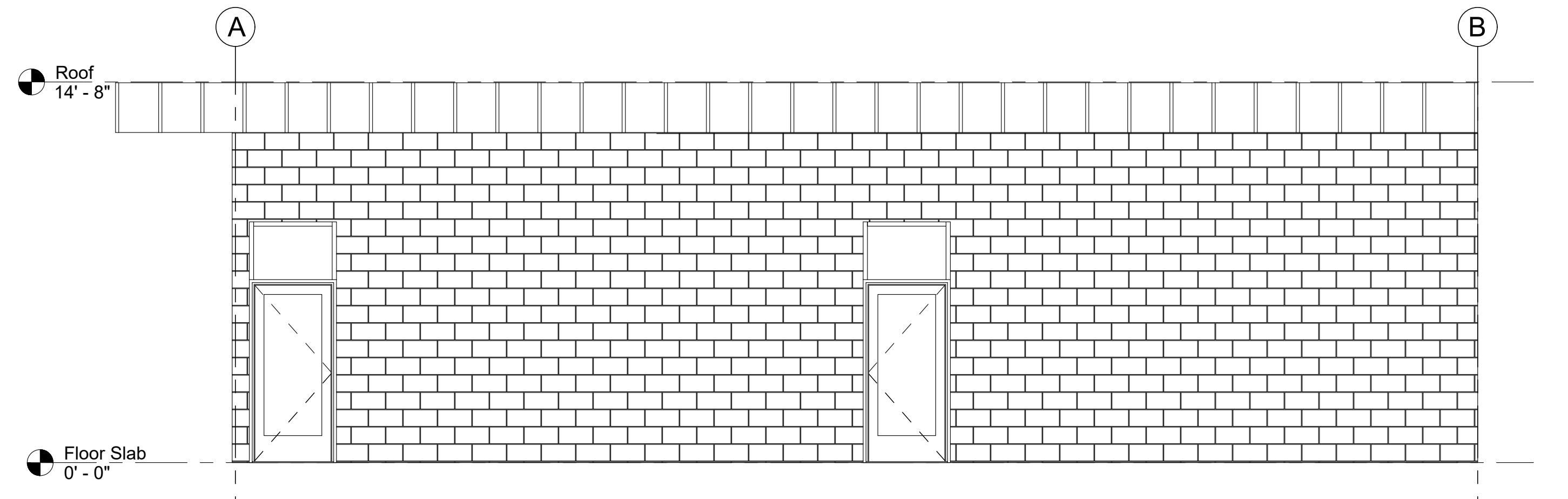
ISSUE DATE	NOTE
12/08/22	PLANNING SUB 1

SHEET TITLE

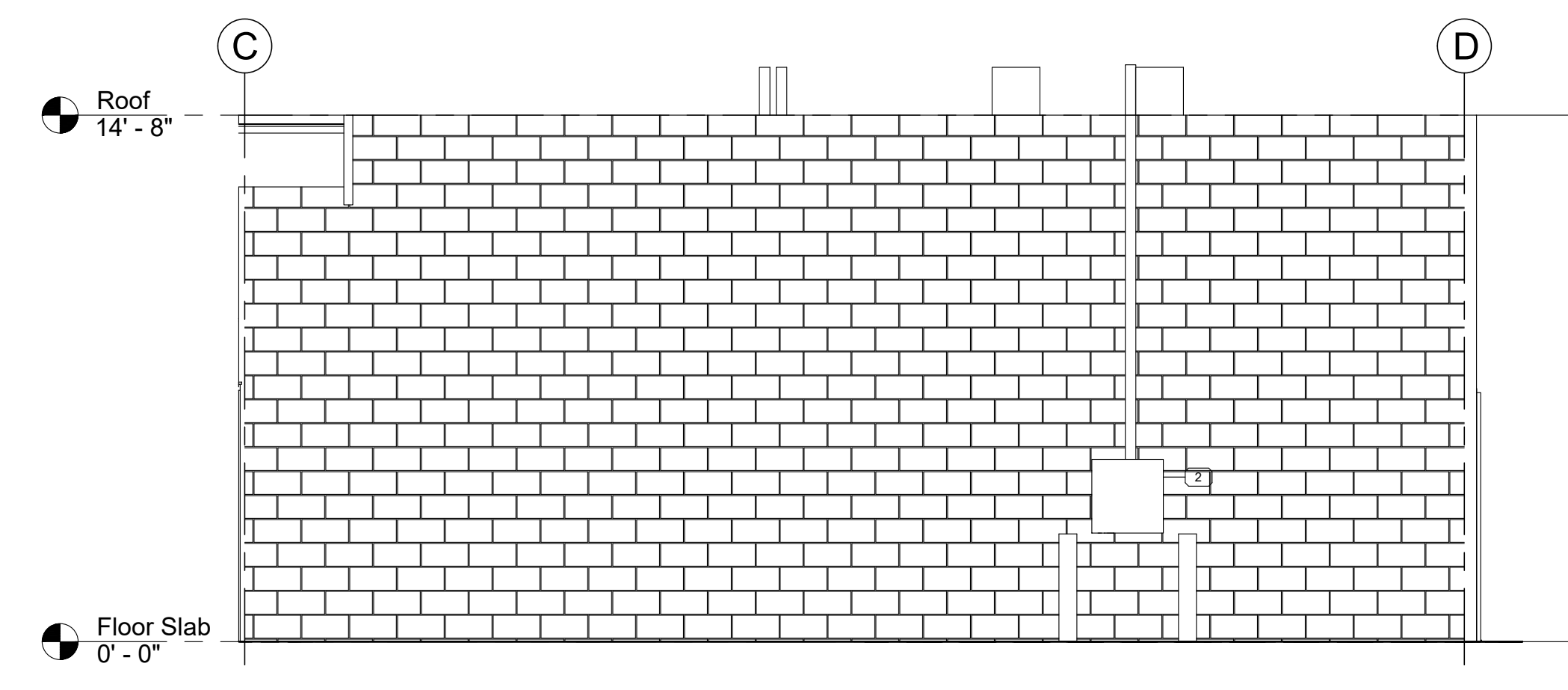
WC1 DETAILS

SHEET NUMBER

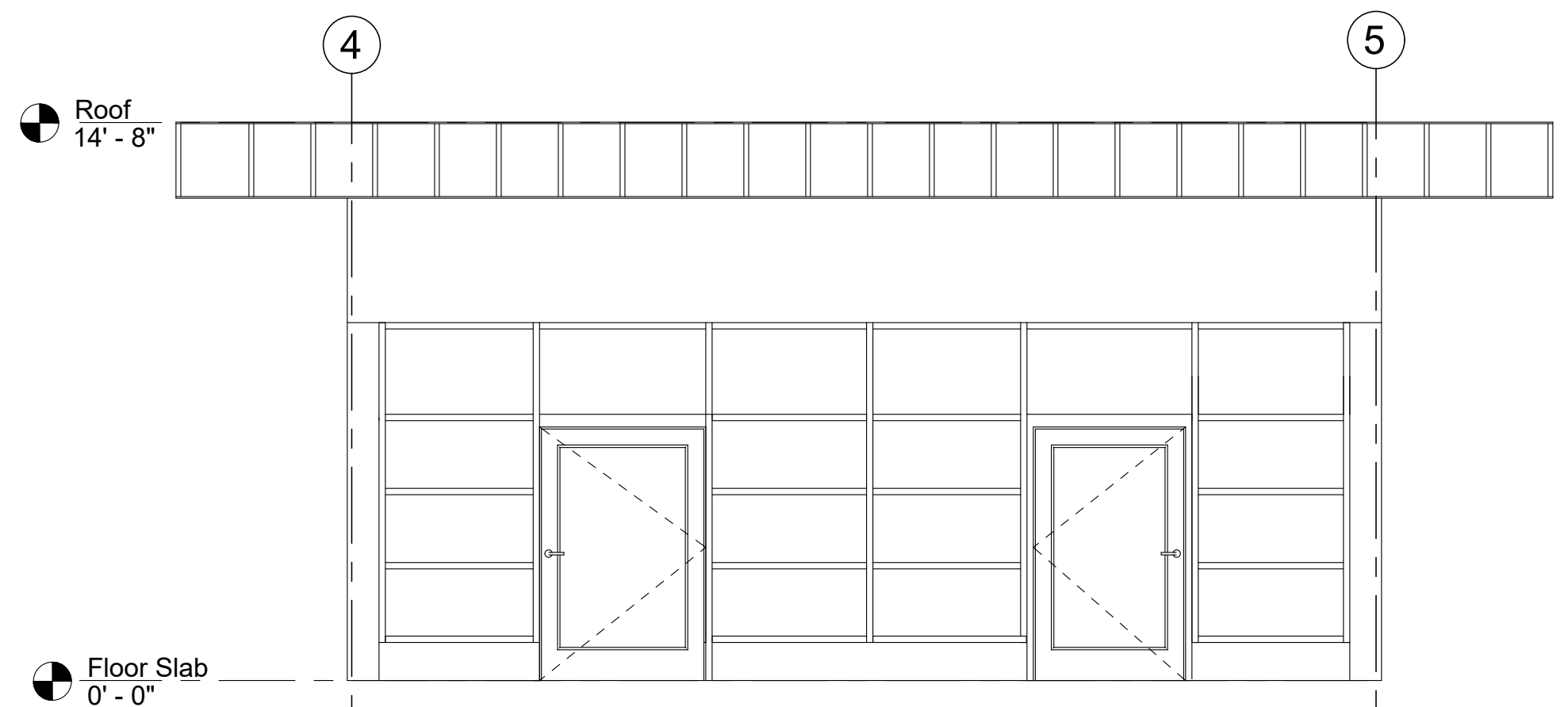
A.10



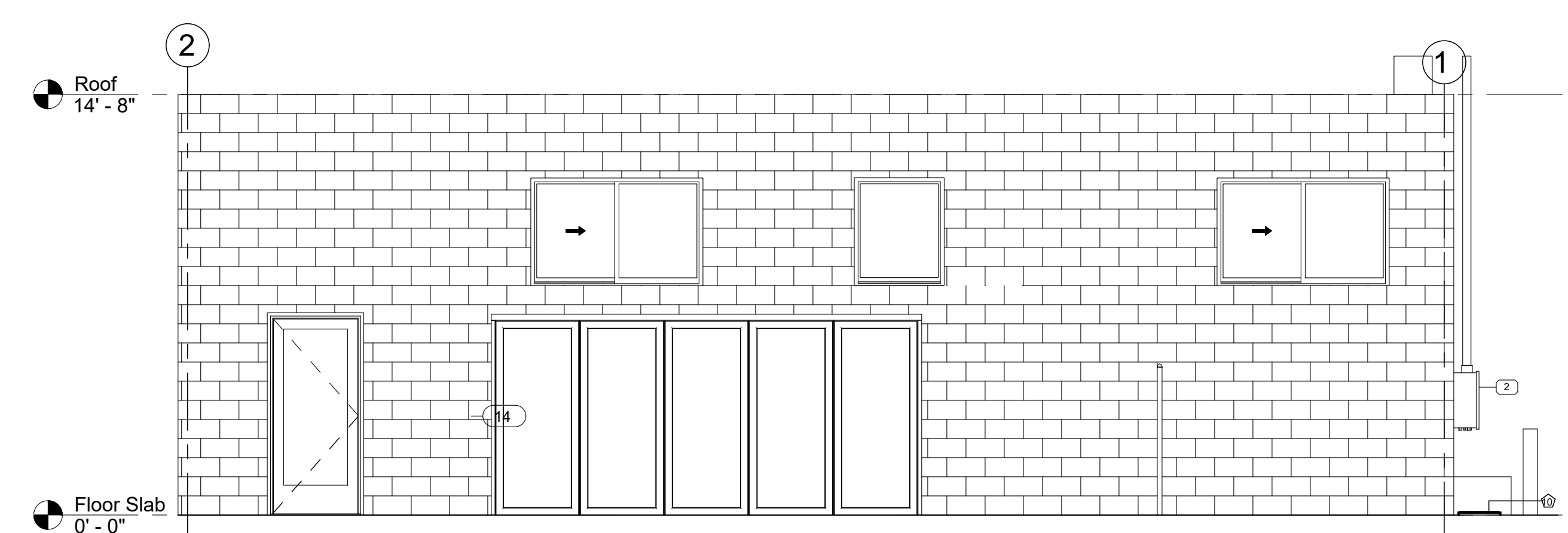
BLDG 1 South Elevation 8
 1/4" = 1'-0"



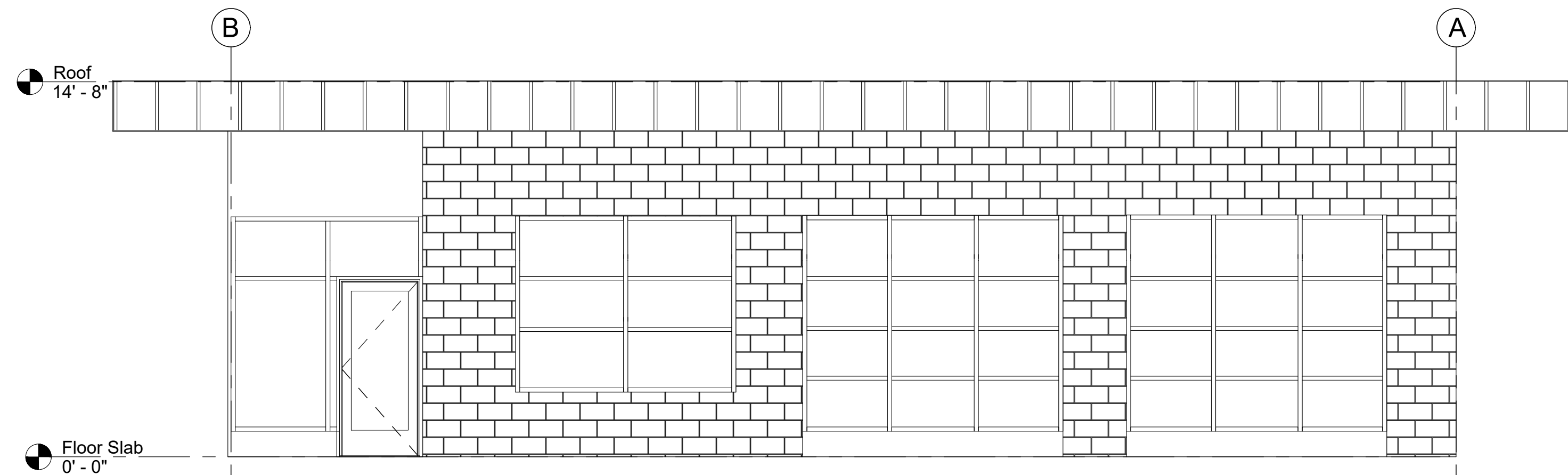
BLDG 2 South Elevation 4
 1/4" = 1'-0"



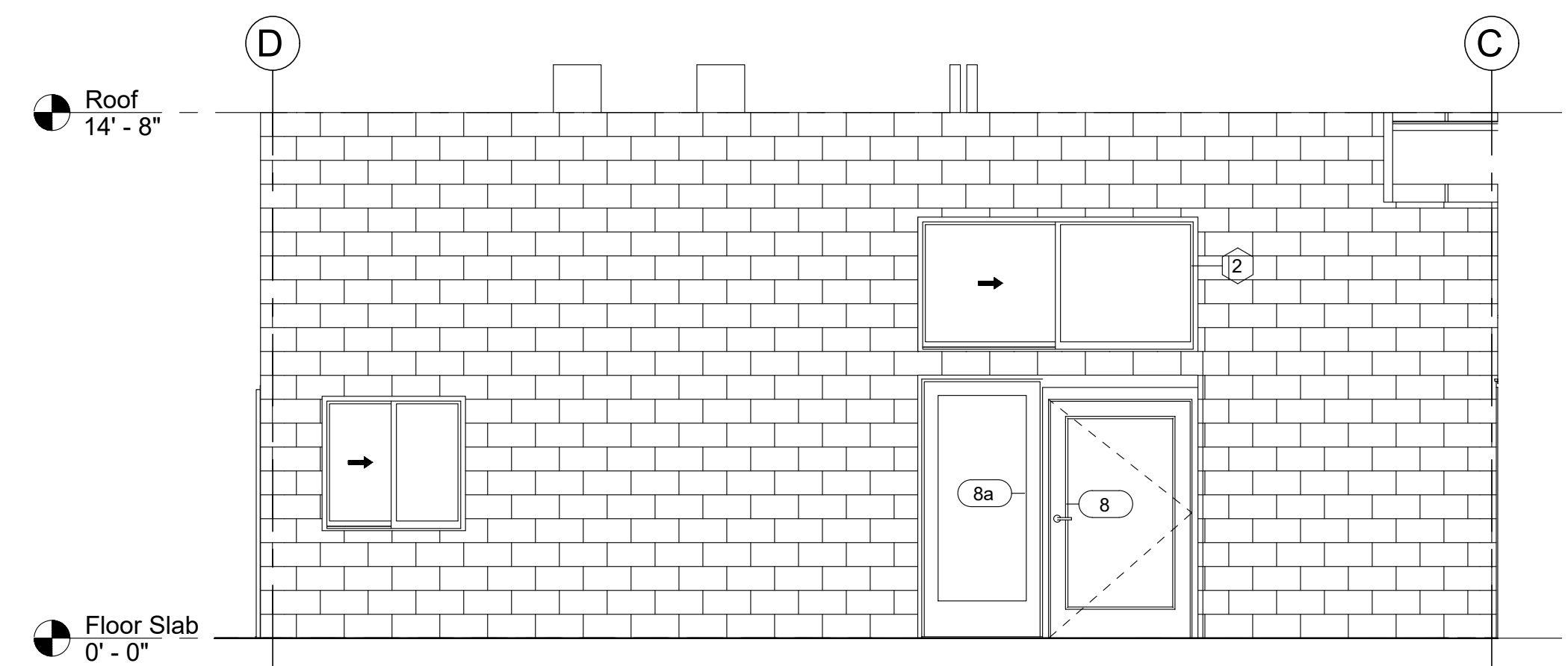
BLDG 1 West Elevation 7
 1/4" = 1'-0"



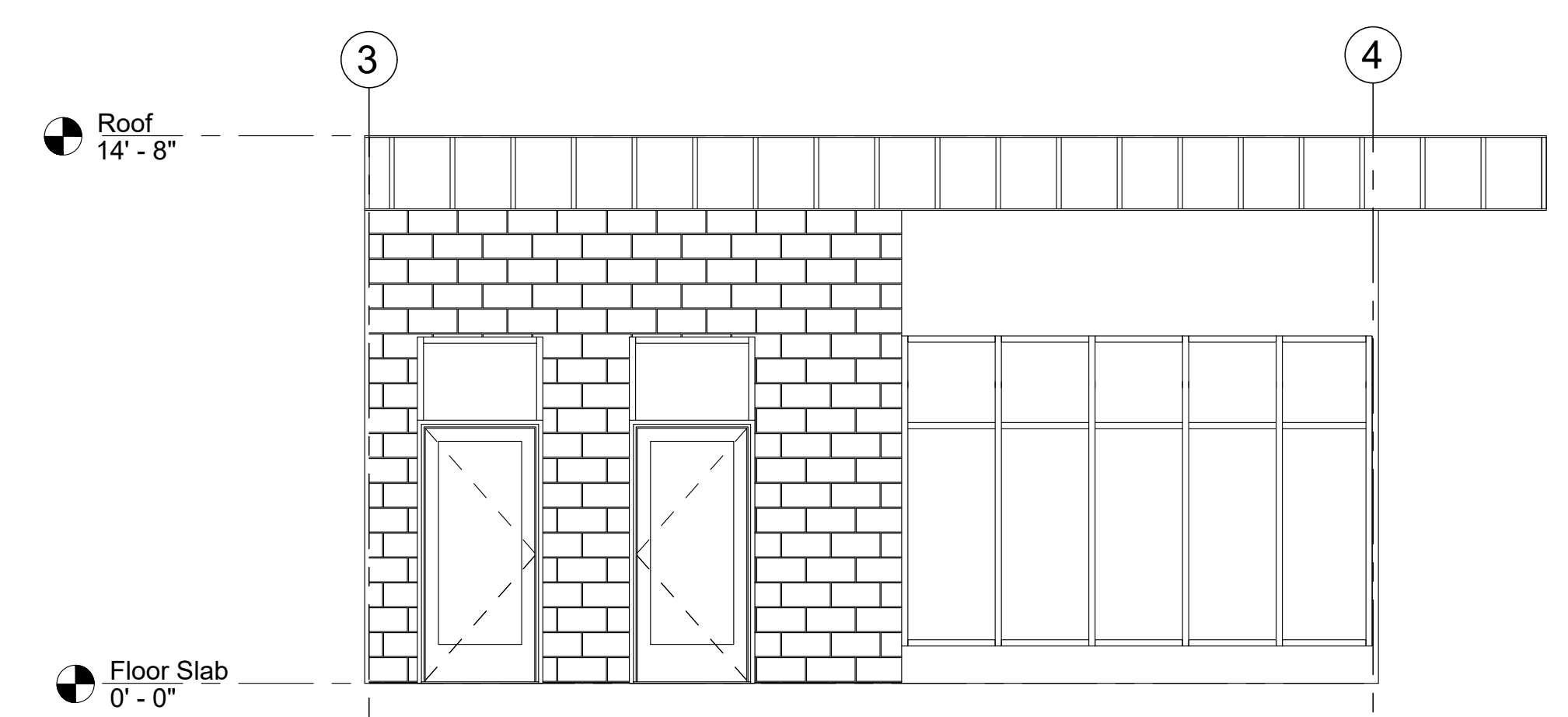
BLDG 2 West Elevation 3
 1/4" = 1'-0"



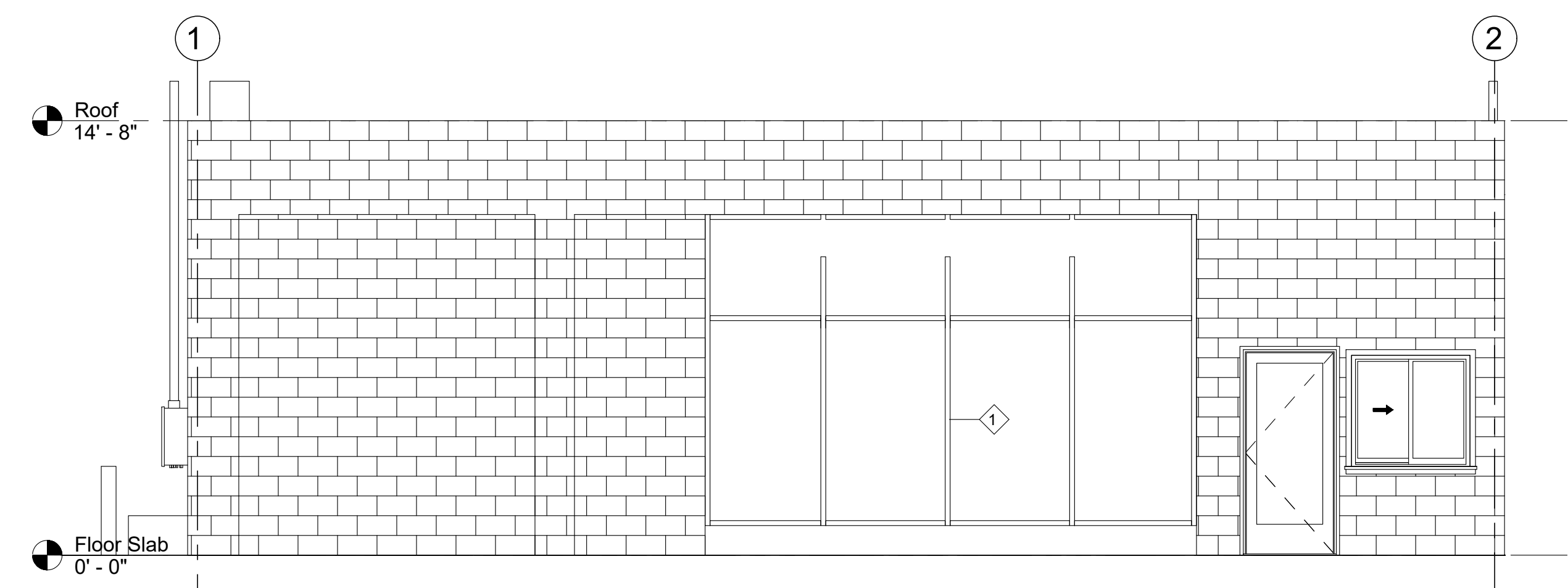
BLDG 1 North Elevation 6
 1/4" = 1'-0"



BLDG 2 NORTH ELEVATION 2
 1/4" = 1'-0"



BLDG 1 East Elevation 5
 1/4" = 1'-0"

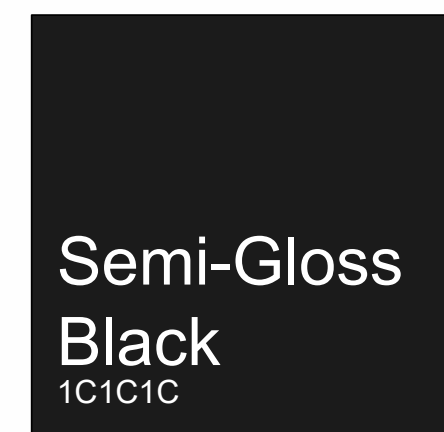


BLDG 2 EAST ELEVATION 1
 1/4" = 1'-0"

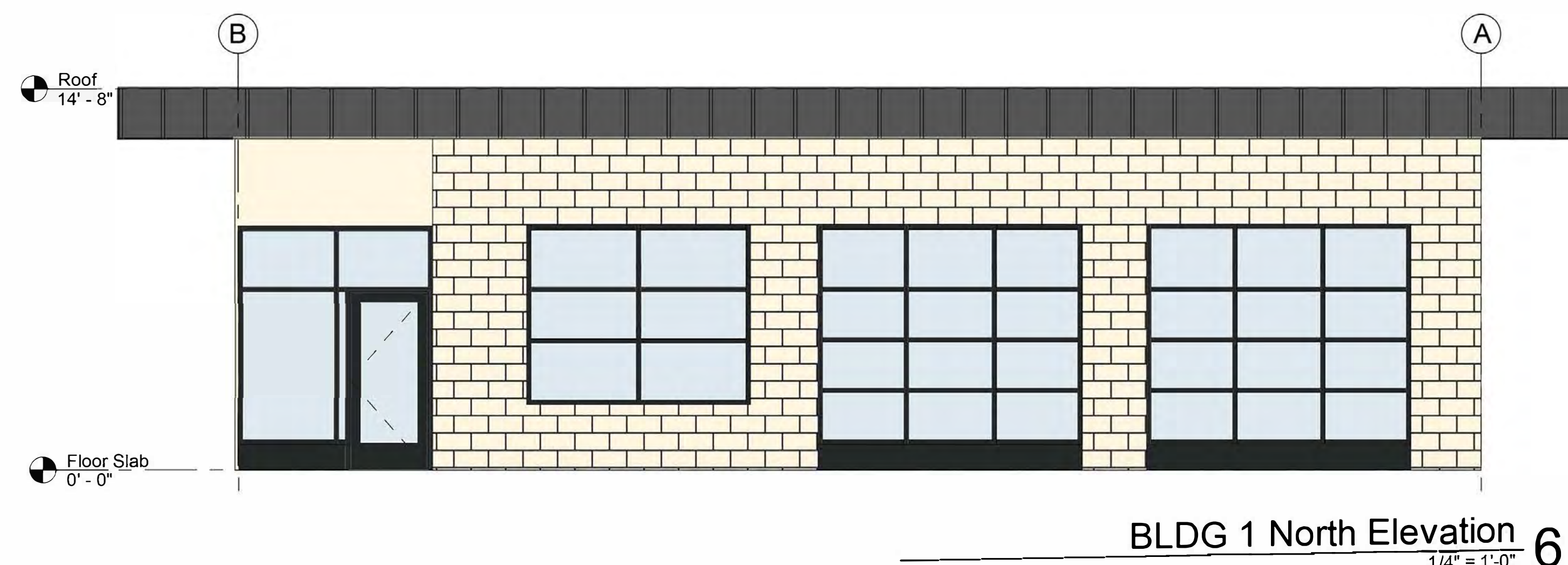
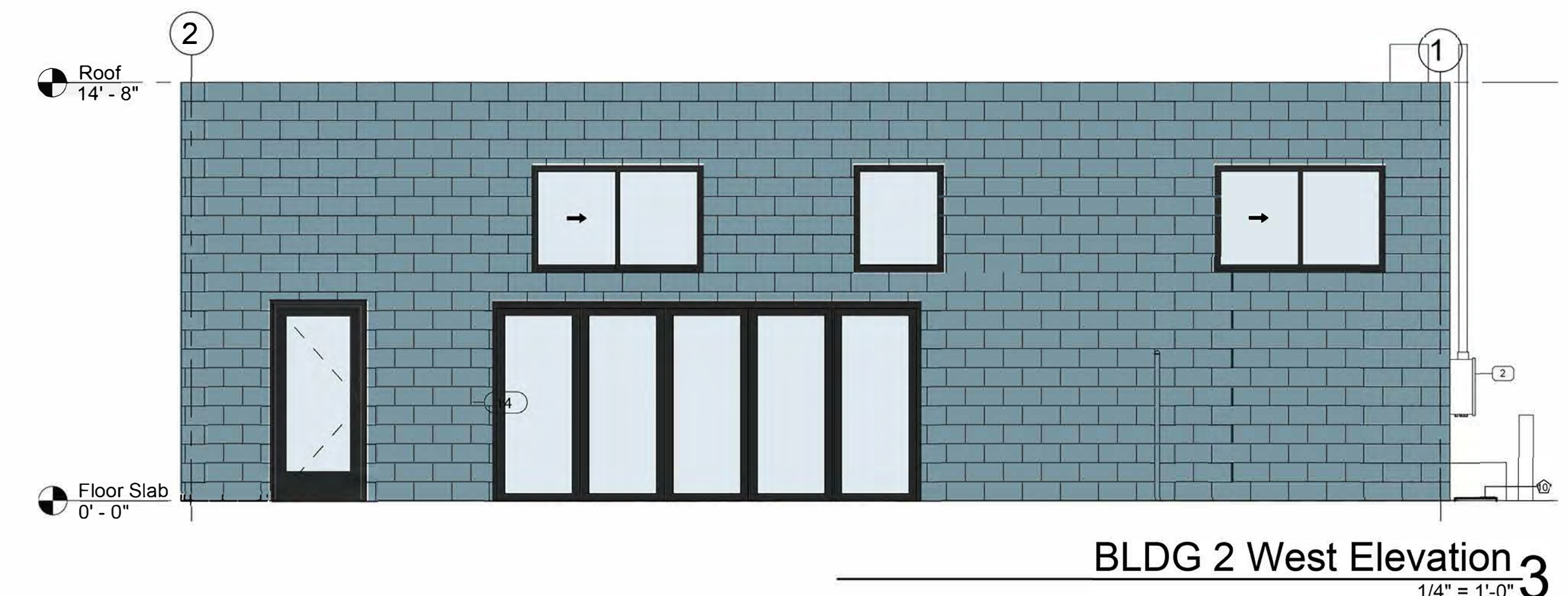
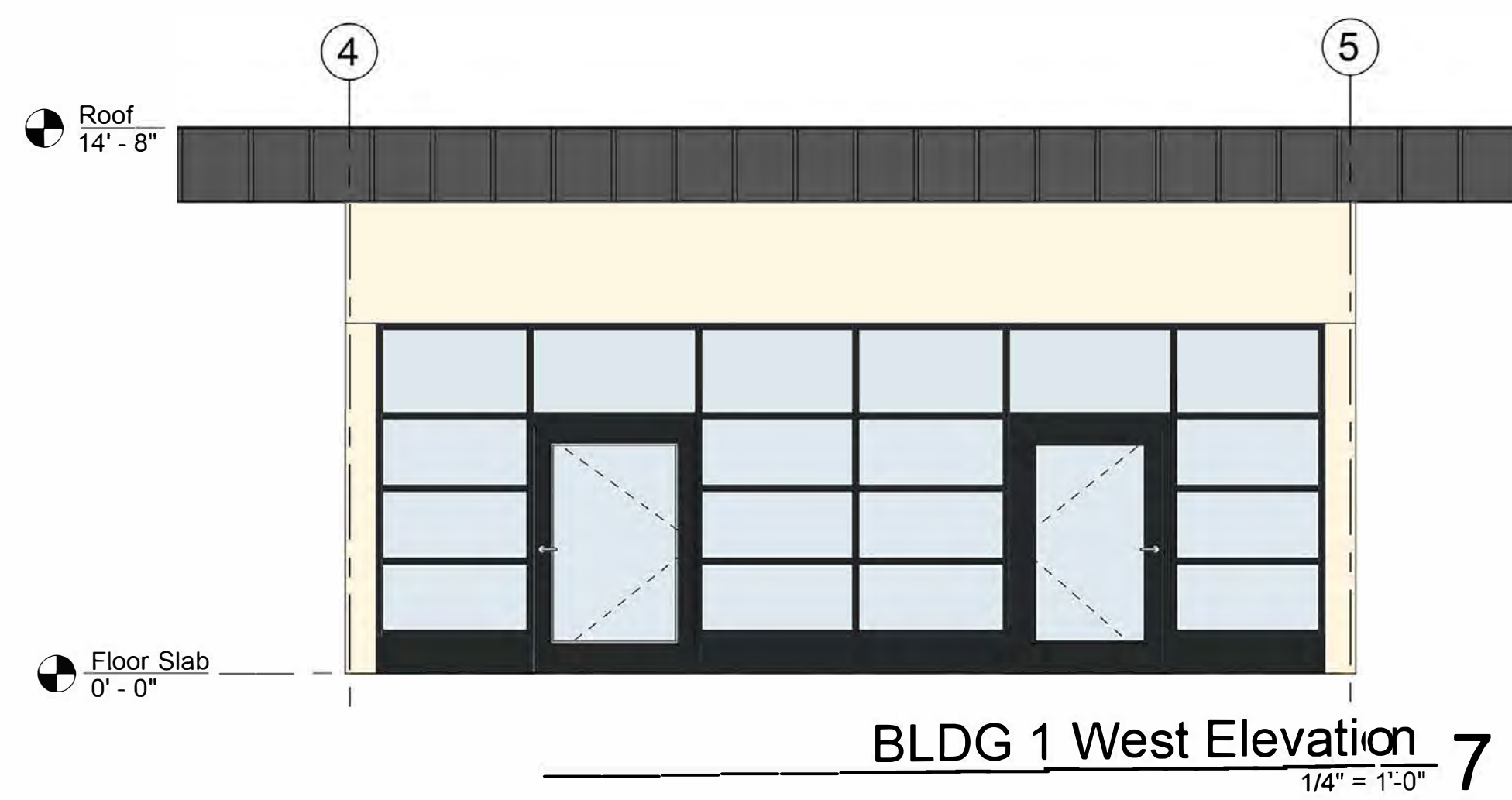
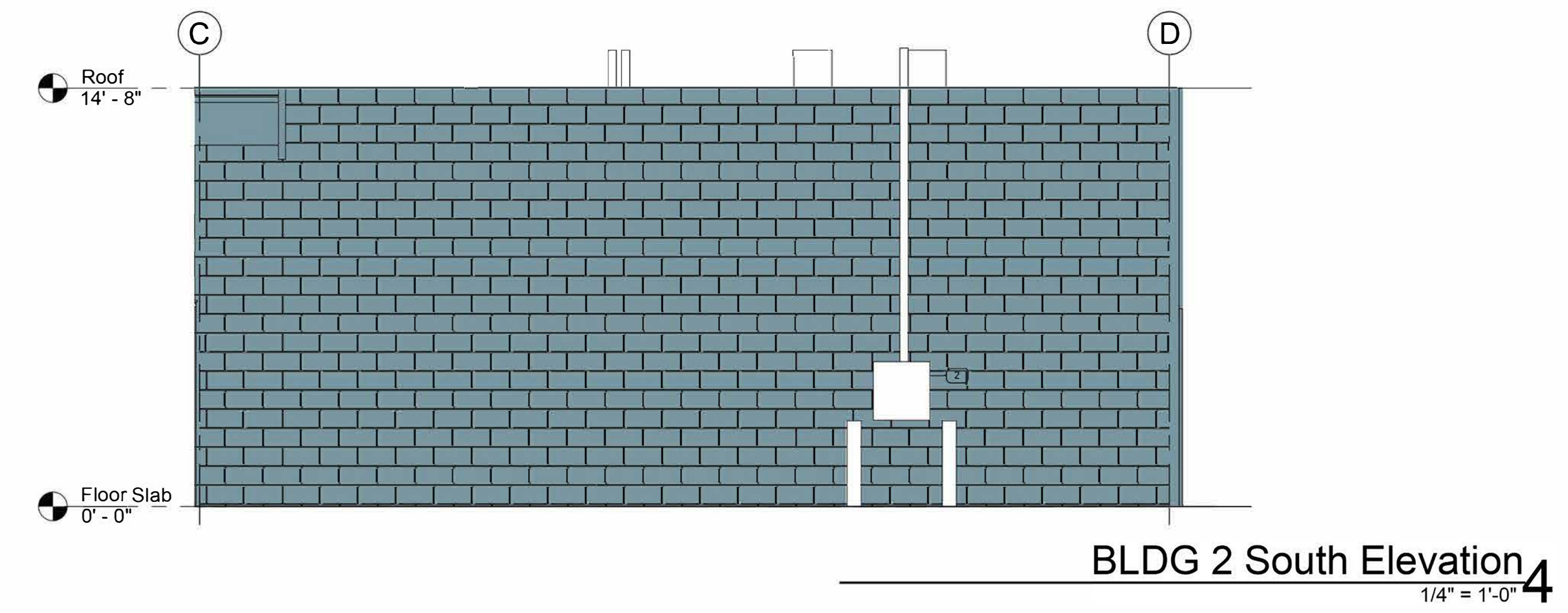
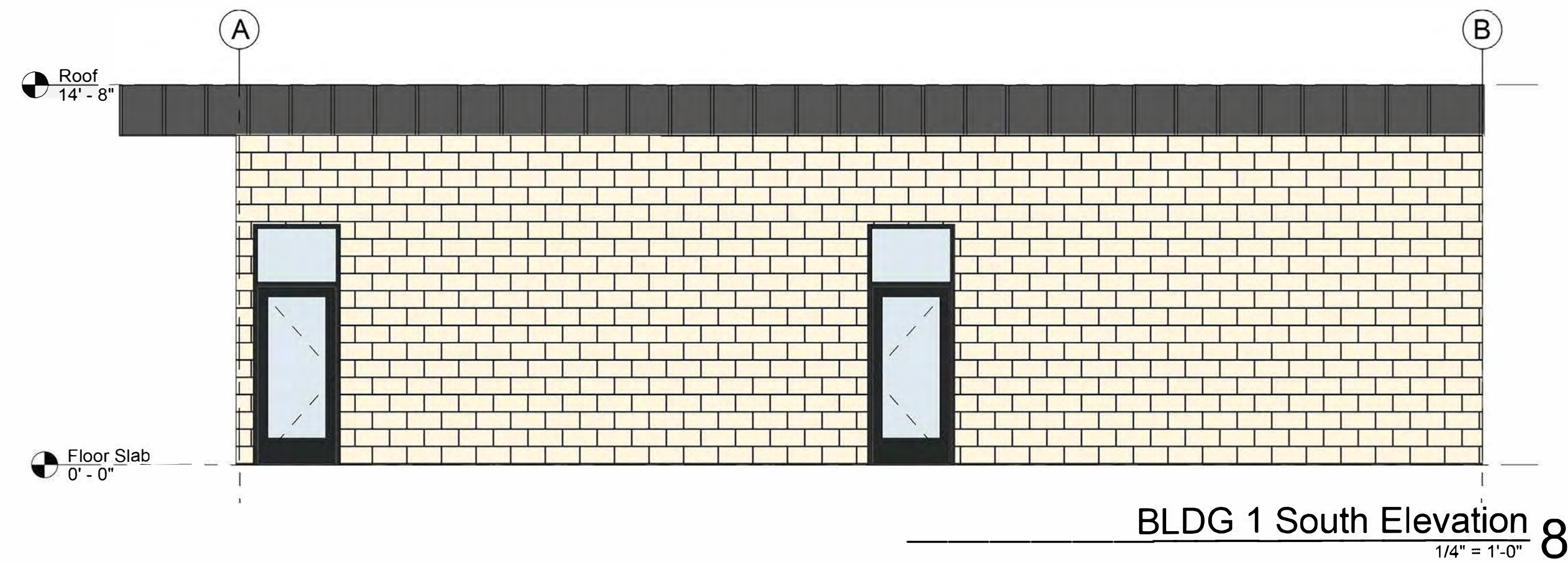
ISSUE DATE	NOTE
06/22/2020	REVIEW
06/22/2020	DWG EXPORT
08/17/21	PLANNING DEP SUB 2

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A.11



PAINT COLORS 9



PROJECT
DIAMOND AUTOMOTIVE CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284



BUILT HOSPITALITY DESIGN
9105 SUNSET BLVD.
WEST HOLLYWOOD, CA
T: 323 857 0409
www.builtinc.com

DIAMOND AUTOMOTIVE CAFE
55761 TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

DATE	NOTE
06/22/2020	REVIEW
06/22/2020	DWG EXPORT
08/17/21	PLANNING DEP SUB 2

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A.1