



HI DESERT TIMES MAGAZINE STORE
TOWN OF YUCCA VALLEY SITE PLAN REVIEW SUBMISSION
 01-17-23

Designer
StudioDFD (Distillery for Design)
 56331 Surreyside Dr
 Yucca Valley, CA 92284
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DEVELOPER
 Liz Lapp, Stephen Lapp
 T: 415 713 5693

56695 Twentynine Palms Highway,
 Yucca Valley CA 92284

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Issue Dates	
Issue	Date

SHEET TITLE

COVER SHEET

DATE: 01/17/2023

SHEET NUMBER

T 101

PROJECT DIRECTORY

PROJECT OWNER

High Desert Times INC
57414 Bandera Rd.
Yucca Valley, CA 92284
Tel: 415-713-5693

PROJECT DESIGNER

StudioDFD
56031 Sunnyslope Dr.
Yucca Valley, CA 92284
Tel: 818-422-3446
Email: Info@Studioldf.com

PROJECT CIVIL ENGINEER

DPR Enterprise LLC RCE 26900
PO Box 4428
Palm Springs, CA 92263
Tel: 206-734-7765

PROJECT GENERAL CONTRACTOR

CVMD Inc. Lic: 700197
P.O.Box 519
Yucca Valley, CA 92286
Tel: 760 275-3528

TITLE 24

Energy Consult LLC/ CEA #R16-14-20025
1252 W 22nd St #2
San Pedro, CA 90731
Tel: 424 247 7658

APPLICABLE CODES

City of San Bernardino Development Code

Town of Yucca Valley Development Code

California Building Code 2019

California Fire Code 2019.

California Electrical Code 2019 (Title 24)

California Plumbing Code 2019 (Title 24)

California Mechanical Code 2019 (Title 24)

California Energy Code 2019 (Title 24)

STANDARDS:

Town of Yucca Valley Commercial Design Guidelines

San Bernardino County Fire Development Standards

2010 ADA Standards for Accessibility Design

NFPA Standards

SEPARATE PERMITS

Native Plants Permit

The property does not have any protected plants or trees on site.

UTILITIES

Electric: SCE

Water: HDWD

Sewer: HDWD, Public sewer line Connection

Note: Proposed design will not have any natural gas connections.

SITE INFORMATION

Project Address: 56695 Twentynine Palms Highway, Yucca Valley CA 92284

APN Number: 0587361010000

Project Description:
Building a commercial building for High Desert Times Store.
Proposing driveway access to customer parking in the rear.

Existing Lot Zoning: General Commercial
Proposed Lot Zoning: General Commercial

General Plan Designation: Commercial
Proposed General Plan Designation: Commercial

Total Lot Area: 0.92 Acre

Building Gross Area: 1127 S.F. **Outdoor Area** (Courtyard): 731 S.F

Building Occupancy Type: Group M (Mercantile)

Setbacks:
Front: 15' Side Setbacks: 10 ft Rear: 10 ft (See Site Plan A-101)

Easements:
20' utility easement on the north and west of the property (See Site Plan A-101)

Construction Type: TYPE V B

Parking Count Requirement (San Bernardino Development Code):

General Retail

Required: 1 for each 250 S.F. of GLA (Gross Leasable Area) **5 Total**

Provided: 8 regular parking spaces plus 1 ADA Parking space

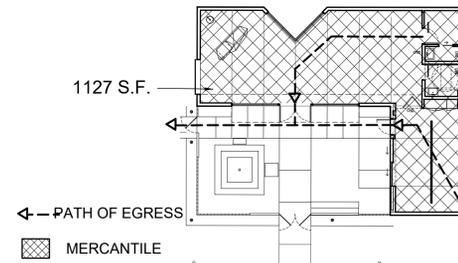
Total: 9 parking spaces provided.

Fire Sprinkler not required per California Fire Code 2019 Section 903.2.7

Vicinity Map



OCCUPANCY/ EGRESS



OCCUPANCY LOAD CALCS.			
OCCUPANCY TYPE	LOAD FACTOR	AREAS S.F.	OCCUPANCY LOAD
MERCANTILE	60 GROSS	1127	19
TOTAL OCCUPANT LOAD			19

Sheet Index	
T-101	Cover Page
G-100	General Information
A-101	Site Plan
U-201	Site Utility Plan
A-301	Building Elevations
L-1	Preliminary Landscape Plan
P-1	Photometric Plan
Civil Drawings	
1	Cover Sheet
2	Existing Conditions
3	Grading and Drainage Plan
4	Grading and Draiange Plan (Enlarged)
5	Erosion and Sediment Control Plans

Note: Other required Documents are submitted in Letter size format.

GENERAL NOTES:

- This project shall comply to the current edition 2019 of the California Building Code, California Plumbing Code, California Mechanical Code, California Electric Code, California Fire Code, Title 24 accessibility and Energy Code requirements, San Bernardino Development Code, and conditions of approval.
- Verify all existing conditions and dimensions before submitting bid or proceeding with the work. Actual field conditions may vary from the Plans. Any discrepancies between drawings and field conditions shall be reported immediately to the Designer
- Verify locations of ALL UTILITIES (gas, water, sewer connections and electrical meters) prior to starting construction.
- Provide pedestrian and property protection barricades and/or canopies as required by C.B.C. Section 3306, and as necessary for pedestrian safety. No person shall perform any work on any building or structure adjacent to a public way in general use by the public for pedestrian travel, unless the pedestrians shall be protected by fences, canopies or other devices.
- Improvements on the site, work and process, stored materials, and public and private improvements on property adjacent to the site shall be protected by the Contractor from damage arising from the Work. All damage so occurring shall be repaired or replaced by the Contractor at no cost to the Owner.
- Dimensions:
 - All dimensions are to be verified.
 - All dimensions are to face of stud, unless otherwise noted.
 - Dimensions and elevations are to top of concrete, brick or other hard surface material, not to top of floor covering or roofing.
 - Do not scale drawings; dimensions govern. If dimensions are not shown on drawings, contact the Designer.
- Contractor shall coordinate with all equipment manufacturers for equipment rough in requirements.
- The Civil, Structural, Mechanical, Plumbing and Electrical drawings are supplementary to the Architectural drawings. Should there be a discrepancy between the Architectural drawings and the consulting engineers drawings, the discrepancy is to be brought to the attention of the Designer prior to installation of said work. Any work installed in conflict with the Architectural drawings shall be corrected by the contractor at his own expense.
- The Contractor shall be responsible for continuous clean up of the site and of all debris, whether created by the Contractor, or by the failure of the subcontractors to clean up after their work.

- It shall be the responsibility of the Contractor to obtain approval by the Local Building Inspector for all concealed work before closing up.
- All bathrooms and toilet rooms shall be ventilated to provide five air changes per hour and connected directly to the outside. Fan shall be operated from the light switch.
- All lumber in contact with masonry or concrete less than 6" above the ground shall be pressure treated or durable wood.
- Fire block at mid-height of walls over 8'-0" high.
- All exterior openings exposed to the weather shall be flashed in such a manner as to make them weatherproof.
- All sheet metal work shall be minimum 24 gauge galvanized steel unless noted otherwise.
- Provide approved stucco weep screeds at sill plate of all stucco walls. Stucco finish shall not extend below finish grade. Stucco weep screed to be Min. 2" above pavement and Min. 4" above grade.
- All glazing within 18" of a floor shall be tempered or wired.
- Fire blocking and draftstopping shall be installed per CBC Section 717.
- Penetration in roof for vents, pipes, etc. shall be located 18- 24 inches from a roof drain, parapet, change in roof plane, or other vents or pipes.
- Water heater shall be strapped to wall at points within the upper 1/3 and lower 1/3 of its vertical dimensions with the lower a min. 4" above the controls. (CPC 507.2)
- Toilet room floors shall have a smooth, hard non- absorbent surface such as portland cement, ceramic tile or other approved material that extends upward onto the walls at least 4" (CBC 1210.2.1)
- Cap all utilities (water & electric) within 5 feet of the property lines.
- Provide ultra low flush water closets for all new construction

FIRE PROTECTION AND EGRESS

- The Contractor shall be responsible to construct all fire rated spaces to the requirements of the applicable codes and standards. Provide appropriate fire rated enclosure behind fire extinguisher cabinet, mailboxes, and recessed light fixtures where required.
- Access to all new construction shall comply with 2019 California Building Code and Article 87 of the Uniform Fire Code.
- Provide collision barriers adequate to protect control meters, regulators and piping for hazardous materials that are exposed to vehicular damage.
- Fire resistive assemblies for protection of openings to comply with 2019 CBC Section 712.
- At least one Class 2A-10B:C portable fire extinguisher shall be provided in such a manner that the horizontal distance of travel to the nearest portable fire extinguisher shall not exceed 75 feet.

- EXIT DOORS: All exit doors shall swing in the direction of exit travel. Exit doors shall be operable from the inside without use of a key or any special knowledge or Width and height of required exit doorways to comply with CBC Section Flush bolts and surface bolts are prohibited. Panic Hardware is to be installed at all required exit locations as shown on the drawings.
- This building shall be provided with a manual alarm system with the capability to support visible alarm notification appliances in accordance with NFPA 72. and section 907.
- Glazing in fixed and sliding panels of sliding glass door assemblies and panels in swinging doors other than wardrobe doors shall be tempered safety glazing
- Max force to operate doors is limited to 15-lb. for fire door, and 5 lb. max for all other doors.
- All egress door operation shall also comply with CBC Section (1010).
- Door handles, lock and other operating devices shall be installed at a min. 34" and a max. 44" above the finished floor.
- All egress door operation shall also comply with Section 1010.1.9

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Issue Date

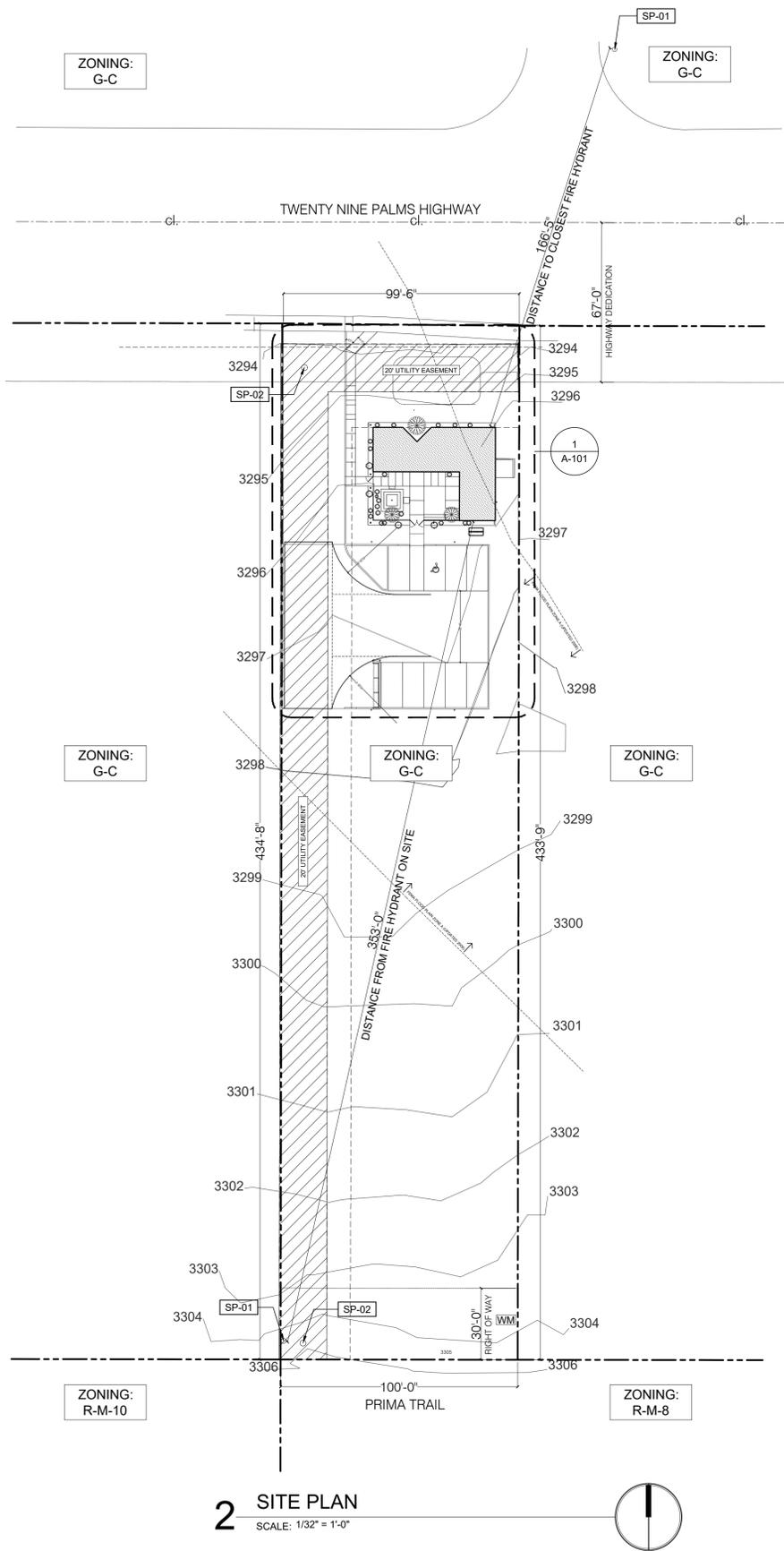
SHEET TITLE

GENERAL SHEET

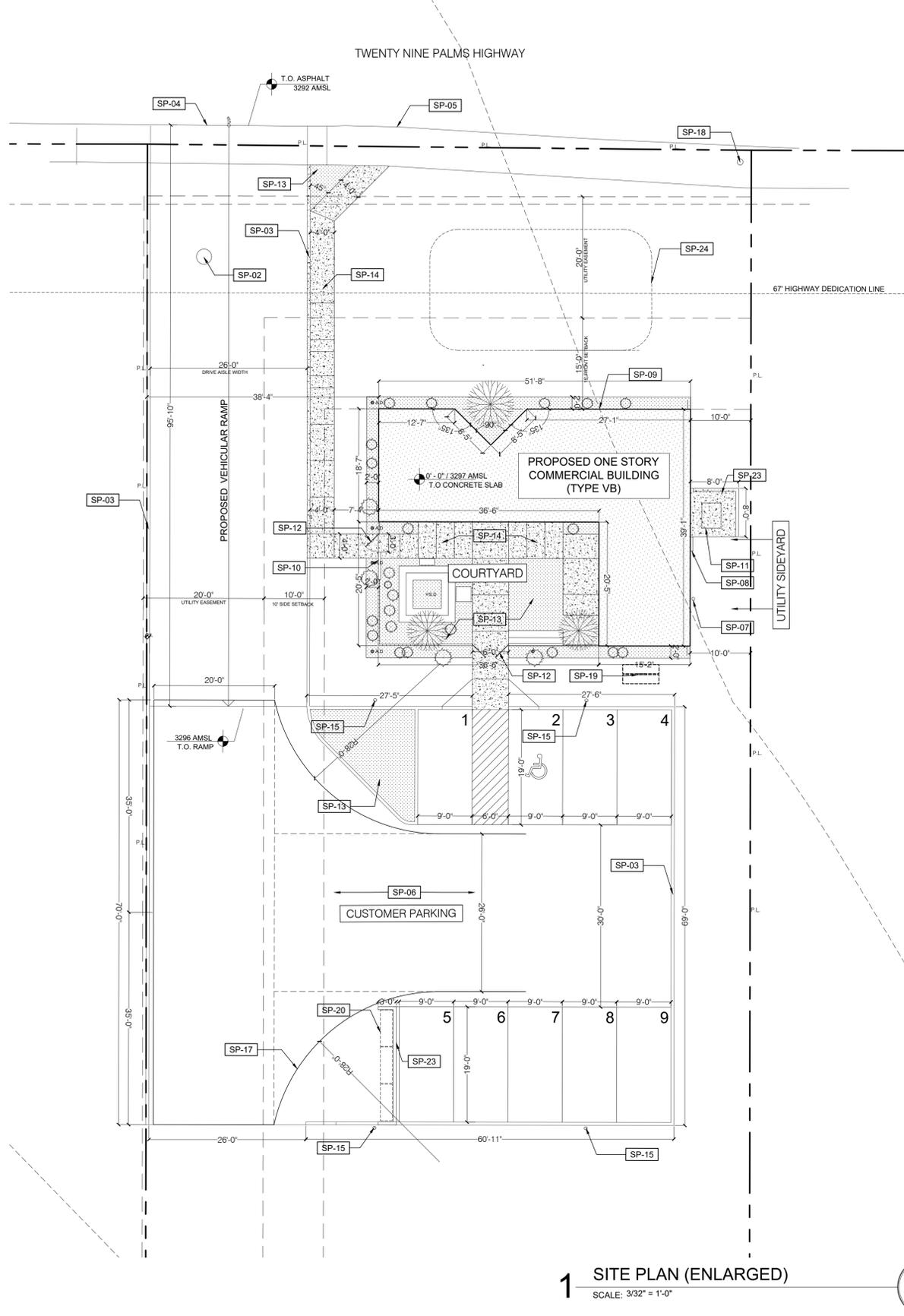
DATE: 01/17/2023

SHEET NUMBER

A 101



2 SITE PLAN
SCALE: 1/32" = 1'-0"



1 SITE PLAN (ENLARGED)
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- KEYNOTES ARE SPECIFIC TO THE DRAWING SECTION IN WHICH THEY RESIDE. ALPHABETICAL PREFIXES IDENTIFY DRAWING APPLICABILITY.
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- DO NOT SCALE FROM DRAWINGS.
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
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- COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- HOSE BIBS TO BE INSTALLED PER PLUMBING DWGS.

KEY NOTES

- SP-01 FIRE HYDRANT LOCATION (SEE CIVIL SURVEY)
- SP-02 SEWER MANHOLE (SEE CIVIL SURVEY)
- SP-03 6" WIDTH CONCRETE CURB (SEE CIVIL SHT 4)
- SP-04 PROPOSED CURB CUT LOCATION (SEE CIVIL SHT 4)
- SP-05 EXISTING CONC. SIDEWALK (SEE CIVIL SHT 2)
- SP-06 2 1/2" ASPHALT. DRIVEWAY (SLOPE TO DRAIN, SEE CIVIL SHT 4)
- SP-07 PROPOSED LOCATION FOR MAIN WATER SHUT OFF
- SP-08 PROPOSED LOCATION FOR ELECTRICAL METER (200 AMP)

- SP-09 PROPOSED LOCATION FOR BUILDING SIGNAGE (SEE BUILDING ELEVATION SHT A-301)
- SP-10 BUILDING ADDRESS LOCATION (BLACK METAL LETTERING MIN 4" TALL)
- SP-11 PROPOSED LOCATION FOR MECHANICAL UNIT (SEE M-101)
- SP-12 WOODEN PEDESTRIAN GATE
- SP-13 PEBBLE COURSE WITH XERISCAPING
- SP-14 CONCRETE WALKWAY (SLOPE TO DRAIN, REFER TO CIVIL)
- SP-15 LIGHT POSTS (DARK SKY'S COMPLIANT FIXTURE) SEE PHOTOMETRIC PLAN
- SP-16 BREEZEWAY BLOCK WALL ON CONCRETE FOOTING

- SP-17 HAMMERHEAD TURNAROUND
- SP-18 EXISTING STREET LIGHT (SEE CIVIL SHT 2)
- SP-19 BICYCLE RACK
- SP-20 TRASH STAGING AREA ENCLOSING 3 (2 CUBIC YARD) BINS
- SP-21 PROPOSED LOCATION FOR NEW TREES (SEE LANDSCAPE SHT L-1)
- SP-22 BIORETENTION BASIN (SEE CIVIL SHT 4)
- SP-23 CMU HALF WALL
- SP-24 BIO RETENTION BASIN, SEE CIVIL SHT 4

LEGEND

- CONCRETE PAVING (SLOPE TO DRAIN, REFER TO CIVIL DWGS)
- PROPOSED BUILDING
- XERISCAPING AREAS (REFER TO LANDSCAPE PLAN)
- PTD. PARKING STRIPING
- A.D. AREA DRAIN (SEE CIVIL SHT 4)
- S.D. SQUARE GRATE DRAIN (SEE CIVIL SHT 4)
- HOSE BIB
- P.P. POWER POLE
- WM PROPOSED WATER METER LOCATION
- S.S. SEWER LINE

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SITE PLAN

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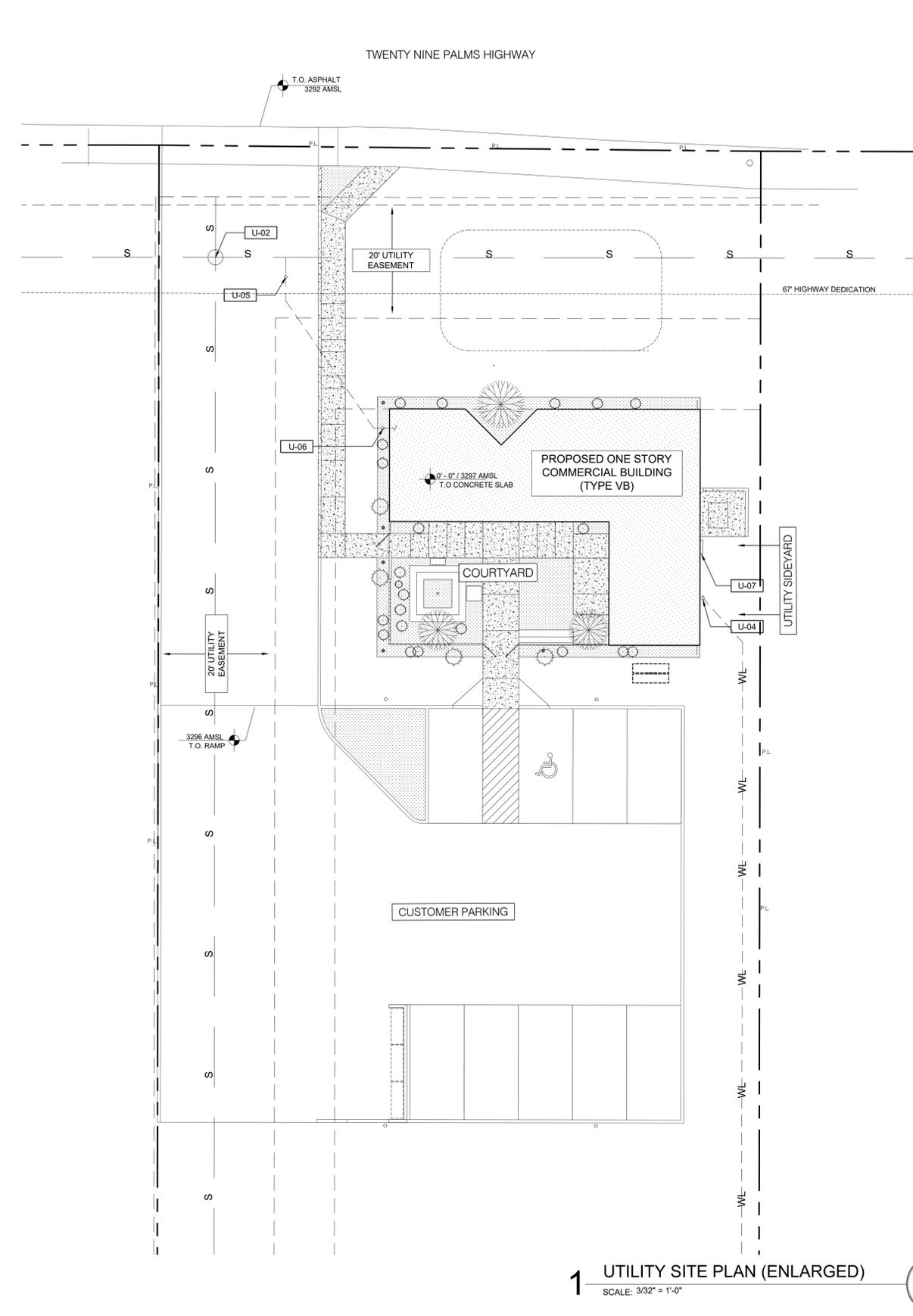
SHEET TITLE

UTILITY SITE PLAN

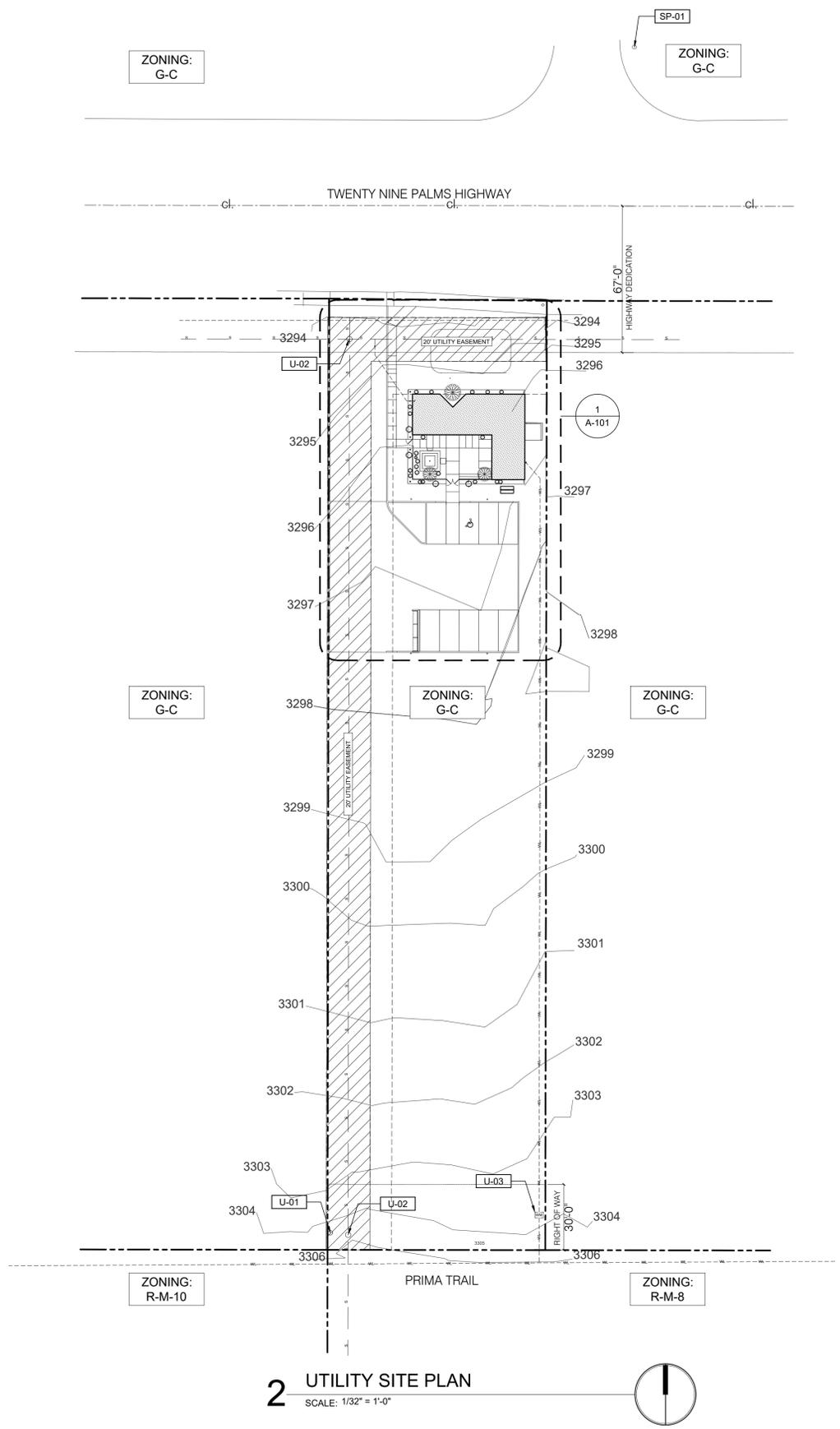
DATE: 01/17/2023

SHEET NUMBER

U 101



1 UTILITY SITE PLAN (ENLARGED)
 SCALE: 3/32" = 1'-0"



2 UTILITY SITE PLAN
 SCALE: 1/32" = 1'-0"

GENERAL NOTES

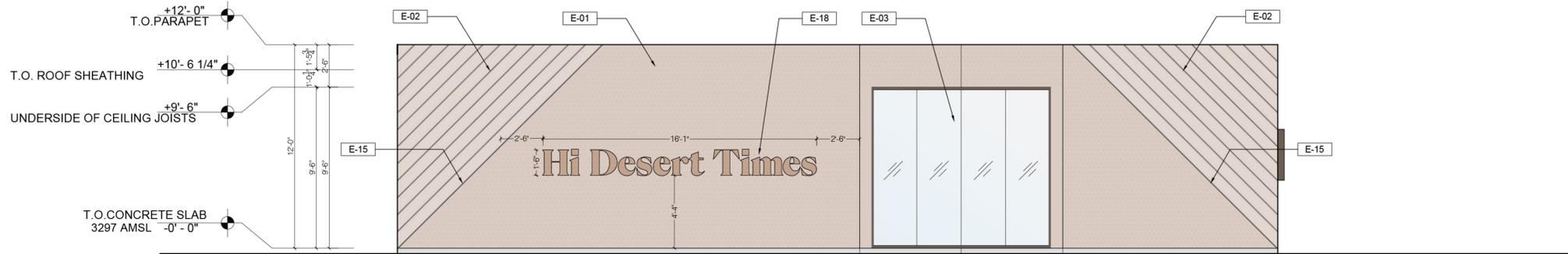
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KEY NOTES

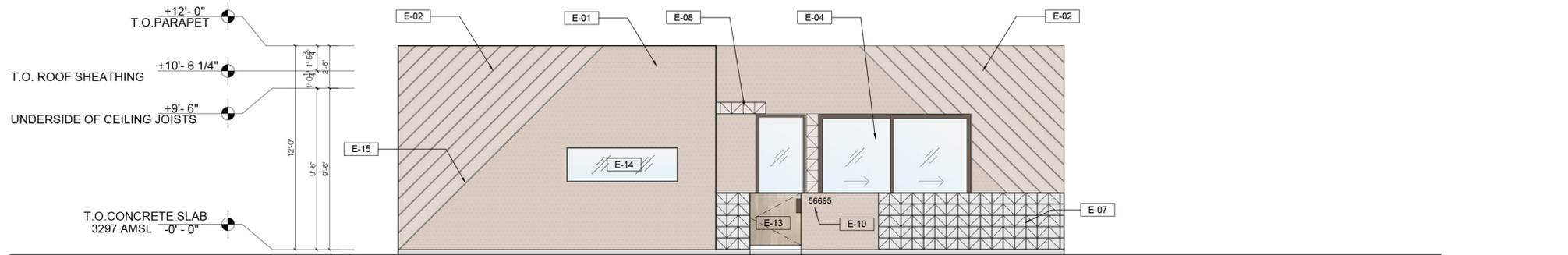
- U-01** FIRE HYDRANT LOCATION (SEE CIVIL SURVEY)
- U-02** SEWER MANHOLE (SEE CIVIL SURVEY)
- U-03** PROPOSED WATER METER LOCATION
- U-04** PROPOSED MAIN WATER SHUT OFF LOCATION
- U-05** 6" WIDE SEWER LATERAL CONNECTION
- U-06** 4" SEWER CLEAN OUT LOCATION (COVER WITH GRAVEL)
- U-07** PROPOSED LOCATION FOR 200 AMP MAIN ELECTRICAL METER

LEGEND

	CONCRETE PAVING (SLOPE TO DRAIN, REFER TO CIVIL DWGS)		A.D. AREA DRAIN		WM WATER METER
	PROPOSED BUILDING		P.D. PLANTER DRAIN		S_S SEWER LINE
	XERISCAPING AREAS (REFER TO LANDSCAPE PLAN)		HOSE BIB		WL_WL WATER LINE
	PTD, PARKING STRIPING		P.P. POWER POLE		



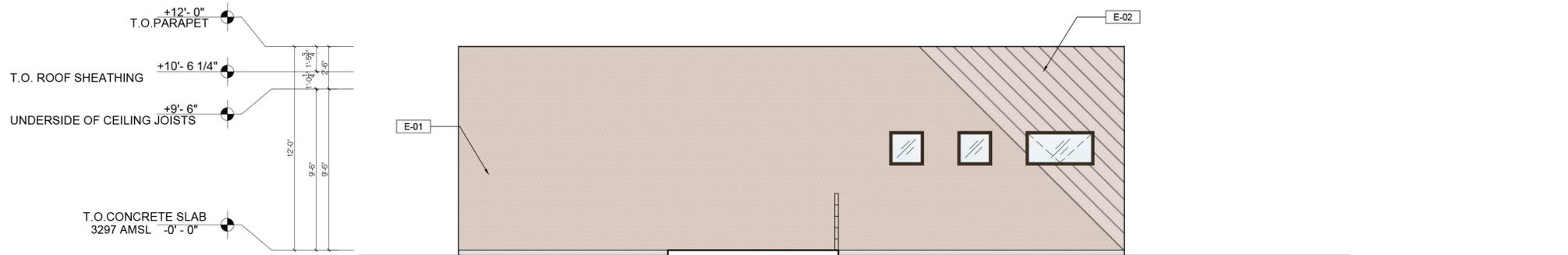
4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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Issue Dates
Issue Date

SHEET TITLE

BUILDING ELEVATIONS

DATE: 12/14/2022 12:39 PM

SHEET NUMBER

A 301

GENERAL NOTES

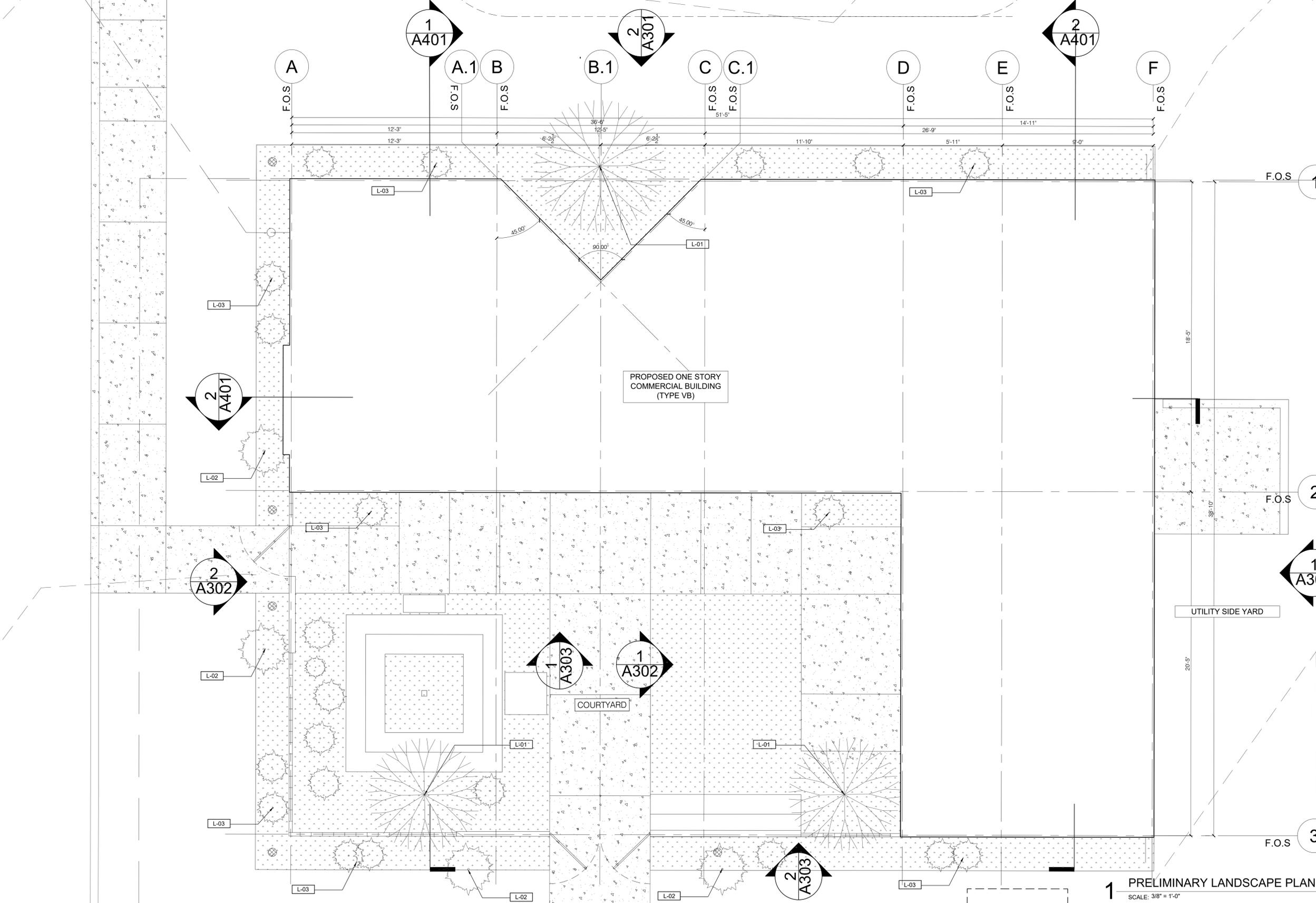
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KEY NOTES

- E-01 STUCCO FINE SAND FINISH (COLOR TO MATCH 3D VISUALIZATION)
- E-02 DIAGONAL WOOD SIDING (PTD. FINISH TO MATCH 3D VISUALIZATION)
- E-03 WINDOW PER DOORS/ WINDOWS SCHEDULE
- E-04 DOOR PER DOORS/WINDOW SCHEUDLE
- E-05 DRYWALL PAINTED FINISH
- E-06 WOOD SLATTED PEDESTRIAN GATE
- E-07 7 1/2" x 7 1/2" CEMENT BREEZEWAY BLOCKS
- E-08 8" x 8" NATURAL STONE TILE

- E-09 CONCRETE BENCHES
- E-10 BUILDING ADDRESS LOCATION (BLACK METAL LETTERING MIN 4" TALL)
- E-11 EXPOSED WOOD JOISTS
- E-12 POLYURETHANE COOL ROOFING R-30 (REFER TO TITLE 24)
- E-13 PEDESTRIAN GATE (WOOD SLATS)
- E-14 METAL PLATE POP OUT WINDOW
- E-15 METAL ANGLE TRIM AT TRANSITION

- E-16 BATT INSULATION R-19 (REFER TO TITLE 24)
- E-17 POCKET FOR ROLLER SHADE 3.5" X 3.5"
- E-18 PAINTED BUILDING SIGNAGE / HDT LOGO



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KEY NOTES

- L-01 OLIVE TREE (24" BOX)
- L-02 PACHYCREUS MARGINATUS (10 GALLON)
- L-03 HUACHUCA AGAVE (ON 2' WIDE GRAVEL BAND)

LEGEND

- CONCRETE PAVING (SLOPE TO DRAIN, REFER TO CIVIL DWGS)
- GRAVEL COVERING

1 PRELIMINARY LANDSCAPE PLAN
SCALE: 3/8" = 1'-0"

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PRELIMINARY LANDSCAPE PLAN

DATE: 01/17/2023

SHEET NUMBER

DISCLAIMER: This calculation, either normal lighting or emergency lighting, is based on the information provided to CLS by the architect, engineer, lighting designer, contractor, etc.. These findings should be verified by a certified electrical engineer as to their accuracy. Design changes such as ceiling heights, ceiling, wall and floor reflectances of all interior surfaces including partition walls may adversely affect the overall light levels. CLS is not responsible as to the veracity of these calculations, and should only be used as a design reference tool and are only an approximation.

3294

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DECEMBER 15, 2022
 PROJECT: HI DESERT TIMES - EXTERIOR
 SPECIFIER: STUDIOFD
 CALIFORNIA LIGHTING SALES
 REP HEIDEE TAHERI
 CALCS TAMI JOHNSON

Mounting Height	Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens For Filename >	Luminaire Watts For Filename >	Filename
15	AA	4	AA	Single	LST: MRS-LED-06L-SIL-FT-40-70CRI-	POLE MOUNTED	0.900	6166	41	MRS-LED-06L-SIL-FT-40-70CRI.ies
3.5	BB	4	BB	Single	FC LTG: FCBT690-UNV-42-4K-10L-	BOLLARD	0.450	1915	25.616	F002680FCBT6904K.IES
8	CC	3	CC	Single	HE WILLIAMS: 4DR-TL-L10-835-DIM-UNV-RM-OF-WH-WETCC	RECESSED	0.900	761	9	4DR-TL-L10-835-DIM-UNV-RM-OF-WH-WETCC.ies
3	DD	3	DD	Single	KUZCO: EMS3908	WALL SCENCE	0.900	203	9.4	EMS3908-SK - Dawn.IES
0.25, 1.25	EE	101	EE	Single	BL LTG: BL neonVIEW SL 35 x x x Length TBD (Using 1ft In Calc)	Diffused, Flexible, Linear LED	0.900	152	3.66	BL-FlexFORM-Dot-Free-D2-24V-3500K-IP20.IES
0.25	FF	2	FF	Single	i2 SYSTEMS: V3-B-7W-35K-S-30x65-	SIGNAGE	3.600	519	6.77	V3-B-30-degree-LLI-18342-6.IES
0.25	GG	5	GG	Single	HOLM: HAXS-7 6LED FL	LED DIRECTIONAL	0.900	244	7.6	Axis7-6LED.IES
8	HH	1	HH	Single	ECLIPSE: LV2-A-WS-LED15-35K-80CRI-UNV-FINISH-83	BLDG MOUNT	0.420	4276	39.1	LV2-A-WS-LED40-3K-80CRI-UNV-B2-83 (1).ies

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
COURTYARD	Illuminance	Fc	4.86	33.1	0.1	48.60	331.00	0
FRONT SIDE	Illuminance	Fc	2.34	10.3	0.2	11.70	51.50	0
PARKING	Illuminance	Fc	3.02	4.4	1.3	2.32	3.38	0
SIDEWALK	Illuminance	Fc	6.46	10.5	1.4	4.61	7.50	N.A.
SIGN	Illuminance	Fc	19.34	32.9	9.1	2.13	3.62	N.A.



CALC POINTS AT 1FT O.C.

9.2 11.2 13.0 14.3 14.9 14.9 14.2 12.9 11.1 9.1
 11.4 14.8 17.5 19.4 20.4 20.4 19.3 17.3 14.6 11.2
 13.7 19.1 23.4 26.0 27.3 27.2 25.9 23.2 18.8 13.3
 14.7 23.0 29.8 32.8 32.9 32.8 32.6 29.5 22.5 14.1

