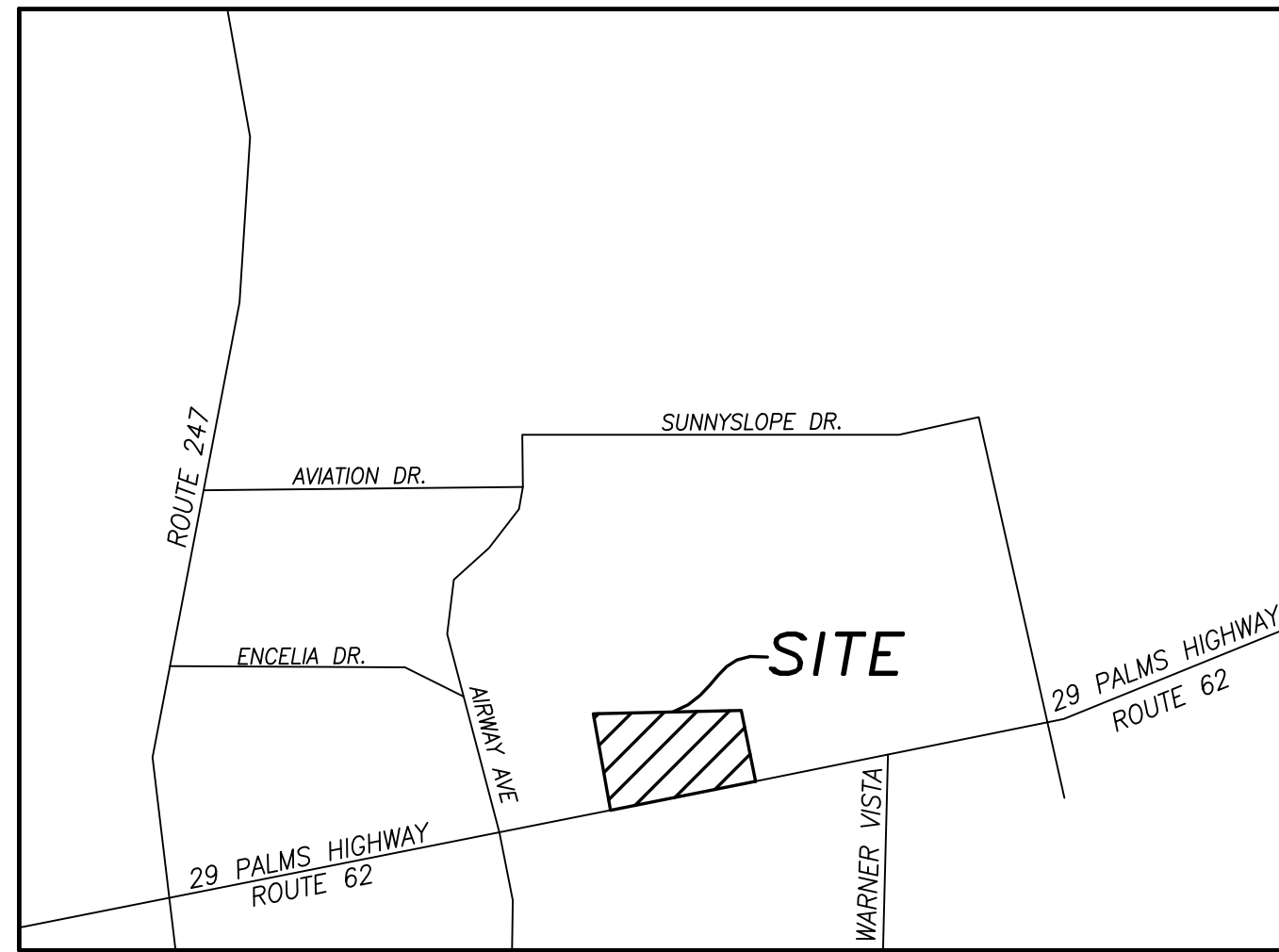


Precise Grading Plan

Joshua Village

57-590 TWENTYNINE PALMS HIGHWAY
YUCCA VALLEY, CA 92284



VICINITY MAP

NOT TO SCALE

EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 36, T.1N, R.5E, S.B.B.&M., Town of Yucca Valley, CALIFORNIA

OWNER:

JOSHUA VILLAGE 2022 LLC
146 N. HIGHLAND AVE
LOS ANGELES CA 90036
MOISCE BELINOW
MOISCE@EMBLMANAGEMENT.COM

AUTHORIZED AGENT:

DETLEF DIERCKS
DDIERCKS@DDGG.BZ
913-341-2466

LEGAL DESCRIPTION:

PARCELS 1, 2, 3, 4, AND 5 OF PARCEL MAP NO. 6163, IN THE TOWN OF YUCCA VALLEY, AS SHOWN BY MAP ON FILE IN BOOK 60, PAGES 57 THROUGH 62, INCLUSIVE, OF PARCEL MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA

SITE ADDRESS

57-590 TWENTYNINE PALMS HIGHWAY
YUCCA VALLEY, CA 92284

ASSESSOR'S PARCEL NO.:

0595-271-35
0595-271-36
0595-271-37
0595-271-38
0595-271-39

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF TWENTYNINE PALMS HIGHWAY BEING N69°25'22"E PER P.M. 5161, P.M.B. 48/9-10

BENCHMARK:

THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE INTERSECTION OF THE NORTHERN AND WESTERN PARKING BEING ELEVATION (3231.5) WHICH WAS DERIVED FROM THE ALL-TA/ALCS.M. LAND TITLE SURVEY MAP SHEET ALTA-3 PRODUCED BY A.J. KOLTAJANY/CIVIL ENGINEERS.

SITE BENCHMARK:

TOP OF CURB AT EXISTING PLANTER ISLAND
ELEVATION (3233.00 TC)

SITE BENCHMARK:

INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF RECORD SHALL USE TO CERTIFY PAD ELEVATION AND FINAL GRADING CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

SOURCE OF TOPOGRAPHY:

THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A FIELD SURVEY BY FEIRO ENGINEERING, INC ON 03/05/2022

NOTE:

QUANTITIES ESTIMATE SHOWN IS FOR PERMIT PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE QUANTITIES FOR HIS BID AND PAYMENT PURPOSES.

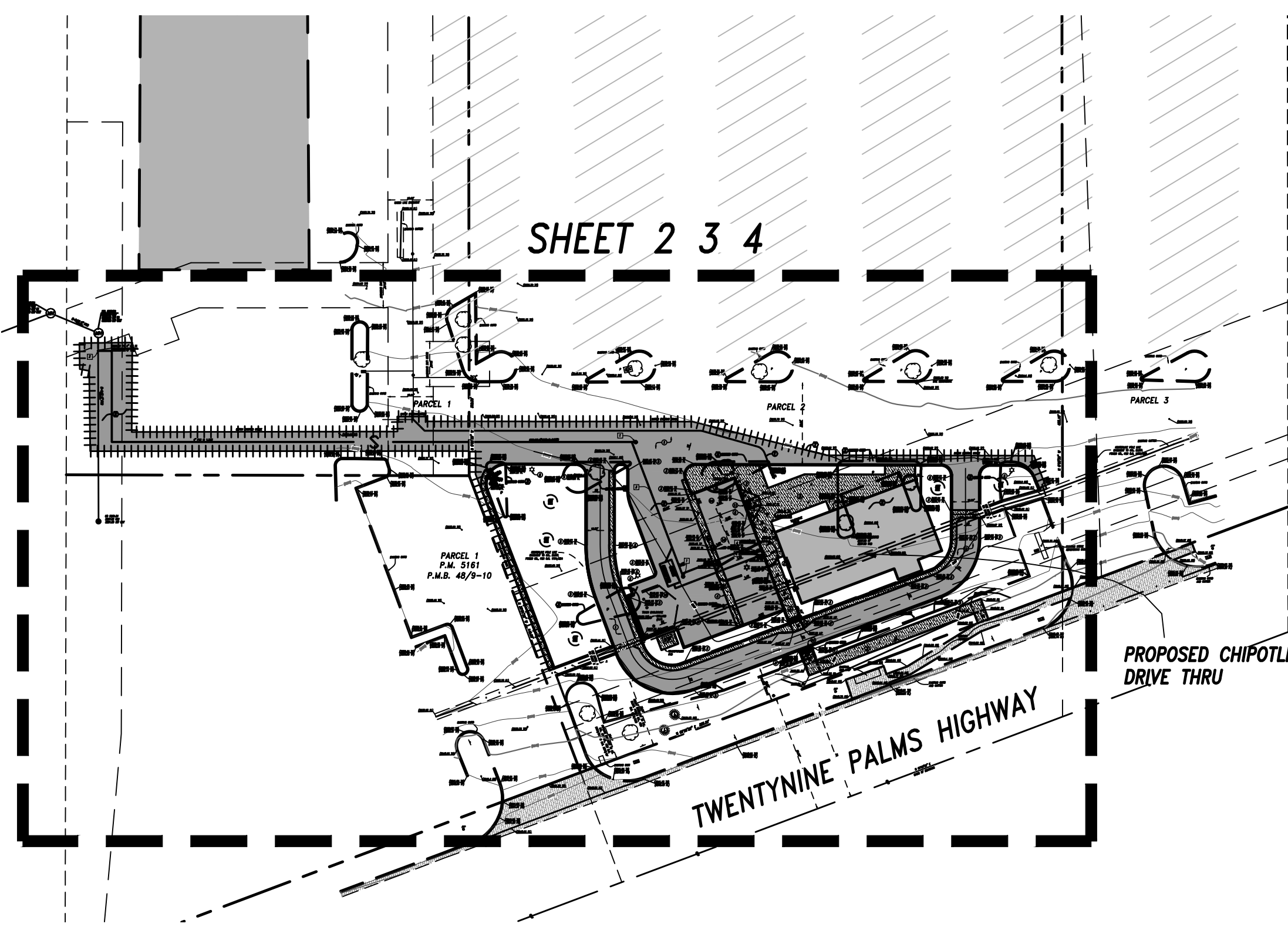
QUANTITIES ESTIMATE DOES NOT INCLUDE CLEARING, SHRINKAGE, SUBSIDENCE, ANY OTHER LOSSES, OR ANY GRADING OR EXCAVATION COVERED UNDER A SEPARATE PERMIT.

EARTHWORK QUANTITIES ESTIMATE:

CUT = 140 CU YDS
FILL = 100 CY + LOSSES (30 CY)
NET = 10 CU YDS [EXPORT]

TOTAL SITE AREA: DISTURBED AREA:

172344.25 S.F. 29,000 S.F.
3.96 AC 0.67 AC



SITE INDEX MAP:

SCALE: 1" = 50'

**Town of Yucca Valley LAND USE SERVICES
GEOTECHNICAL REPORT REVIEW SHEET**

COMMENTS AND CONDITIONS:

- ALL LOW DENSITY NEAR SURFACE NATIVE SOILS AND BEDROCK SHALL BE OVEREXCAVATED TO A DEPTH OF APPROXIMATELY 2 FEET BELOW EXISTING GRADES, OR 2 FEET BELOW THE BOTTOM OF FOOTINGS, WHICHEVER IS DEEPER WITHIN THE PROPOSED BUILDING AREA. THE AREA OF OVEREXCAVATION SHALL EXTEND A DISTANCE OF AT LEAST 5 FEET LATERALLY BEYOND THE BUILDING PERIMETER.
- THE BOTTOM SUBGRADE OF THE OVEREXCAVATION AREA AND ALL FILLS SHALL BE COMPACTED TO AT LEAST 90% RELATIVE COMPACTION, PER THE ASTM D-1557 TEST METHOD.
- OVERSIZED MATERIAL/ROCK IN FILLS SHALL NOT EXCEED 3 INCHES IN MAXIMUM DIMENSION
- ALL FOOTINGS SHALL BE FOUND ON PROPERLY COMPACTED ENGINEERED FILL AND SHALL HAVE A MINIMUM EMBEDMENT DEPTH OF 12 INCHES BELOW THE LOWEST ADJACENT FINISHED GRADE.
- CONCRETE SLABS ON GRADE SHALL BE PLACED ON PROPERLY COMPACTED ENGINEERED FILL.
- FINAL GRADES SHALL BE PROVIDED WITH POSITIVE GRADIENTS AWAY FROM PROPOSED FOUNDATIONS. NO WATER SHALL BE ALLOWED TO POND ADJACENT TO FOUNDATIONS.
- THE PROJECT GEOTECHNICAL CONSULTANT SHALL INSPECT AND APPROVE ALL AREAS AND DEPTHS OF OVEREXCAVATION PRIOR TO ANY FILL PLACEMENT. THE PROJECT GEOTECHNICAL CONSULTANT SHALL INSPECT AND APPROVE ALL FOUNDATION EXCAVATIONS PRIOR TO PLACEMENT OF ANY FORMS, STEEL, OR CONCRETE.
- THE PROJECT GEOTECHNICAL CONSULTANT SHALL REVIEW AND APPROVE FOUNDATION, GRADING AND/OR EROSION CONTROL PLANS SO AS TO CONFIRM THAT THE RECOMMENDATIONS MADE IN THE ABOVE REFERENCED REPORT ARE ADHERED TO IN THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE GEOTECHNICAL CONSULTANT SHALL SIGN AND STAMP THE FOUNDATION, GRADING AND EROSION CONTROL PLANS INDICATING THAT THE PLANS CONFORM TO THE GEOTECHNICAL REPORT RECOMMENDATIONS.
- THE ABOVE MENTIONED GEOTECHNICAL CONDITIONS OF APPROVAL SHALL BE INCORPORATED INTO THE NOTES ON THE PROJECT FOUNDATION AND/OR GRADING PLANS.
- THE FOUNDATION PLANS SHALL INCLUDE THE FOLLOWING NOTE: "A GEOTECHNICAL REPORT WAS PREPARED FOR THIS PROJECT BY SLADEN ENGINEERING ON 11/4/2021. THIS REPORT AS AMENDED BY THE CONDITIONS OF APPROVAL IS HEREBY INCORPORATED BY REFERENCE AND IS A PART OF THE FOUNDATION CONSTRUCTION DOCUMENTS. THE RECOMMENDATIONS OUTLINED IN THIS REPORT SHALL BE STRICTLY ADHERED TO DURING THE CONSTRUCTION OF THIS PROJECT."

SOILS ENGINEER'S CERTIFICATION:

I, _____ (NAME OF ENGINEER) OF SLADEN ENGINEERING, A REGISTERED CIVIL ENGINEER, PRINCIPALLY DOING BUSINESS IN GEOTECHNICAL ENGINEERING AND/OR APPLIED SOIL MECHANICS, HEREBY CERTIFY THAT A SAMPLING AND STUDY OF THE SOIL CONDITIONS PREVALENT WITHIN THIS SITE WAS MADE BY ME AND UNDER MY DIRECTION. THESE GRADING PLANS HAVE BEEN REVIEWED BY ME OR UNDER MY DIRECTION AND CONFORM TO THE RECOMMENDATIONS MADE IN OUR GEOTECHNICAL ENGINEERING INVESTIGATION REPORT DATED 11/04/2021 AND AMENDED BY THE CONDITIONS OF APPROVAL DATED 11/04/2021.

TO THE BEST OF MY KNOWLEDGE, THE REFERENCED REPORT REPRESENTS THE MOST CURRENT AND COMPLETE INFORMATION RELATIVE TO THE PROPOSED GRADING OF THE SITE. IT IS THE PROFESSIONAL OPINION OF SLADEN ENGINEERING, THAT THE CONCLUSIONS AND RECOMMENDATIONS RENDERED IN OUR REPORT ARE APPROPRIATE AND APPLICABLE TO THE PROJECT AND THEY ARE IN SUBSTANTIAL CONFORMANCE WITH ALL APPLICABLE CODE, ORDINANCE, AND STANDARDS OF PRACTICE FOR THE PROJECT PROPOSED.

STAMP DATE

PRIVATE ENGINEER'S NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE DRAWINGS.

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY OF SAN BERNARDINO, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

GRADING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD PLANS OF THE TOWN OF YUCCA VALLEY AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), LATEST EDITION, AND THE PROJECTS CONDITIONS OF APPROVAL, CALTRANS STANDARDS, CURRENT EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EFFECTIVE MEANS OF DUST CONTROL WHICH SHALL INCLUDE PROVISIONS FOR ADEQUATE WATERING DURING THE GRADING PROCESS AND PROVISIONS FOR CONTINUANCE OF DUST CONTROL UNTIL THE GRADE SURFACE PRESENTS SUFFICIENT COVER AGAINST WIND OR WATER EROSION THAT SPECIAL DUST CONTROL MEASURES ARE NO LONGER NECESSARY.
- CONTRACTOR SHALL OBTAIN PERMITS, AS REQUIRED BY THE TOWN OF YUCCA VALLEY DEVELOPMENT CODE.
- ALL GRADING SHALL COMPLY WITH APPENDIX CHAPTER 33 OF THE CALIFORNIA BUILDING CODE, LATEST EDITION AS AMENDED BY THE TOWN OF YUCCA VALLEY.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE WAY ONLY. SUBJECT TO THE PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, CONTACT DIG ALERT AT 1-800-227-2600 TWO WORKINGS DAYS PRIOR TO ANY EXCAVATION.
- DIMENSIONING TO CURBS SHALL BE TO FACE OF CURB
- CONTRACTOR SHALL DISPOSE OFF ALL DEBRIS OFF-SITE AT A LEGALLY APPROVED DISPOSAL SITE.
- CONTRACTOR SHALL REMOVE ANY ABANDONED UTILITY FACILITIES AND SHOW LIMITS OF REMOVALS ON THE RECORD DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPLACEMENT OR RELOCATION OF ALL REGULATORY, WARNING AND GUIDE SIGNS.
- THE ASPHALT DESIGN MUST MEET THE CALTRANS STANDARD SPECIFICATIONS, SECTION 39 - FOR TYPE A ASPHALT, 3/4" MAXIMUM MEDIUM AND 1/2" MAXIMUM MEDIUM, THE OIL SHALL BE PG 70-10.
- THE AGGREGATE BASE SHALL BE CLASS II, FOR 3/4" MAXIMUM ACCORDING TO THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS, SECTION 26.
- A "RECORD DRAWING" (FORMERLY CALLED "AS-BUILT" DRAWING) OF THIS PLAN MUST BE SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER BY THE PROJECT ENGINEER OR RECORD PRIOR TO ACCEPTANCE OF THE PROJECT.
- CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY TOWN STANDARDS OR AS DETERMINED BY THE TOWN ENGINEER, AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE IN ACCORDANCE WITH STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROL AND MAINTENANCE WORK ZONES" DATED 1991, OR SUBSEQUENT EDITIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE FLOWLINES OF ALL CURBS AND GUTTERS AND CROSS GUTTERS SHALL BE WATER TESTED BEFORE ACCEPTANCE OF THE PROJECT.
- PARKING STALLS SHALL BE CLEARLY DELINEATED WITH A 4 TO 6 INCH STRIPE "HAIRPIN" OR ELONGATED "U" DESIGN OR OTHER APPROVED STRIPING OR STALL DELINEATION.
- FINAL SITE GRADING AND DRAINAGE FLOW LINES SHALL BE CERTIFIED, IN WRITING, BY THE ENGINEER OF RECORD TO BE IN CONFORMANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL INSPECTION.
- NPDES PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT FOR PARCELS 1 ACRE OR GREATER
- THE LOCATION OF BLOCK WALLS, RETAINING WALLS, AND OTHER STRUCTURES SHALL BE CLEARLY DEFINED ON THE PLANS. CONSTRUCTION AND STRUCTURAL DETAILS SHALL NOT BE SHOWN ON THE GRADING PLAN.
- ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY SLADEN ENGINEERING DATED NOVEMBER 4TH, 2021 SHALL BE COMPLIED WITH.
- THIS PLAN IS FOR GRADING PURPOSES ONLY, APPROVAL DOES NOT CONSTITUTE APPROVAL OF BUILDING LOCATIONS, OFF-SITE DRAINAGE FACILITIES, DRIVEWAY LOCATIONS OR SIZES, PARKING LOT LAYOUT, ETC., OR OTHER ITEMS NOT RELATED TO BASIC GRADING OPERATIONS. NO STRUCTURAL CALCULATIONS HAVE BEEN MADE FOR ANY STRUCTURES ON THIS PLAN CHECK; THEREFORE, THE PLAN CHECK ENGINEER TAKES NO RESPONSIBILITY FOR THE INTEGRITY OF SUCH STRUCTURES.
- PLANS MAY BE SUBJECT TO COMPLIANCE REVIEW WITH CURRENT REQUIREMENTS IF CONSTRUCTION HAS NOT STARTED WITHIN 12 MONTHS OF PLAN APPROVAL BY THE TOWN ENGINEER.
- UPON ISSUANCE OF A GRADING PERMIT BY THE TOWN OF YUCCA VALLEY ALL GRADING SHALL BE UNDERTAKEN AND COMPLETED IN COMPLIANCE WITH TOWN OF YUCCA VALLEY ORDINANCE NO. 133, IN PARTICULAR, SECTION 4(B) BUILDING CODE AMENDMENTS; 4. APPENDIX, VOLUME 1, CHAPTER 33, EXCAVATION AND GRADING, A SECTION 3309.2 GRADING DESIGNATION; B. SECTION 3316, EROSION CONTROL; S. SECTION 3320 ENGINEERING REPORTS, AND THE ENGINEER OF RECORD SHALL CERTIFY THAT ALL GRADING COMPLIES WITH SAID ORDINANCE PRIOR TO ACCEPTANCE OR ISSUANCE OF ANY PERMITS BY THE TOWN OF YUCCA VALLEY.

SHEET INDEX

1	PRECISE GRADING PALN (COVER SHEET)
2	PRECISE GRADING PLAN (CONSTRUCTION)
3	PRECISE GRADING PLAN (DEMOLITION)
4	PRECISE GRADING PLAN (UTILITIES)
5	PRECISE GRADING PLAN (DETAILS)

**IMPORTANT NOTICE
CALL BEFORE YOU DIG**
SECTION 15017 OF THE CALIFORNIA GOVERNMENT CODE
REQUIRES AN INQUIRY
IDENTIFICATION NUMBER BE
ISSUED BEFORE A PERMIT TO
DIGGING WILL BE VALID. FOR
YOUR PROTECTION, PLEASE CALL
UNDERGROUND SERVICE ALERT
TOLL FREE 1-800-227-2600
(NO WORKING DAYS BEFORE YOU DIG)

SEAL

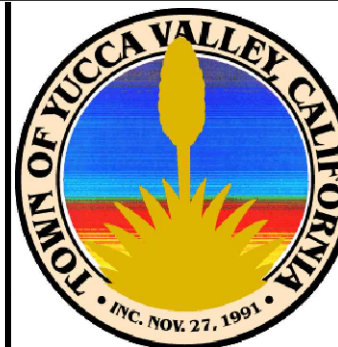
BENCH MARK:

REVISIONS

MARK	DATE	INITIAL	DESCRIPTION	DATE	APP'VD



Civil Engineering P.O. Box 12980
Land Surveying Palm Desert, California 92255
(760) 346-8015
www.feiro.net
PREPARED UNDER THE DIRECT SUPERVISION OF:
RONALD K. FEIRO R.C.E. 52260 DATE



APPROVED BY:

ARMANDO BALDIZZONE, PUBLIC WORKS DIRECTOR DATE
RECOMMENDED BY:
NOEL OWELLY, TOWN ENGINEER DATE
R.C.E. 98927

TOWN OF YUCCA VALLEY

COVER SHEET

PARCELS 1, 2, 3, 4, AND 5 OF PARCEL MAP NO. 6163 IN THE TOWN OF YUCCA VALLEY
APN: 0595-271-35,36,37,38,39
FOR: JOSHUA VILLAGE

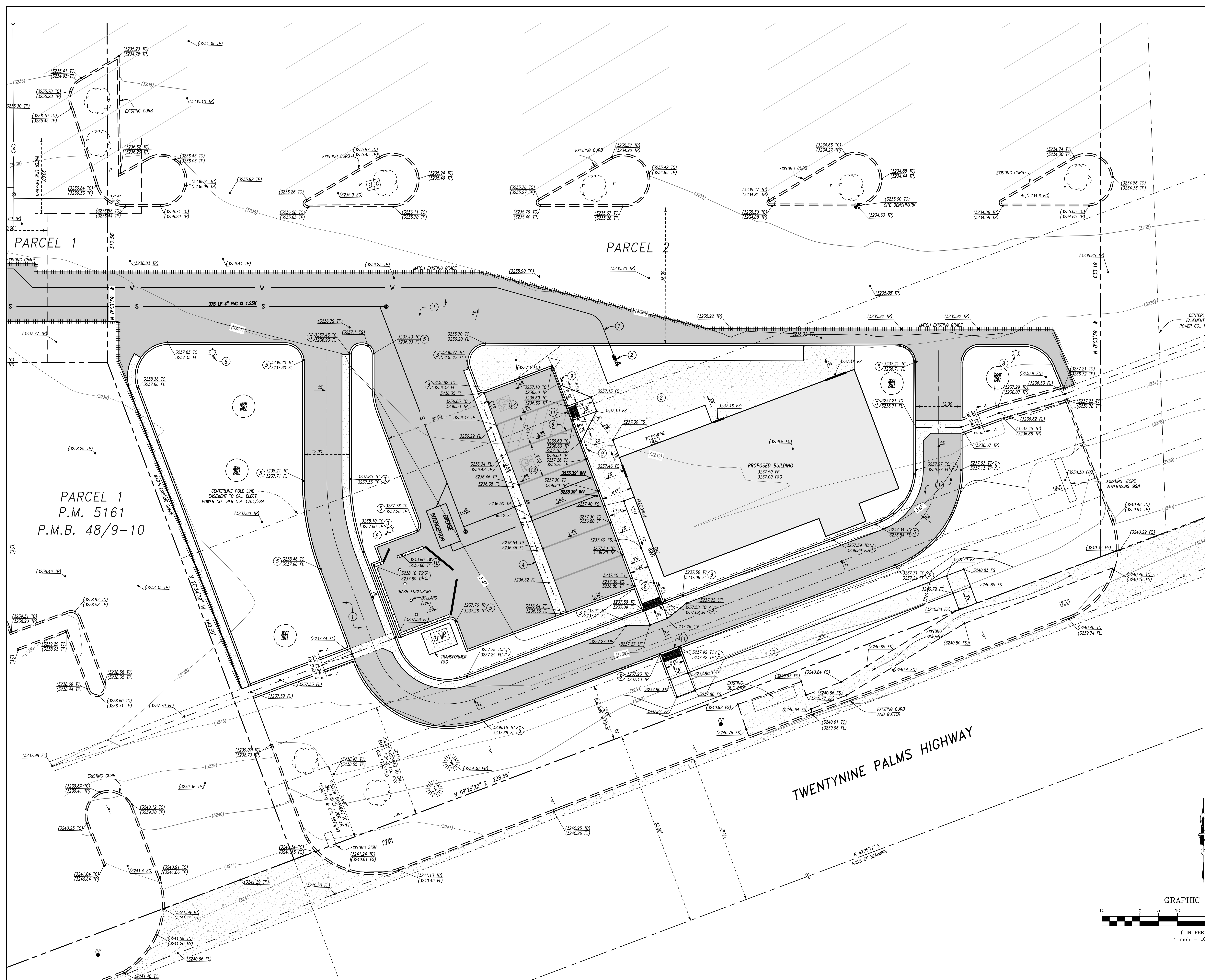
SHEET

1

OF 5 SHEETS

DRAWING NO.

188D1GP01



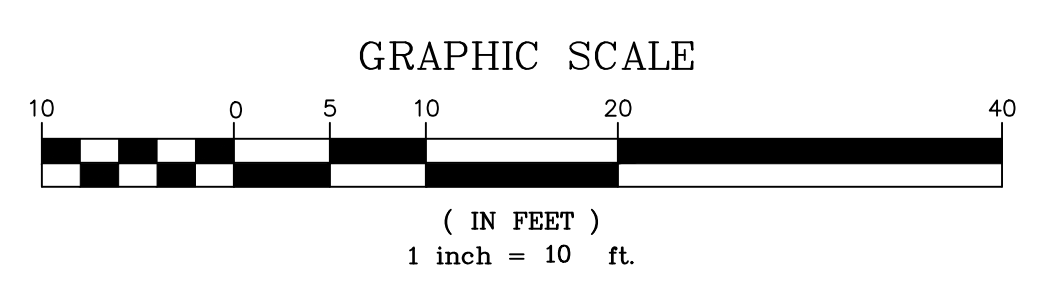
NOTE:
THE QUANTITIES SHOWN HEREON ARE FOR PERMIT PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL QUANTITIES FOR THEIR OWN BID AND PAYMENT PURPOSES.

CONSTRUCTION NOTES AND QUANTITY ESTIMATE:

SYM.	DESCRIPTION	QUANTITY	UNIT
1	CONSTRUCT 4" AC OVER 8" CL-2 A.B.	11000	SF
2	CONSTRUCT 4" CONCRETE FLAT WORK	460	SF
3	CONSTRUCT 6" CURB AND GUTTER PER DETAIL 1 ON SHEET 5	15	LF
4	CONSTRUCT 8" THICK 3" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2 ON SHEET 5	60	SF
5	CONSTRUCT 6" CURB (NO GUTTER) PER DETAIL 2 ON SHEET 5	61	LF
6	PAINT 4" WHITE ADA STRIPING	150	SF
7	INSTALL TRUNCATED DOMES PER CALIFORNIA ACCESSIBILITY STANDARDS (TYP)	3	SF
8	INSTALL LIGHT POST	3	EA
9	INSTALL ACCESSIBLE PARKING SIGN PER DETAIL 7 ON SHEET 5	2	EA
10	TRASH ENCLOSURE BLOCK WALL PER ARCHITECT'S PLANS	45	LF
11	CONSTRUCT 0" CURB PER DETAIL 9 ON SHEET 5	20	LF
12	CONSTRUCT TRANSITION 6" CURB TO 0" CURB	210	SF
13	CONSTRUCT ADA RAMP	3	EA
14	PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY, ACCESS ASILE & STRIPING PER CALIFORNIA ACCESSIBILITY STANDARDS (TYP)	2	EA

LEGEND & ABBREVIATIONS:

C	CENTERLINE
P	PROPERTY LINE
H.P.	HIGH POINT
G.B.	GRADE BREAK
E.G.	EXISTING GROUND
F.G.	FINISH GRADE
F.S.	FINISH SURFACE
F.F.	FINISH FLOOR ELEVATION
PAD	PAD ELEVATION
P	PLANTER
T.W.	TOP OF WALL
T.F.W.	TOP OF RETAINING WALL
W.S.	WATER SURFACE
B.W.	BOTTOM OF WALL
T.F.	TOP OF FOOTING
B.F.	BOTTOM OF FOOTING
R/W	RIGHT-OF-WAY
D/W	DRIVEWAY
T.C.	TOP OF CURB
F.L.	FLOW LINE
T.H.	TOP OF HEADER
E.P.	EDGE OF EXISTING PAVEMENT
T.P.	TOP OF PAVEMENT
T.G.	TOP OF GRATE
INV	INVERT ELEVATION
[G]	"G" CHISELED ON CURB
[S]	"S" CHISELED ON CURB
[E]	"E" CHISELED ON CURB
(99.9)	EXISTING ELEVATION
99.9	PROPOSED ELEVATION
---	PROPERTY LINE / RIGHT-OF-WAY
---	CENTERLINE
---	EXISTING CONTOUR
---	FINISH CONTOUR
---	DRAINAGE SWALE
---	EXISTING SLOPE
---	EXISTING CURB AND GUTTER
---	RETAINING WALL/DEEPEENED FOOTING
---	EXISTING BLOCK WALL
---	PROPOSED BLOCK WALL
---	BLOCK WALL ATOP RETAINING WALL
---	EXISTING BLOCK WALL ATOP RETAINING WALL
---	SHEET FLOW
---	CONCRETE
---	WATER METER
---	FIRE HYDRANT
---	POWER POLE
---	WATER VALVE
---	IRRIGATION CONTROL VALVE
---	SIGN
---	ELECTRIC BOX
---	TRAFFIC LIGHT BOX
---	WATER SERVICE SHUTOFF
---	STREET LIGHT
---	JOSHUA TREE
---	TREE
---	PALM TREE

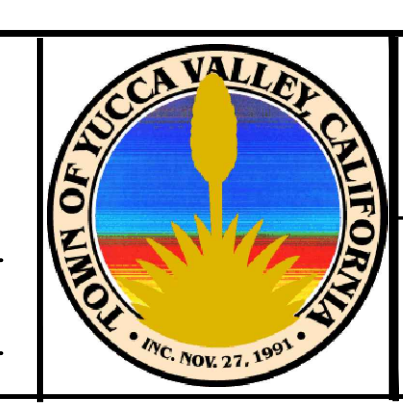


IMPORTANT NOTICE
CALL BEFORE YOU DIG
3020M 0216 OF THE OPERATING CODE
REQUIRES AN INQUIRY
IDENTIFICATION NUMBER BE
ISSUED BEFORE A PERMIT TO
DIG BE OBTAINED. FOR
YOUR PROTECTION, PLEASE CALL
UNDERGROUND SERVICE ALERT
TOLL FREE 1-800-227-2600
90 WORKING DAYS BEFORE YOU DIG

SEAL	BENCH MARK:
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REVISIONS					
MARK	DATE	INITIAL	DESCRIPTION	DATE	APP'VD

FEIRO ENGINEERING, INC.
Civil Engineering
Land Surveying
www.feiro.net
PREPARED UNDER THE DIRECT SUPERVISION OF:
RONALD K. FEIRO R.C.E. 52260 DATE



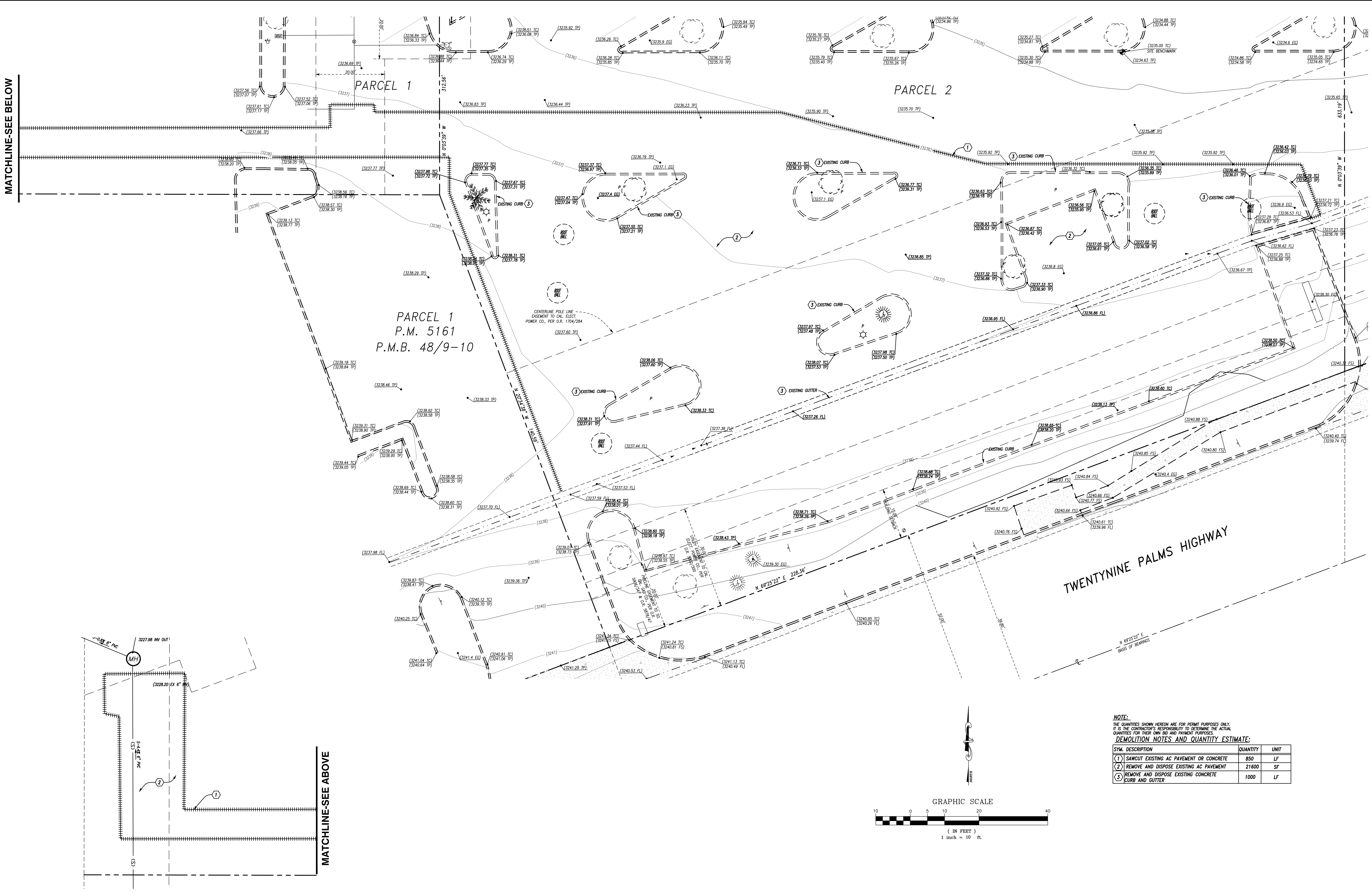
APPROVED BY:
ARMANDO BALDIZZONE, PUBLIC WORKS DIRECTOR DATE
RECOMMENDED BY:
NOEL OWSELY, TOWN ENGINEER DATE

TOWN OF YUCCA VALLEY
Precise Grading Plan
PARCELS 1, 2, 3, 4, AND 5 OF PARCEL MAP NO. 6163 IN THE TOWN OF YUCCA VALLEY
APN: 0595-271-35,36,37,38,39
FOR: **JOSHUA VILLAGE**

SHEET 2
OF 2 SHEETS
DRAWING NO. 188D1GP01

MATCHLINE-SEE BELOW

MATCHLINE-SEE ABOVE



IMPORTANT NOTICE
CALL BEFORE YOU DIG
SECTION 15012 OF THE GOVERNMENT CODE
REQUIRES AN INDUSTRY
IDENTIFICATION NUMBER BE
ISSUED BEFORE A PERMIT TO
DIG CAN BE ISSUED. FOR
YOUR PROTECTION, CALL
UNDERGROUND SERVICE ALERT
TOLL FREE 1-800-227-2600
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SEAL	BENCH MARK: NO.
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FEIRO ENGINEERING, INC.
Civil Engineering
Land Surveying
www.feiro.net
PREPARED UNDER THE DIRECT SUPERVISION OF:
RONALD K. FEIRO R.C.E. 52260 DATE

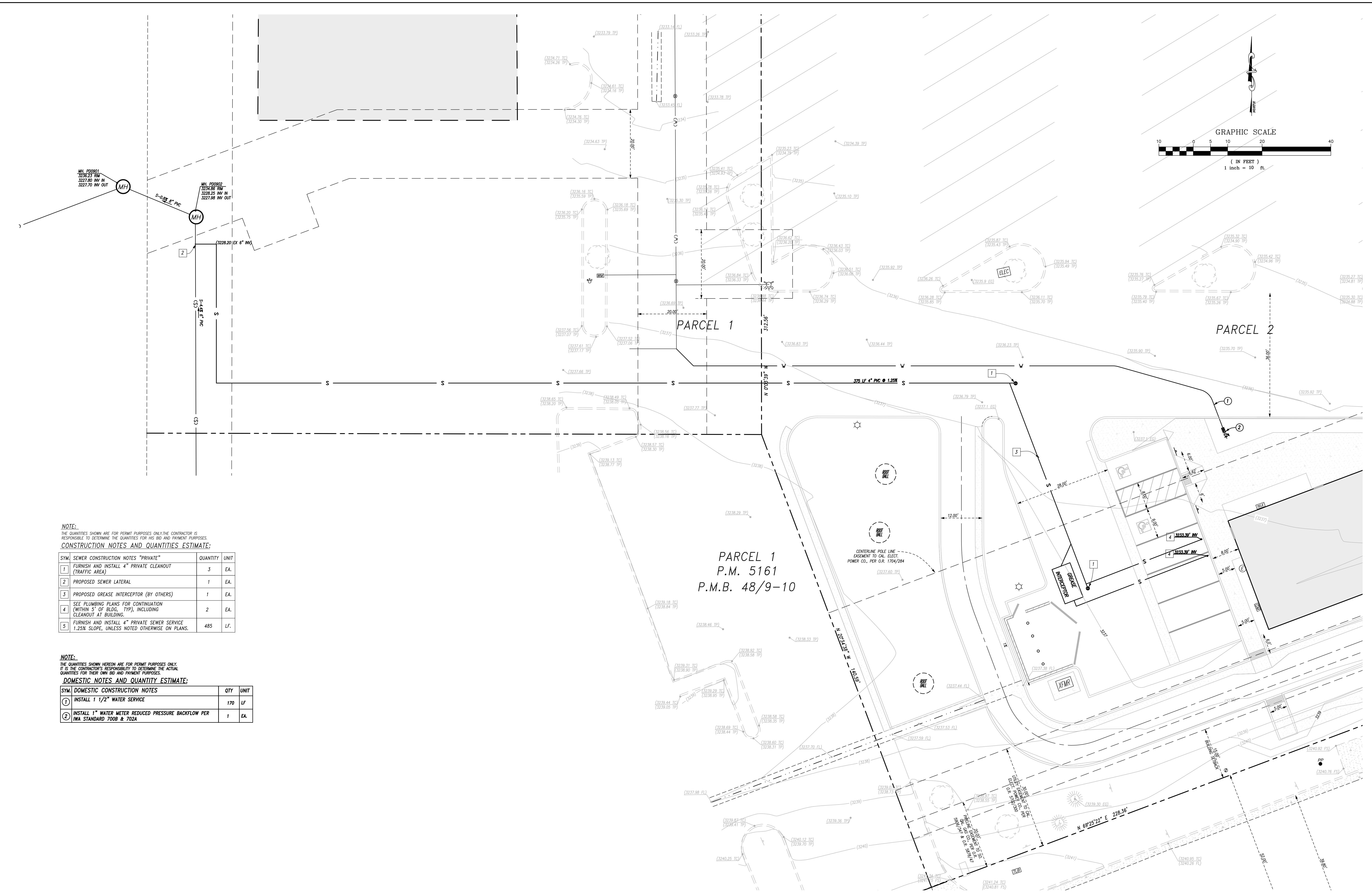
P.O. Box 12980
Palm Desert, California 92255
R.C.E. 70102
(760) 346-8015

TOWN OF YUCCA VALLEY CALIFORNIA

APPROVED BY:
ARMANDO BALDIZZONE, PUBLIC WORKS DIRECTOR DATE
RECOMMENDED BY:
NOEL OWSELEY, TOWN ENGINEER DATE
R.C.E. 39827

TOWN OF YUCCA VALLEY
DEMOLITION PLAN
PARCELS 1, 2, 3, 4, AND 5 OF PARCEL MAP NO. 6163 IN THE TOWN OF YUCCA VALLEY
APN: 0595-271-35,36,37,38,39
FOR: JOSHUA VILLAGE

SHEET
3
OF 5 SHEETS
DRAWING NO.
188D1GP01



NOTE:
 THE QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE QUANTITIES FOR HIS BID AND PAYMENT PURPOSES.

CONSTRUCTION NOTES AND QUANTITIES ESTIMATE:

SYM.	SEWER CONSTRUCTION NOTES "PRIVATE"	QUANTITY	UNIT
1	FURNISH AND INSTALL 4" PRIVATE CLEANOUT (TRAFFIC AREA)	3	EA.
2	PROPOSED SEWER LATERAL	1	EA.
3	PROPOSED GREASE INTERCEPTOR (BY OTHERS)	1	EA.
4	SEE PLUMBING PLANS FOR CONTINUATION (WITHIN 5' OF BLDG. TYP), INCLUDING CLEANOUT AT BUILDING.	2	EA.
5	FURNISH AND INSTALL 4" PRIVATE SEWER SERVICE 1.25% SLOPE, UNLESS NOTED OTHERWISE ON PLANS.	485	LF.

NOTE:
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DOMESTIC NOTES AND QUANTITY ESTIMATE:

SYM.	DOMESTIC CONSTRUCTION NOTES	QTY	UNIT
1	INSTALL 1 1/2" WATER SERVICE	170	LF.
2	INSTALL 1" WATER METER REDUCED PRESSURE BACKFLOW PER IWA STANDARD 700B & 702A	1	EA.

IMPORTANT NOTICE
 CALL BEFORE YOU DIG
 SECTION 10108 OF THE GOVERNMENT CODE
 REQUIRES AN INDUSTRY
 IDENTIFICATION NUMBER BE
 ISSUED BEFORE A PERMIT TO
 EXCAVATE WILL BE VALID. FOR
 YOUR PROTECTION CALL NUMBER CALL
UNDERGROUND SERVICE ALERT
 TOLL FREE 1-800-227-2600
 (NO WORKING DAYS BEFORE YOU DIG)

SEAL: _____

BENCH MARK: _____

REVISIONS					
MARK	DATE	INITIAL	DESCRIPTION	DATE	APP'VD

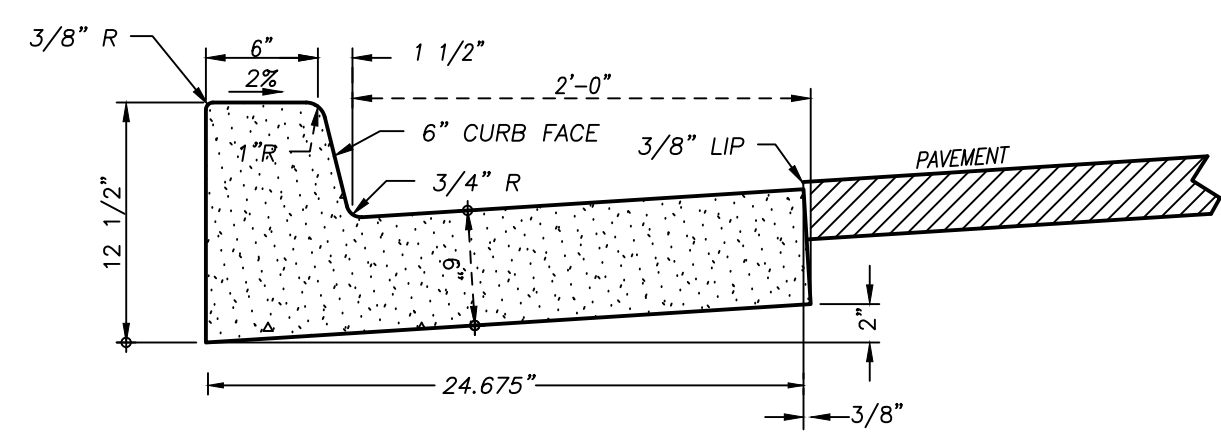
FEIRO ENGINEERING, Inc.
 Civil Engineering
 Land Surveying
 www.feiro.net
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 RONALD K. FEIRO R.C.E. 52260 DATE _____



APPROVED BY: _____ DATE _____
 ARMANDO BALDIZZONE, PUBLIC WORKS DIRECTOR
 R.C.E. 70102
 RECOMMENDED BY: _____ DATE _____
 NOEL OWSELEY, TOWN ENGINEER
 R.C.E. 59827

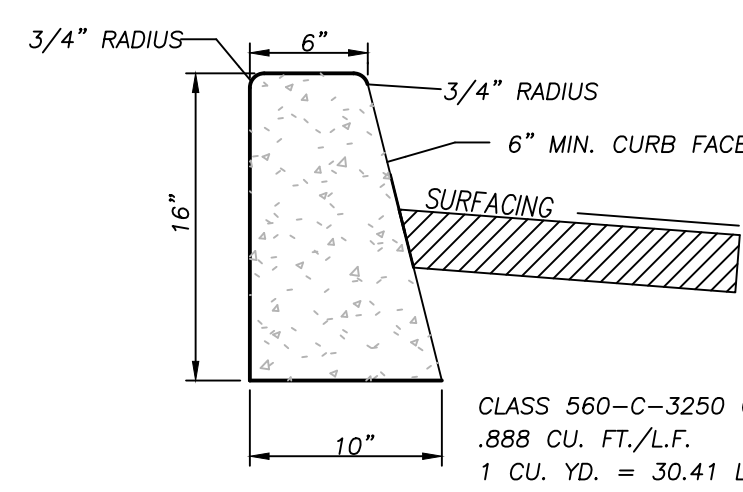
TOWN OF YUCCA VALLEY
UTILITY PLAN
 PARCELS 1, 2, 3, 4, AND 5 OF PARCEL MAP NO. 6163 IN THE TOWN OF YUCCA VALLEY
 APN: 0595-271-35,36,37,38,39
 FOR: JOSHUA VILLAGE

SHEET **4**
 OF 5 SHEETS
 DRAWING NO. 188D1GP01



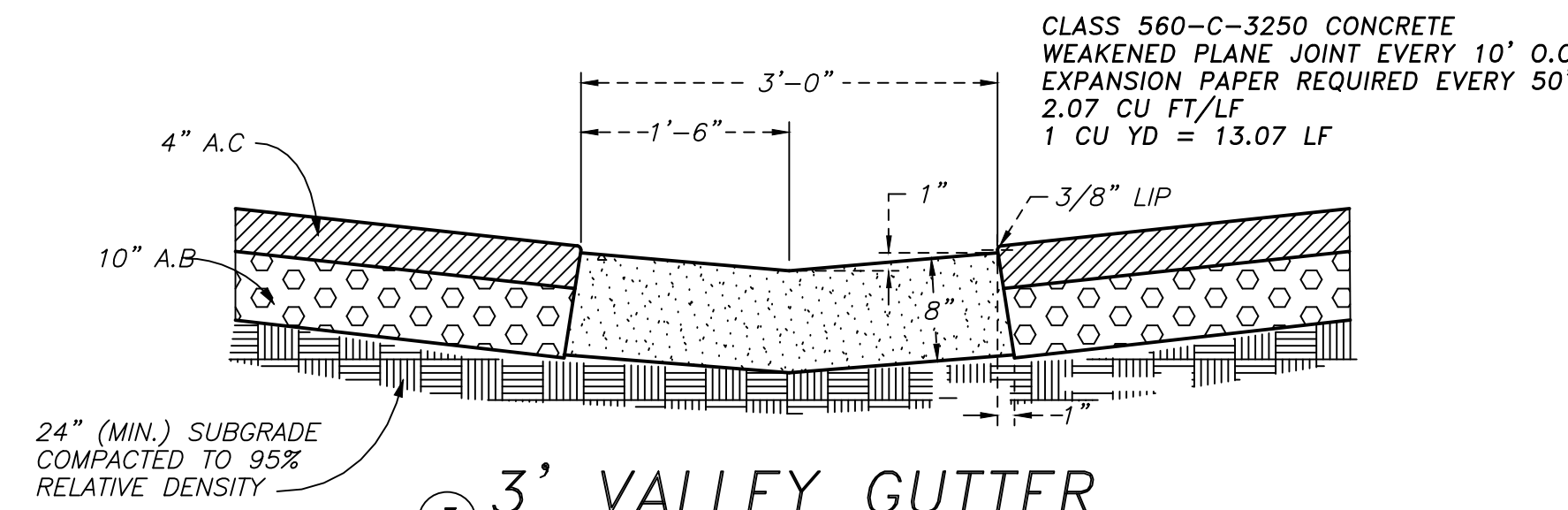
CLASS 560-C-3250 CONCRETE
1.607 CU. FT./L.F.
1 CU. YD. = 16.86 L.F.
MINIMUM PERMISSIBLE GRADE 0.50%
MINIMUM SUBGRADE COMPACTION 95% RELATIVE TO MAXIMUM
MAX. GRADE BREAK ON ROADWAYS SHALL NOT EXCEED 0.50%
ALL GUTTER SHALL BE "FLOW TESTED" PRIOR TO PAVING
SEE STANDARD 206 FOR JOINT DETAILS

1 6" CURB AND GUTTER DETAIL
NOT TO SCALE

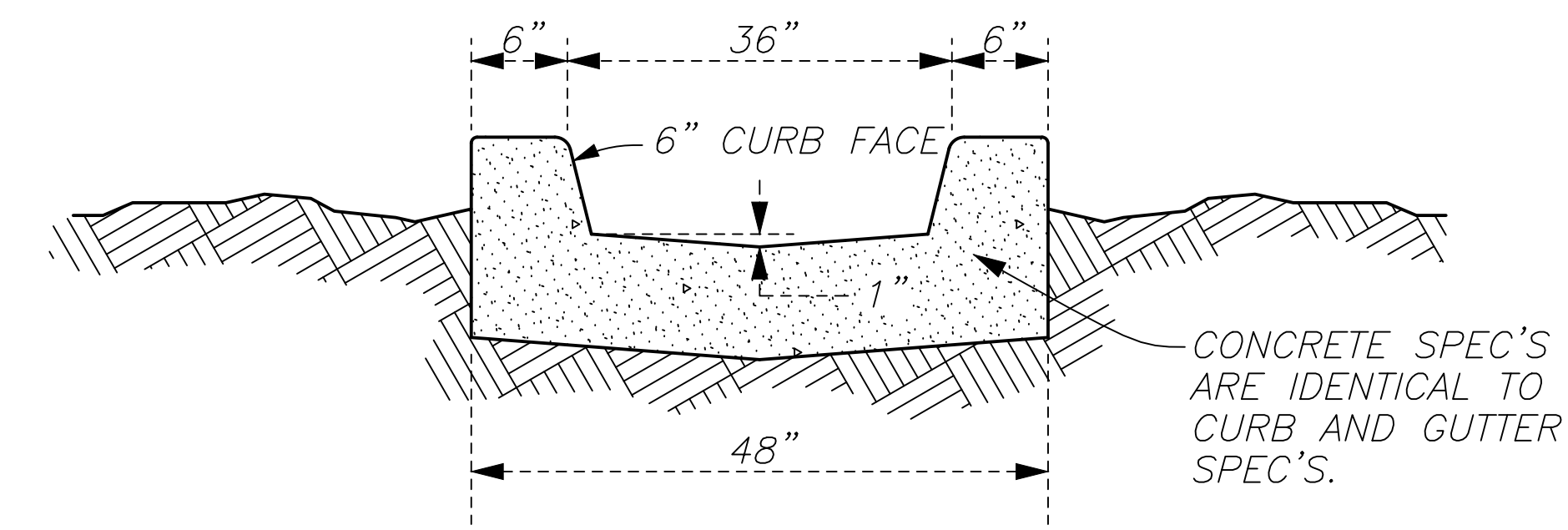


CLASS 560-C-3250 CONCRETE
488 CU. FT./L.F.
1 CU. YD. = 30.41 L.F.
MINIMUM SUBGRADE COMPACTION 95% RELATIVE TO MAXIMUM
MAX. GRADE BREAK ON ROADWAYS SHALL NOT EXCEED 0.50%
SEE STANDARD 206 FOR JOINT DETAILS

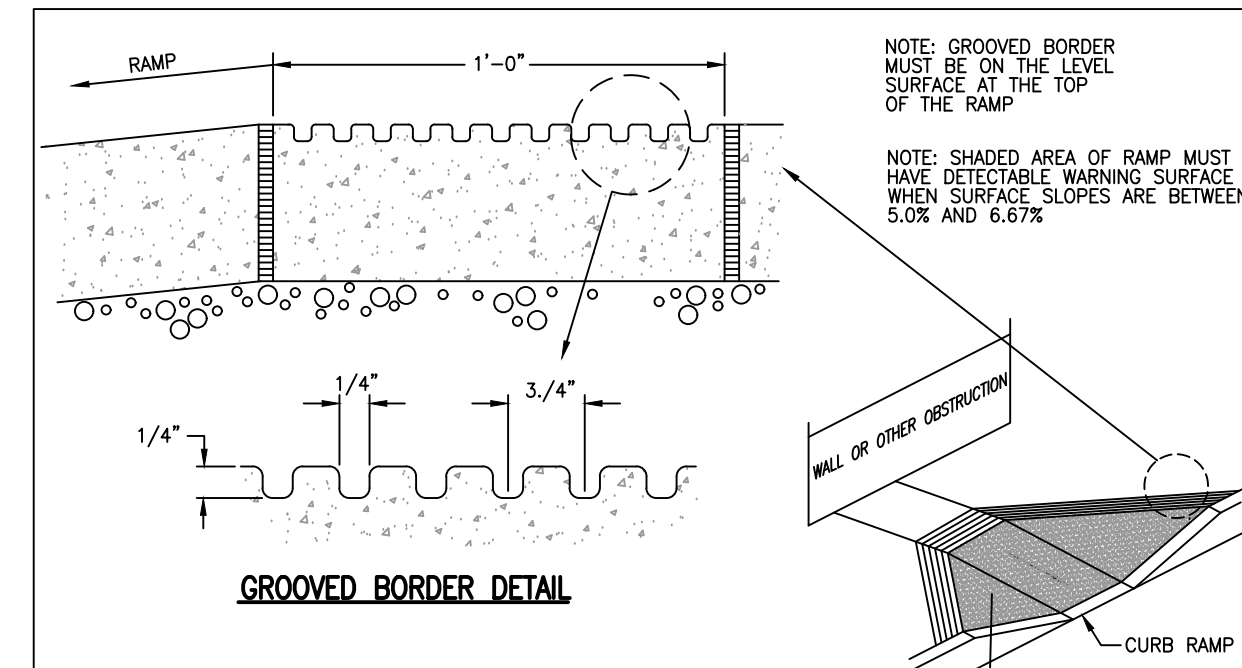
2 6" CURB DETAIL
NOT TO SCALE



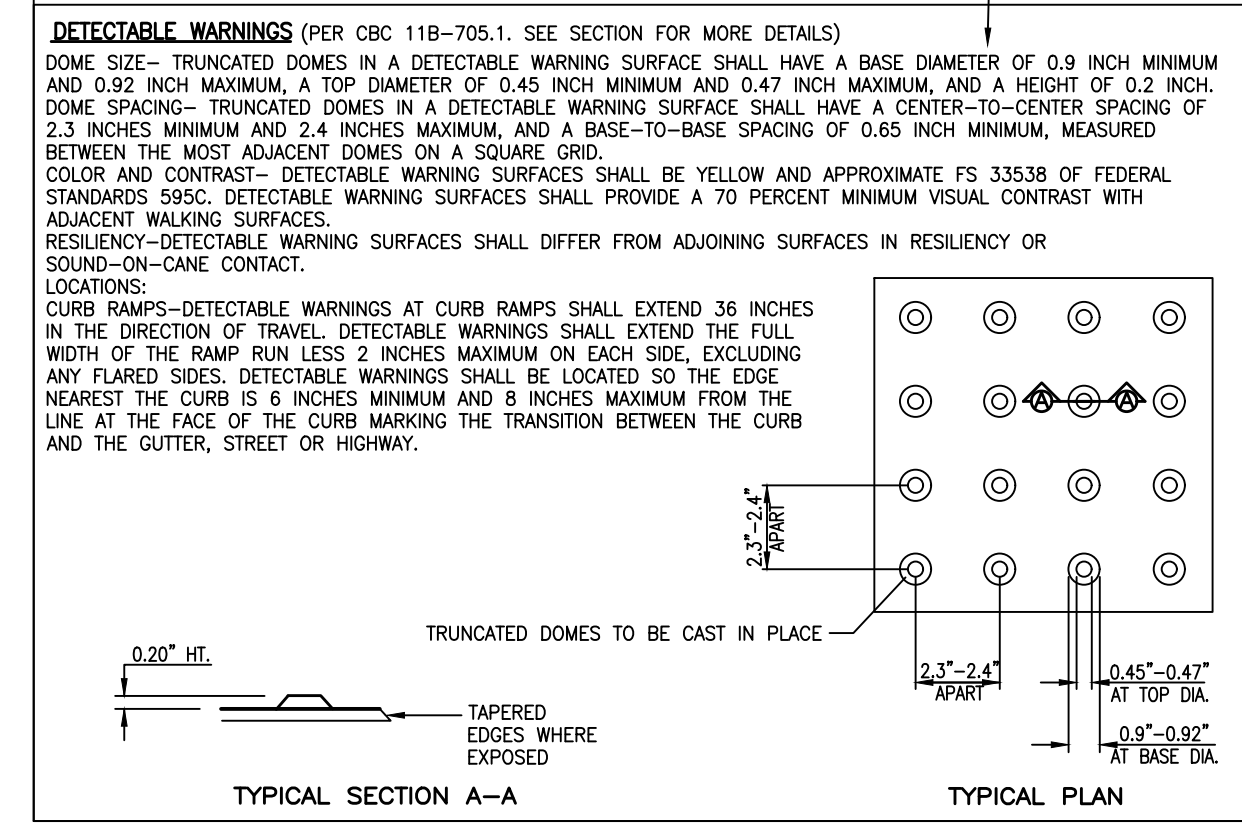
3 3" VALLEY GUTTER
24" (MIN.) SUBGRADE COMPACTION TO 95% RELATIVE DENSITY



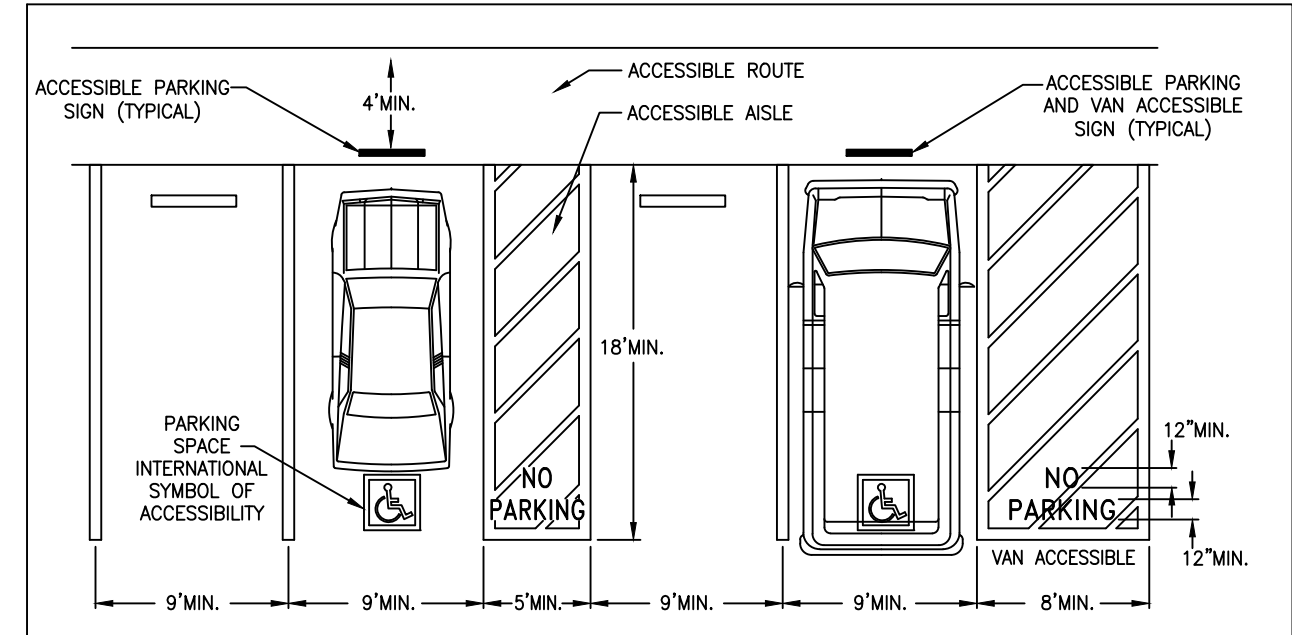
4 X-SECTION A-A
CONCRETE SPEC'S ARE IDENTICAL TO CURB AND GUTTER SPEC'S.



GROOVED BORDER DETAIL

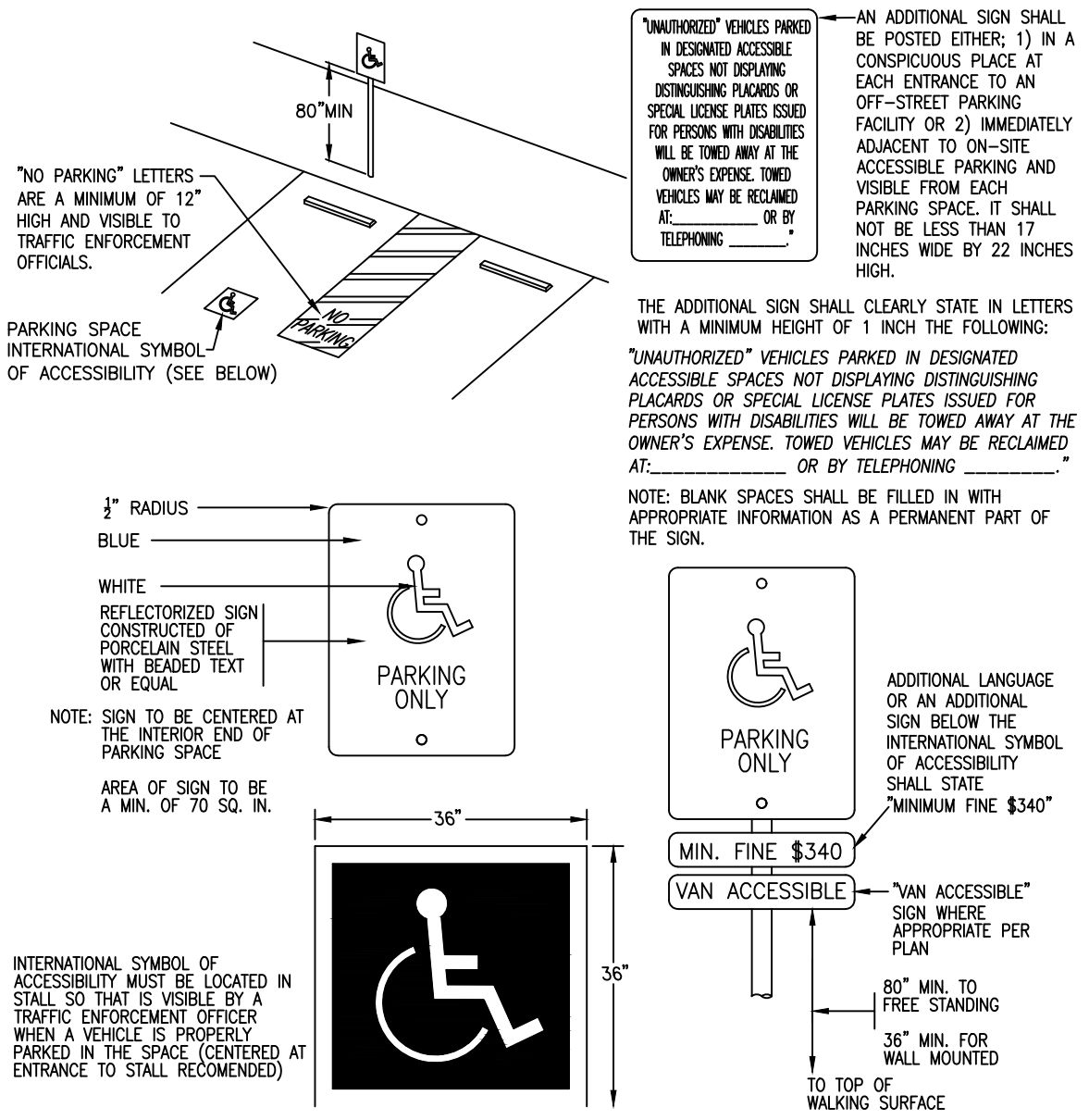


5 CALIFORNIA ACCESSIBILITY TRUNCATED DOMES & GROOVED BORDER DETAIL

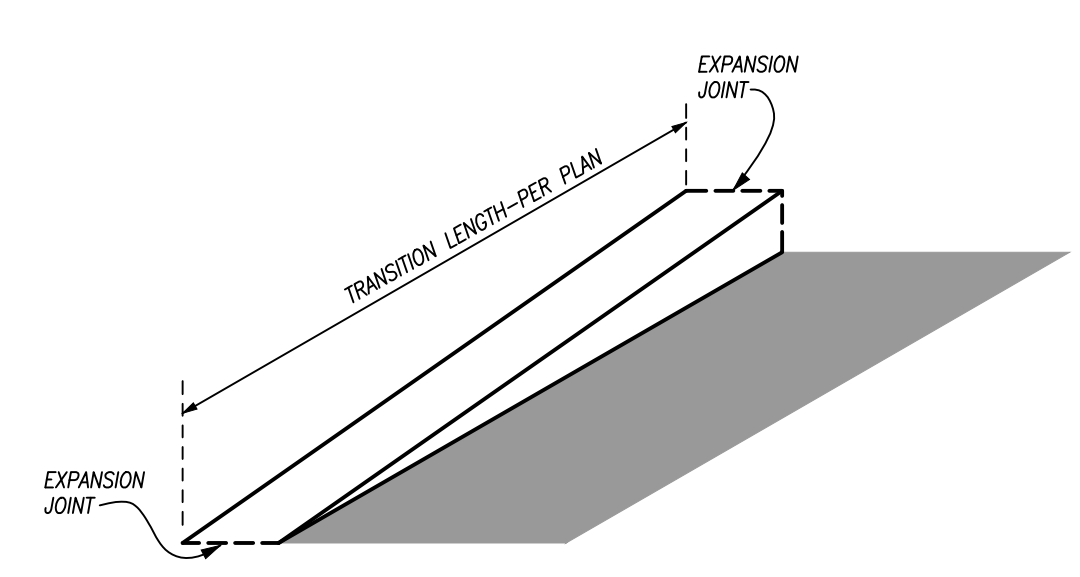


- GENERAL ACCESSIBLE PARKING SPACE NOTES:
- 1) ACCESSIBLE PARKING SPACE MUST PERMIT USE OF EITHER CAR DOORS.
 - 2) A PARKING BUMPER IS REQUIRED WHEN NO CURB OR BARRIER IS PROVIDED WHICH WILL PREVENT ENCRoACHMENT OF CARS OVER THE ADJOINING ACCESSIBLE ROUTE.
 - 3) WHEELCHAIR USERS MUST NOT BE FORCED TO GO BEHIND PARKED CARS OTHER THAN THEIR OWN TO ACCESS AN ADJOINING ACCESSIBLE ROUTE.
 - 4) THE MAXIMUM SURFACE SLOPE WITHIN THE ACCESSIBLE PARKING SPACE AND ADJACENT ACCESS ASLE MAY NOT EXCEED 2% IN ANY DIRECTION.
 - 5) CURB RAMPS MAY NOT ENCRoACH INTO THE REQUIRED DIMENSIONS OF ACCESSIBLE PARKING SPACES OR ADJACENT ACCESS ASLES.
 - 6) ACCESS ASLE (LOADING/UNLOADING AREA) MUST CONNECT TO AN ACCESSIBLE PATH OF TRAVEL TO THE FACILITY.
 - 7) THE WORDS "NO PARKING" MUST BE PAINTED ON THE GROUND WITH EACH ACCESS ASLE.

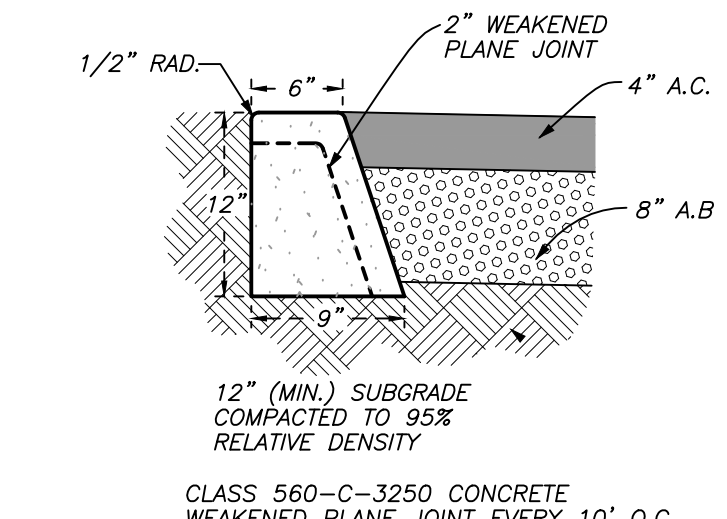
6 CALIFORNIA ACCESSIBILITY PARKING STALLS



7 CALIFORNIA ACCESSIBILITY SIGNAGE



8 0" TO 6" CURB TRANSITION
SCALE: N.T.S.



9 0" CURB DETAIL
NOT TO SCALE

IMPORTANT NOTICE
CALL BEFORE YOU DIG
REQUIRES AN INQUIRY IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO EXCAVATE WILL BE VALID. FOR YOUR PROTECTION CALL NUMBER ONE UNDERGROUND SERVICE ALERT TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG

SEAL: _____
BENCH MARK: _____

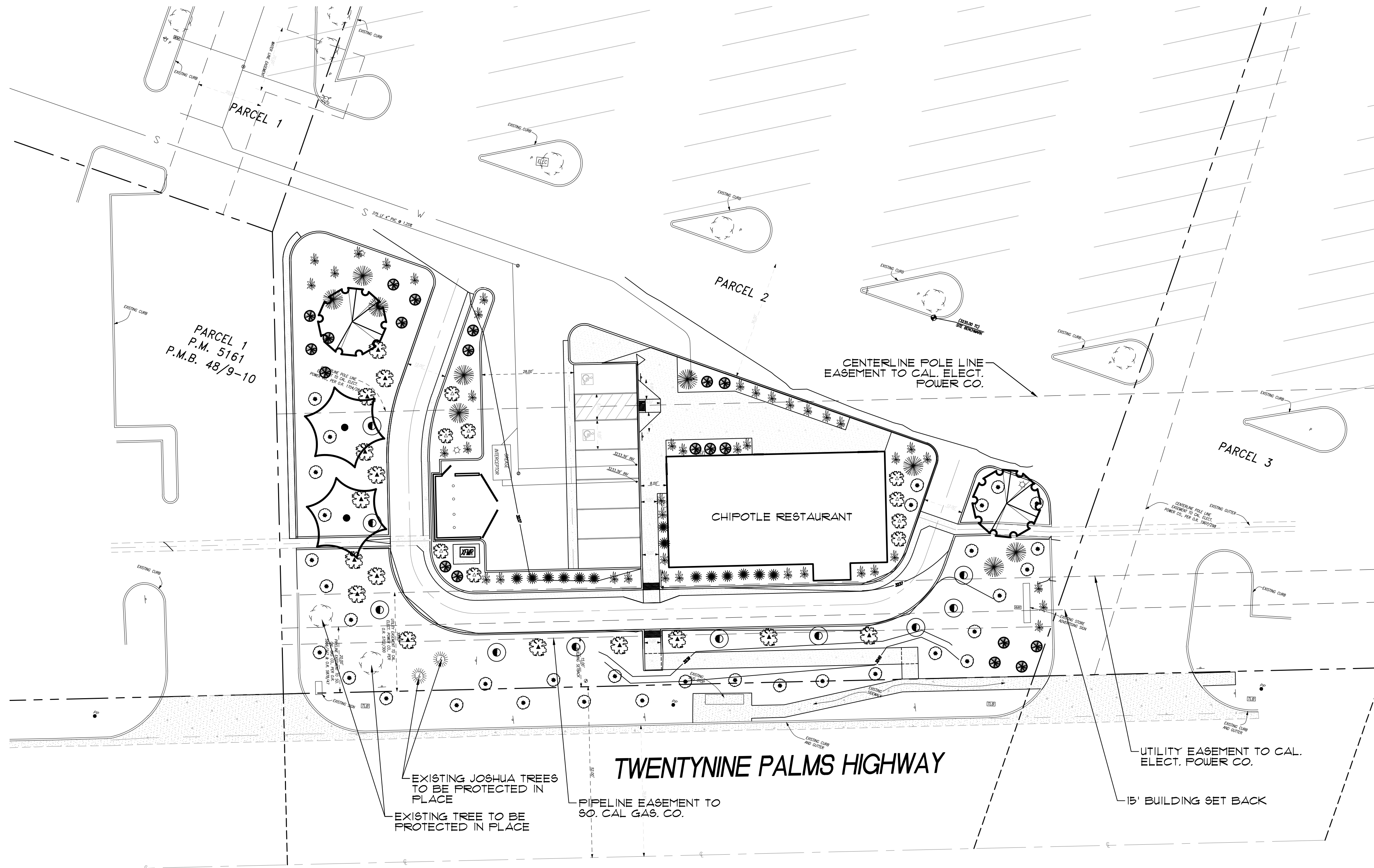
REVISIONS				
MARK	DATE	INITIAL	DESCRIPTION	DATE APP'VD

FEIRO ENGINEERING, INC.
Civil Engineering Land Surveying
P.O. Box 12880 Palm Desert, California 92255
(760) 348-8015
www.feiro.net
PREPARED UNDER THE DIRECT SUPERVISION OF:
RONALD K. FEIRO R.C.E. 52260 DATE _____

APPROVED BY:
ARMANDO BALDIZZONE, PUBLIC WORKS DIRECTOR DATE _____
RECOMMENDED BY:
NOEL OWLSLEY, TOWN ENGINEER DATE _____
R.C.E. 39827

TOWN OF YUCCA VALLEY
DETAILS
PARCELS 1, 2, 3, 4, AND 5 OF PARCEL MAP NO. 6163 IN THE TOWN OF YUCCA VALLEY
APN: 0595-271-35,36,37,38,39
FOR: JOSHUA VILLAGE

SHEET 5
OF 5 SHEETS
DRAWING NO. 188D1GP01



PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	SIZE	WATER USE
TREES				
		PARKINSONIA X 'DESERT MUSEUM' 'DESERT MUSEUM PALO VERDE'	24" BOX	Ø5 MOD.
		ACACIA ANEURA 'MULGA'	24" BOX SINGLE TRK. STANDARD	Ø2 LOW
SHRUBS				
		MUHLENBERGIA CAPILLARIS 'REGAL MIST'	5 GAL.	Ø2 LOW
		DASYLIRION WHEELERI 'DESERT SPOON'	5 GAL.	Ø2 LOW
		LEUCOPHYLLUM FRUNOSUM 'SIERRA BOUQUET'	5 GAL.	Ø2 LOW
		CARISSA MACROCARPA 'GREEN CARPET'	5 GAL.	Ø2 LOW
		HESPERALOE PARVIFLORA 'RED YUCCA'	5 GAL.	Ø2 LOW
		LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'	5 GAL.	Ø2 LOW
		AGAVE FRANZONII 'MAJESTIC AGAVE'	5 GAL.	Ø2 LOW
		LARREA TRIDENTATA 'CREOSOTE BUSH'	5 GAL.	Ø2 LOW

STONE, GRAVEL MATERIALS

NOT SHOWN
INSTALL 3" LAYER OF 3/8" MINUS DECOMPOSED GRANITE IN PLANTER AREAS.
COLOR: DESERT GOLD BY SOUTHWEST BOULDER



HERMANN DESIGN GROUP
77-899 WOLF RD.
SUITE 102
PALM DESERT, CA
92211
LIC# 2754 EXP. 04/30/24
PH. (760) 777-9131
FAX (760) 777-9132

OWNER:
JOSHUA VILLAGE 2022 LLC
PO BOX 1882
SAN JACINTO, CA
951-236-9701

PROJECT:
CHIPOTLE
TWENTYNINE PALMS HWY.
YUCCA VALLEY, CA 92284

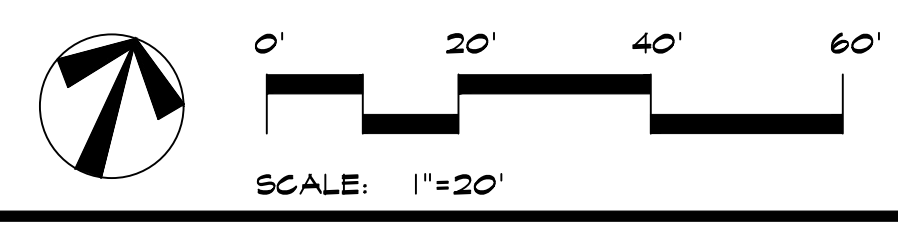
REVISIONS	DATE	BY



SHEET TITLE
**PRELIMINARY
LANDSCAPE
PLAN**

DESIGNED	JE
DRAWN	JE
CHECKED	-
DATE	06/15/22
SCALE	-
JOB NO.	22014

SHEET
LP-1
OF 1 SHEETS



THIS DRAWING IS INTENDED TO BE PLOTTED ON A 24"X36" SHEET. FIGURES TO GO TO THE RIGHT OF AN INCREMENT SHALL BE PLACED TO THE LEFT OF THE INCREMENT.

GENERAL NOTES

1. STENCILS FOR PARKING MARKINGS AVAILABLE FROM PAVEMENT STENCIL COMPANY. PHONE: (800) 250-5647. EMAIL: STENCILS@PAVEMENTSTENCIL.COM
2. NOTE: ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY. GC TO BUILD FROM CIVIL DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN ARCHITECTURE AND CIVIL, CONTACT ARCHITECT IMMEDIATELY.
3. A GEOTECHNICAL ENGINEERING REPORT IS AVAILABLE FOR THIS SITE. THE GENERAL CONTRACTOR SHALL REQUEST THE REPORT FROM THE ARCHITECT AND SHALL PERFORM ALL RECOMMENDATIONS IN THE REPORT. NOTIFY THE ARCHITECT, STRUCTURAL ENGINEER, AND OWNER WITH ANY QUESTIONS.

JOHN M DUNGAN
ARCHITECT

8826 Santa Fe Drive
Suite 304
Overland Park, KS 66212

913-341-2466
913-341-2455 fax

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57552-57672 Twentynine Pines Hwy
Yucca Valley, CA 92284

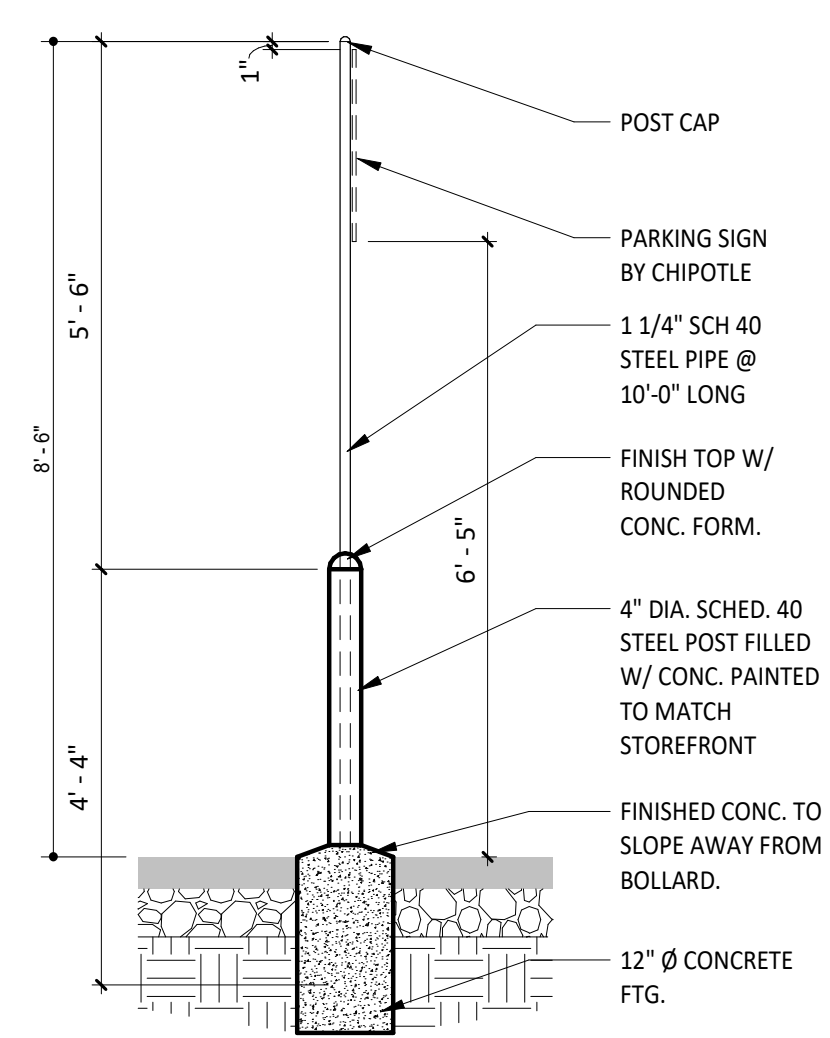
Issue Record:
mm/dd/yy Permit Issue

Revisions:

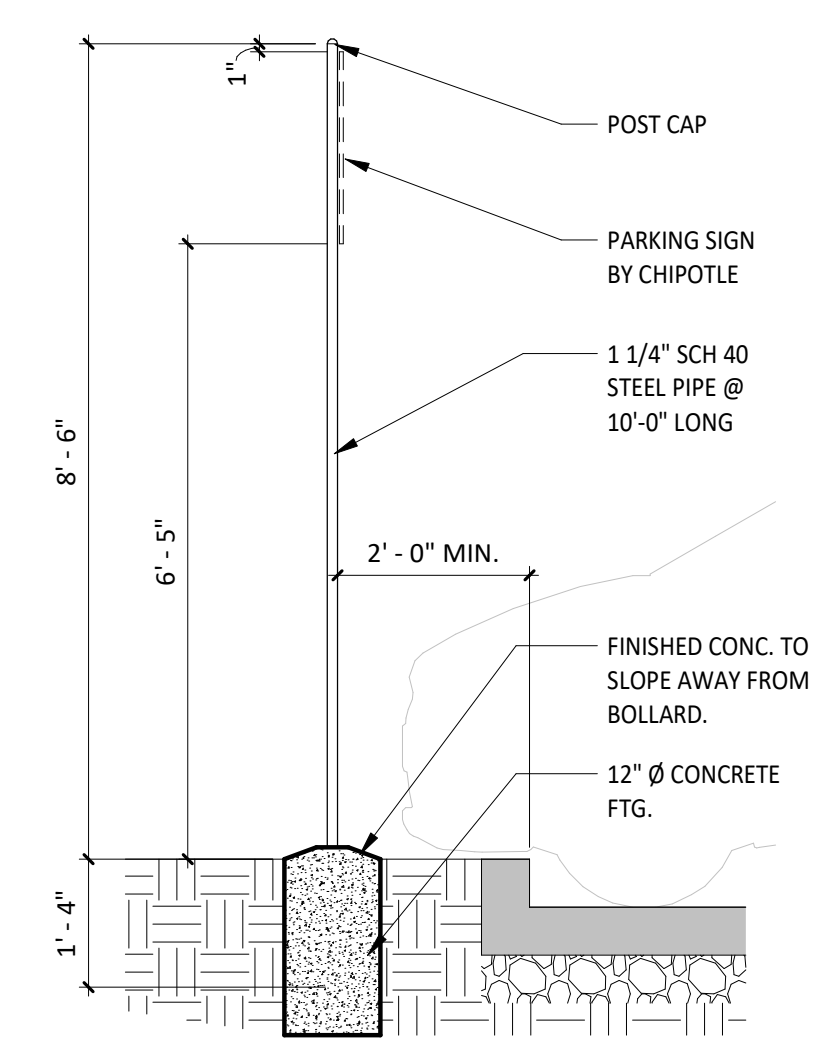
Project No.
01612

Architectural Site Plan

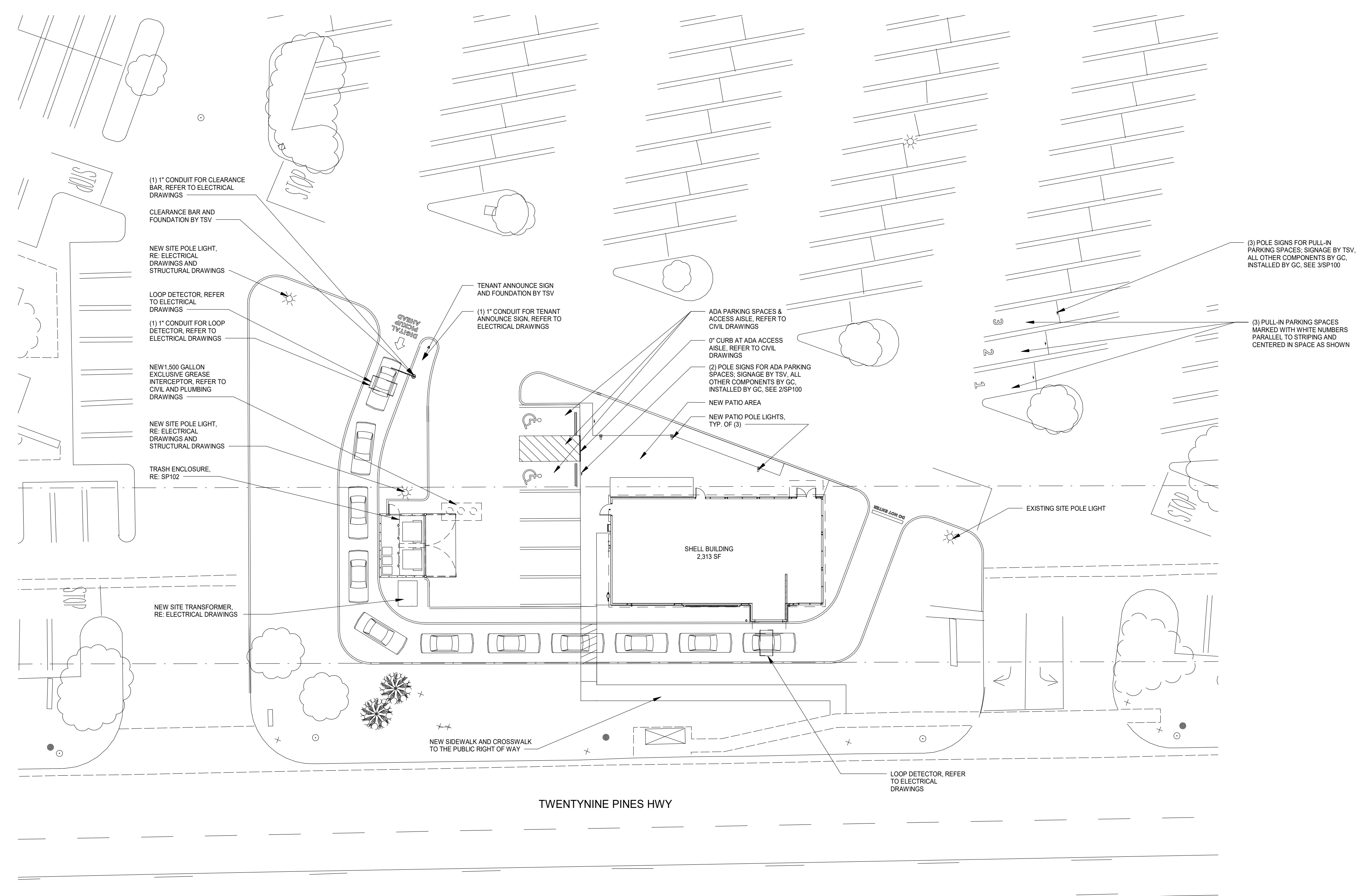
SP100



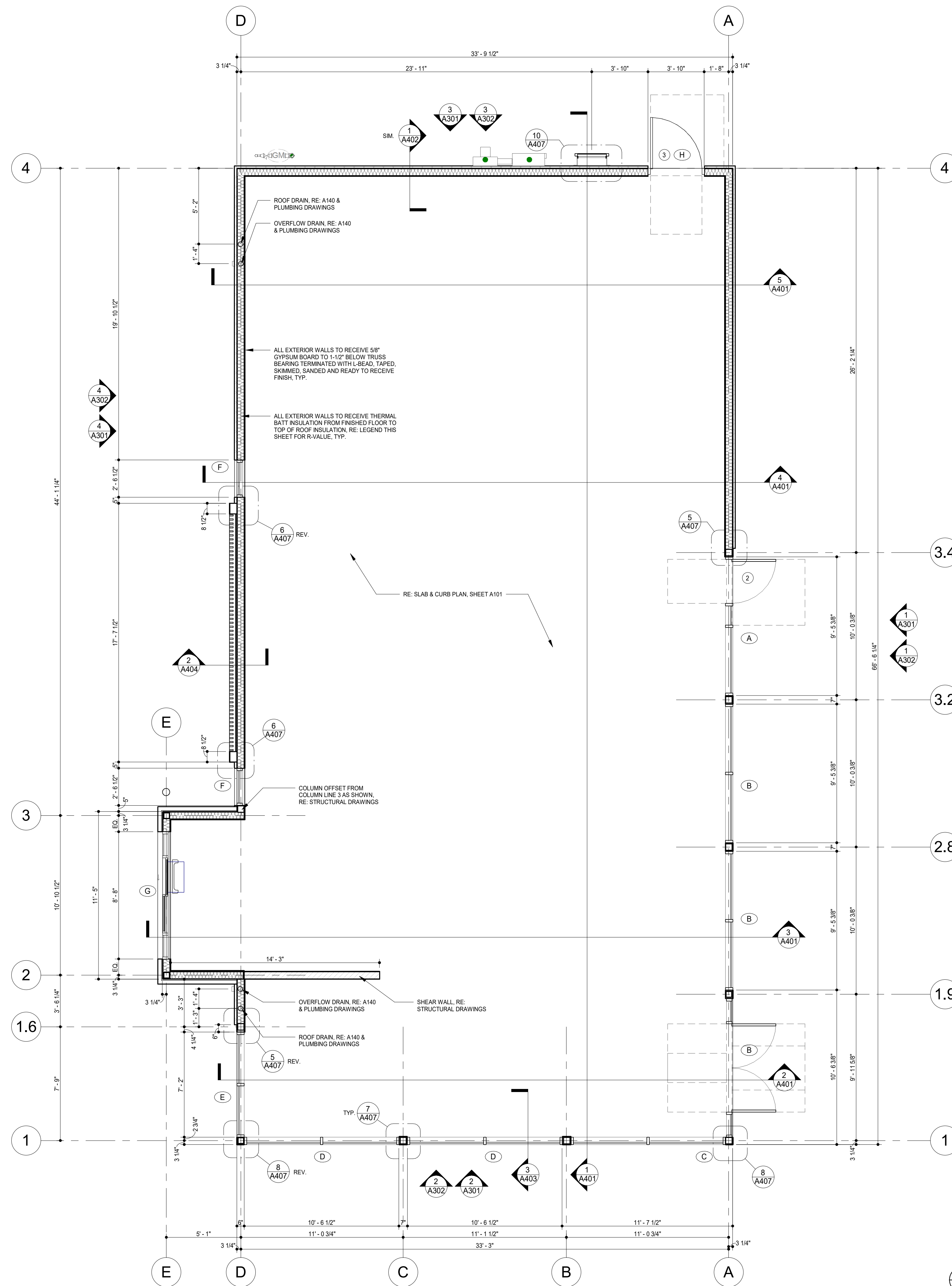
① TYP. SIGN POST DETAIL
1/2" = 1'-0"



② TYP. SIGN POST DETAIL
1/2" = 1'-0"



① ARCHITECTURAL SITE PLAN
1" = 20'-0"



GENERAL NOTES

1. REFER TO A601 FOR DOOR INFORMATION & A602 FOR STOREFRONT DIMENSIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL SHEATHING, FACE OF STOREFRONT, OR CENTERLINE OF STRUCTURE UNLESS NOTES OTHERWISE.
3. SEE STRUCTURAL SHEETS FOR EXTERIOR WALL FRAMING AND SHEATHING.
4. ALL EXTERIOR WOOD BLOCKING TO BE MOSTURE RESISTANT PRESERVATIVE TREATED (P.T.).
5. TAPE SEALANT AT ALL ANCHOR LOCATIONS.
6. ALL FLASHING AND SEAMS BETWEEN SHEATHING IN COMPOSITE WOOD STUD WALL CONSTRUCTION CONDITIONS TO BE TAPED AND SEALED WITH TAPE SEALANT.
7. LAP ALL WEATHER RESISTANT BARRIERS AND THRU-WALL FLASHING IN A WATER SHEDDING FASHION. TAPE ALL EXPOSED EDGES.
8. EXTEND ALL THRU-WALL FLASHING TO 1/4 INCH PAST THE EXTERIOR FACE OF WALL.
9. PROVIDE CONTINUOUS ANCHORAGE FOR ALL THRU-WALL FLASHING.
10. EXTEND FLASHING VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
11. APPLY SEALANT TO ALL SHEATHING JOINTS AND FASTENER PENETRATIONS.
12. PROVIDE FULLY ADHERED FLASHING AT ALL WINDOW AND DOOR OPENING HEADS, SILLS AND JAMBS.
13. EDGE OF SLAB/CURB ALIGNS WITH EXTERIOR FACE OF WALL SHEATHING AND EXTERIOR FACE OF STOREFRONT.

LEGEND

- 2x6 WOOD STUD WALL WITH R-21 THERMAL BATT INSULATION
- DOOR TYPE, RE: A601
- STOREFRONT TYPE, RE: A602

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 Yucca Valley, CA 92284

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Revisions:

No.	Description

Project No.
01612

Architectural Shell
Floor Plan

A100

GENERAL NOTES

- RE: A131 & A132 FOR EQUIPMENT & FURNITURE SCHEDULES.
- ALL DIMENSIONS TO FACE OF GYPSUM BOARD, FACE OF FINISH PLYWOOD, CENTERLINE/EDGE OF FURNITURE, OR COLUMN GRID, UNLESS NOTED OTHERWISE.
- ALL FURNITURE SHALL BE SQUARE TO TENANT SPACE/WALLS AS SHOWN ON PLANS.
- MAINTAIN MINIMUM 3'-0" CLEAR @ QUEUE LINE & EXIT PATHWAYS, TYP.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS, RE: A701 & A702.
- PROVIDE BLOCKING IN WALLS FOR WALL-MOUNTED ARTWORK, TOILET ROOM AND KITCHEN FIXTURES.
- PROVIDE PORTABLE FIRE EXTINGUISHERS AS FOLLOWS:
(2) TYPE ABC - SHOWN ON PLAN, FINAL LOCATION PER FIRE MARSHAL.
(1) TYPE K - SHOWN ON PLAN, FINAL LOCATION PER FIRE MARSHAL.

8826 Santa Fe Drive
Suite 304
Overland Park, KS 66212

913-341-2466
913-341-2455 fax

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PO BOX 182566
COLUMBUS, OH 43218-2566
(614) 318-2400
www.chipotle.com

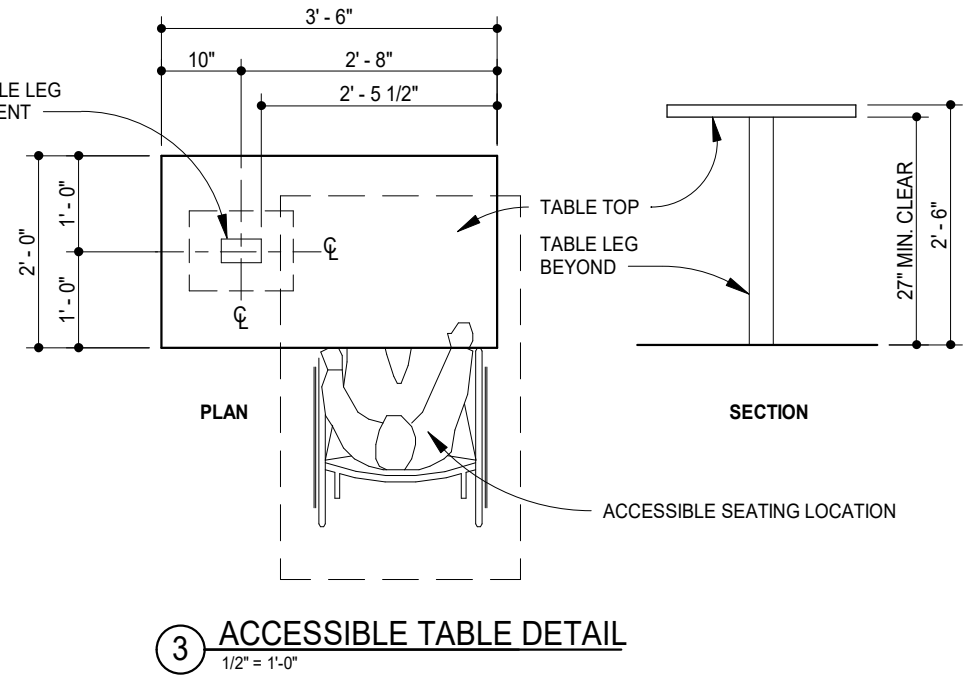
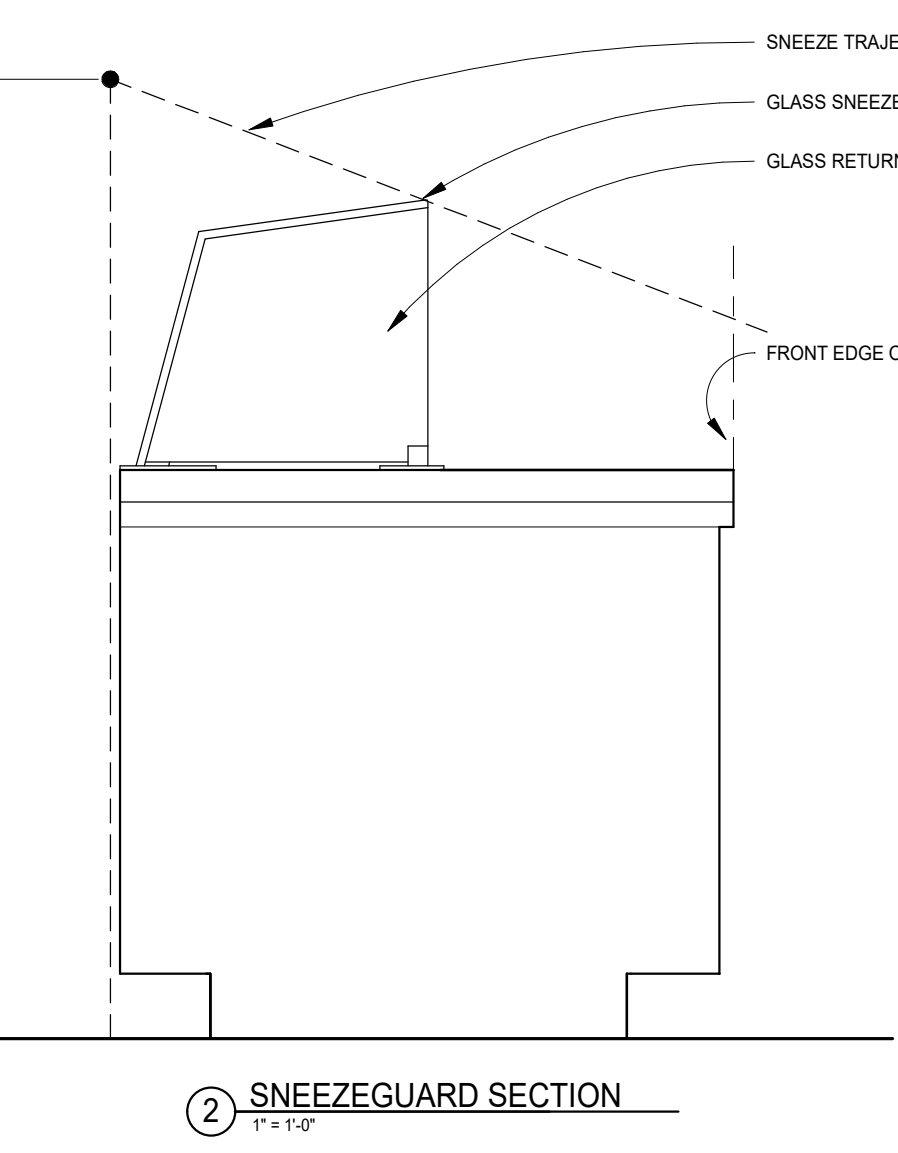
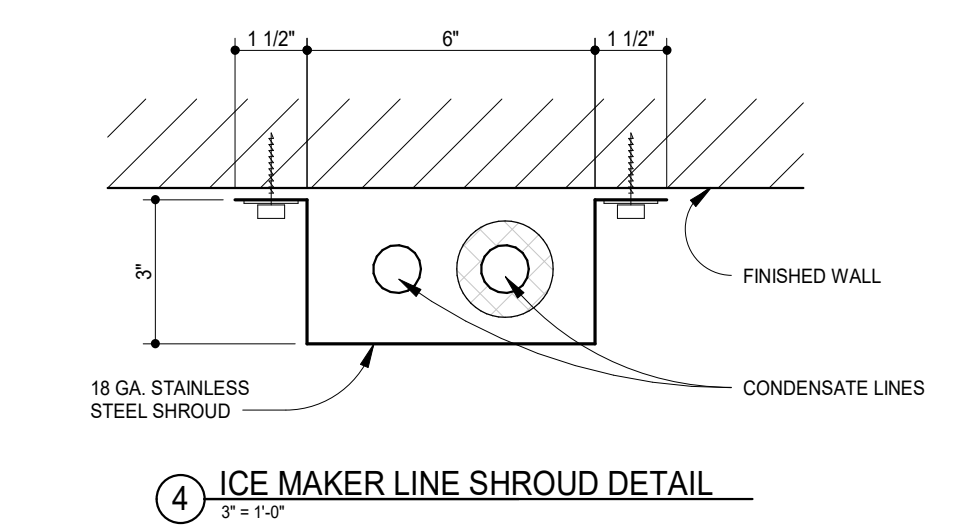
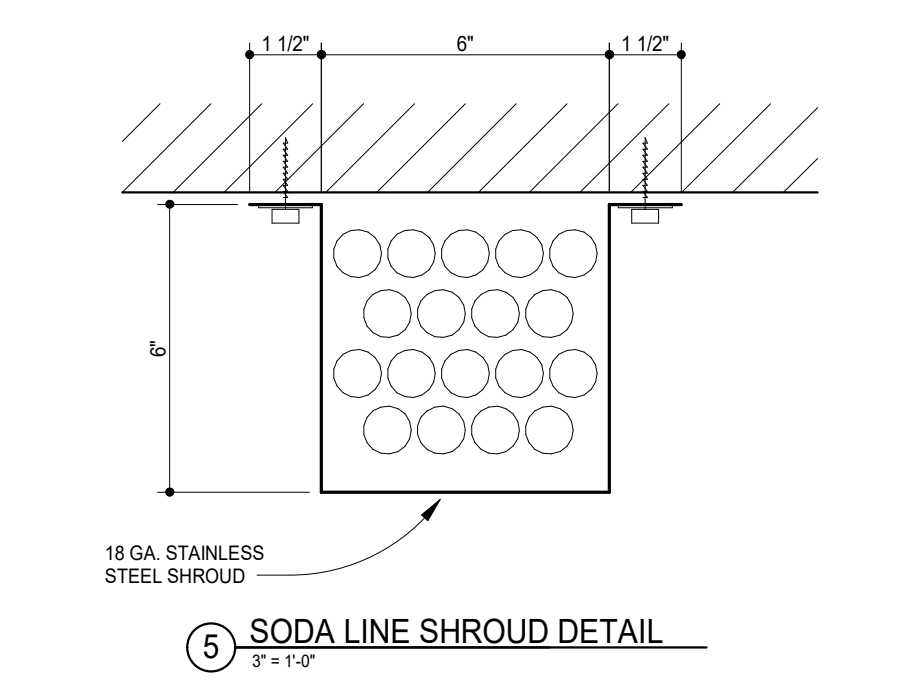
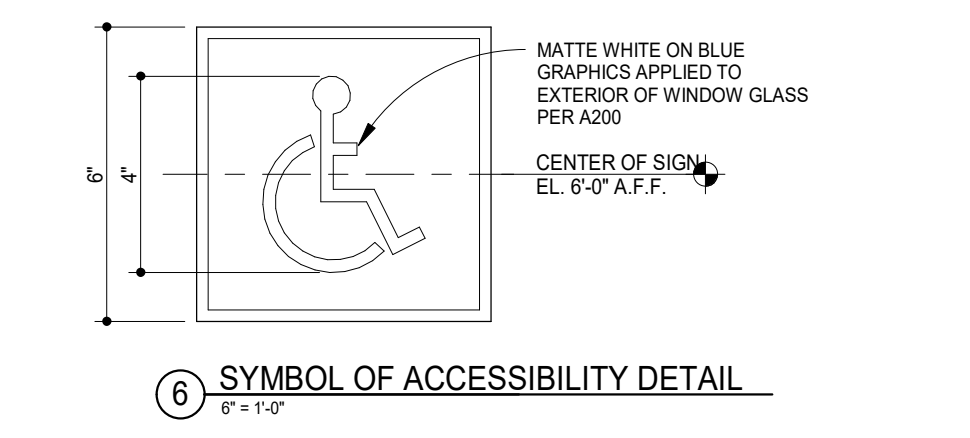
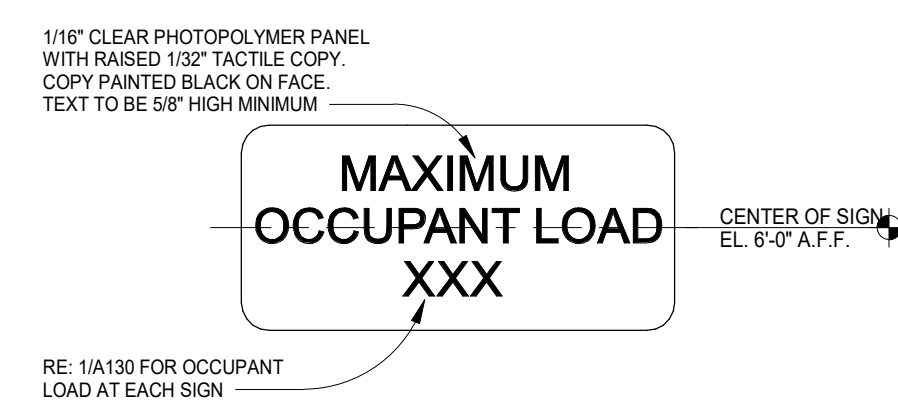
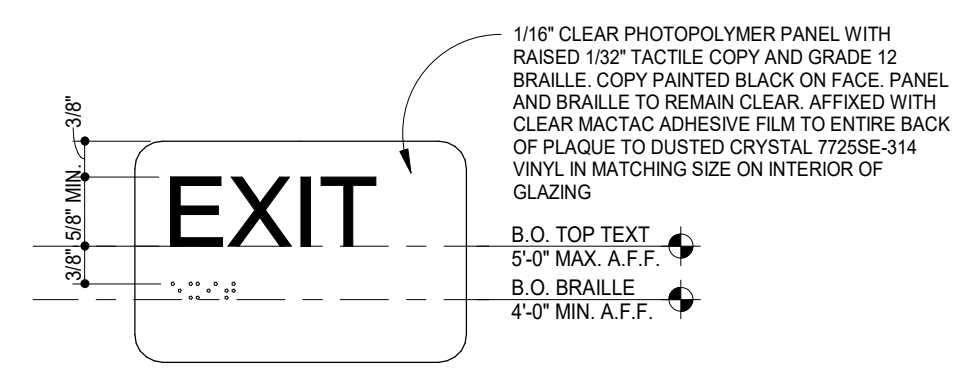
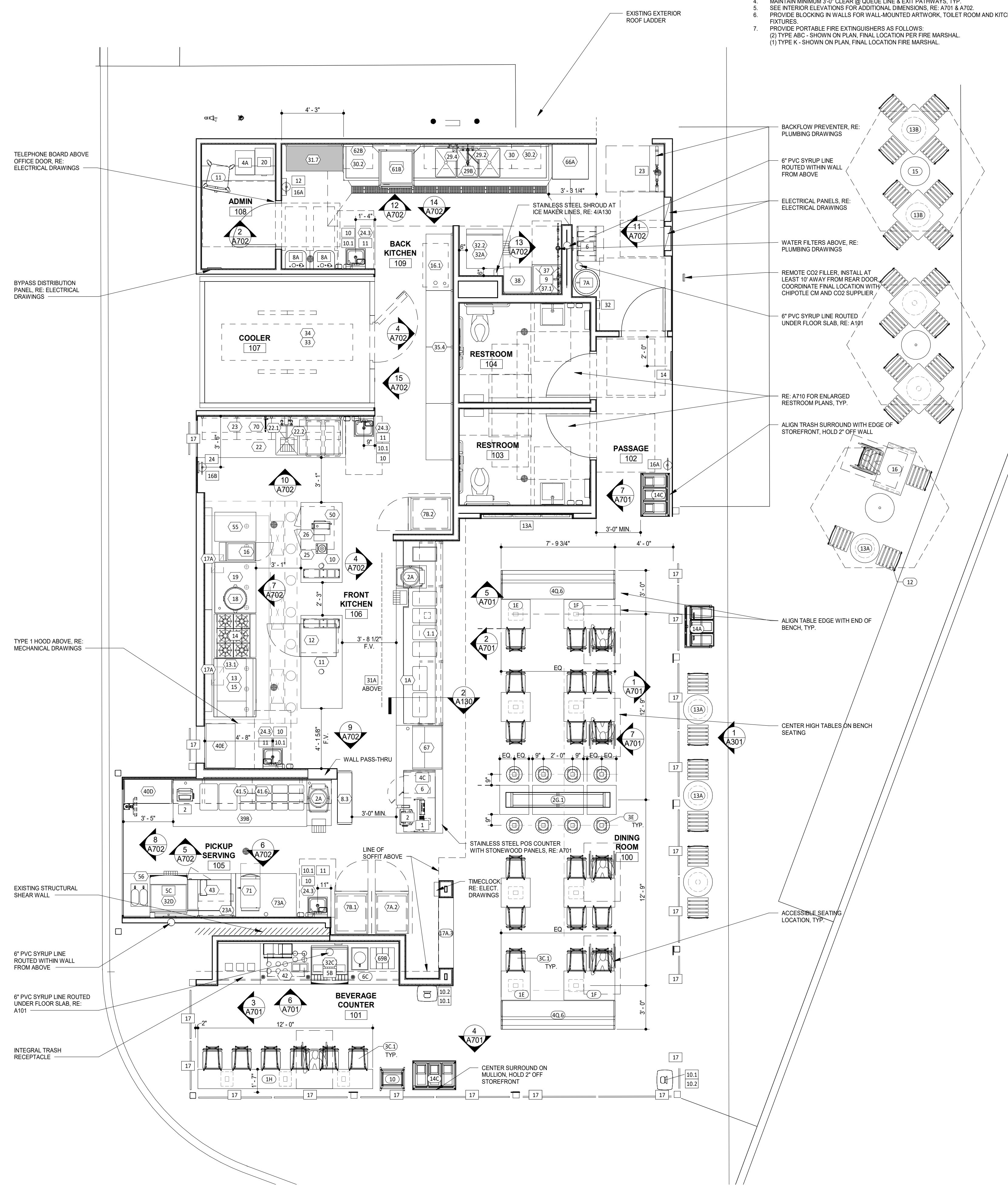
Yucca Valley
Store No. 4366
12345 Street Name
City, ST 00000

Issue Record:
04/15/22 ICP Sketch

Revisions:

Project No.
01612

Fixtures, Furniture &
Equipment Plan



1 FURNITURE, FIXTURE & EQUIPMENT PLAN
1/4" = 1'-0"

GENERAL NOTES

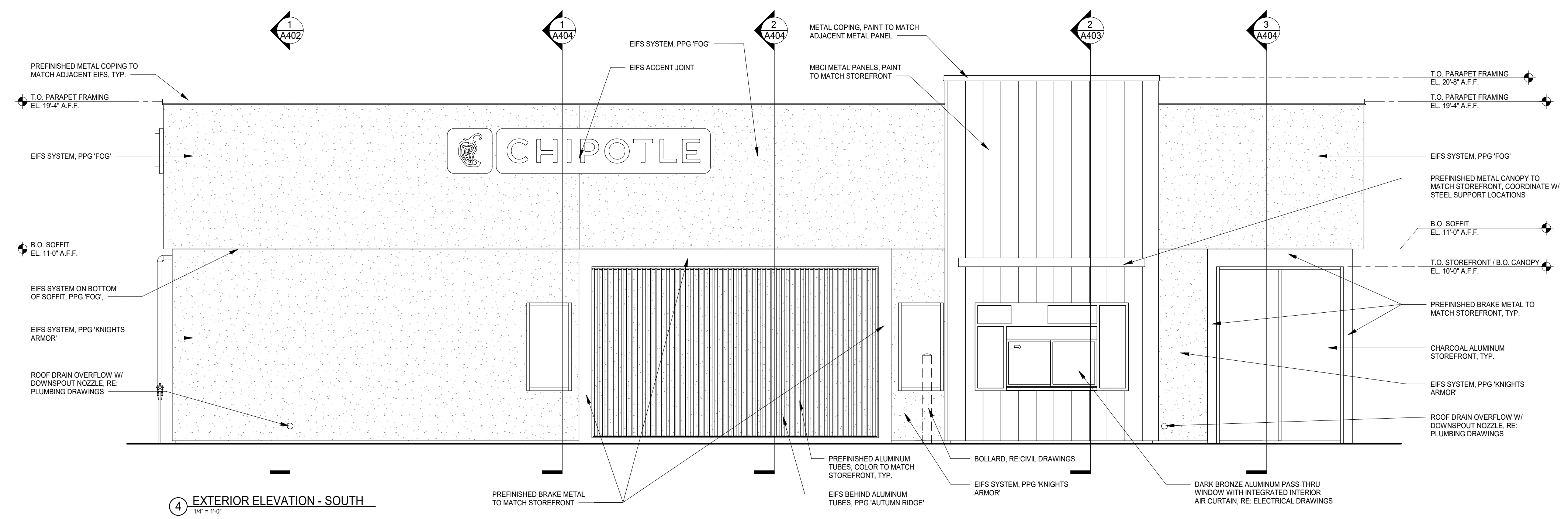
- ENSURE THAT ALL STOREFRONT HAS CONTINUOUS, CLEAN SEALANT AROUND THE INTERIOR AND EXTERIOR PERIMETER BETWEEN THE STOREFRONT AND THE EXTERIOR WALL FINISHES

JOHN M DUNGAN
ARCHITECT

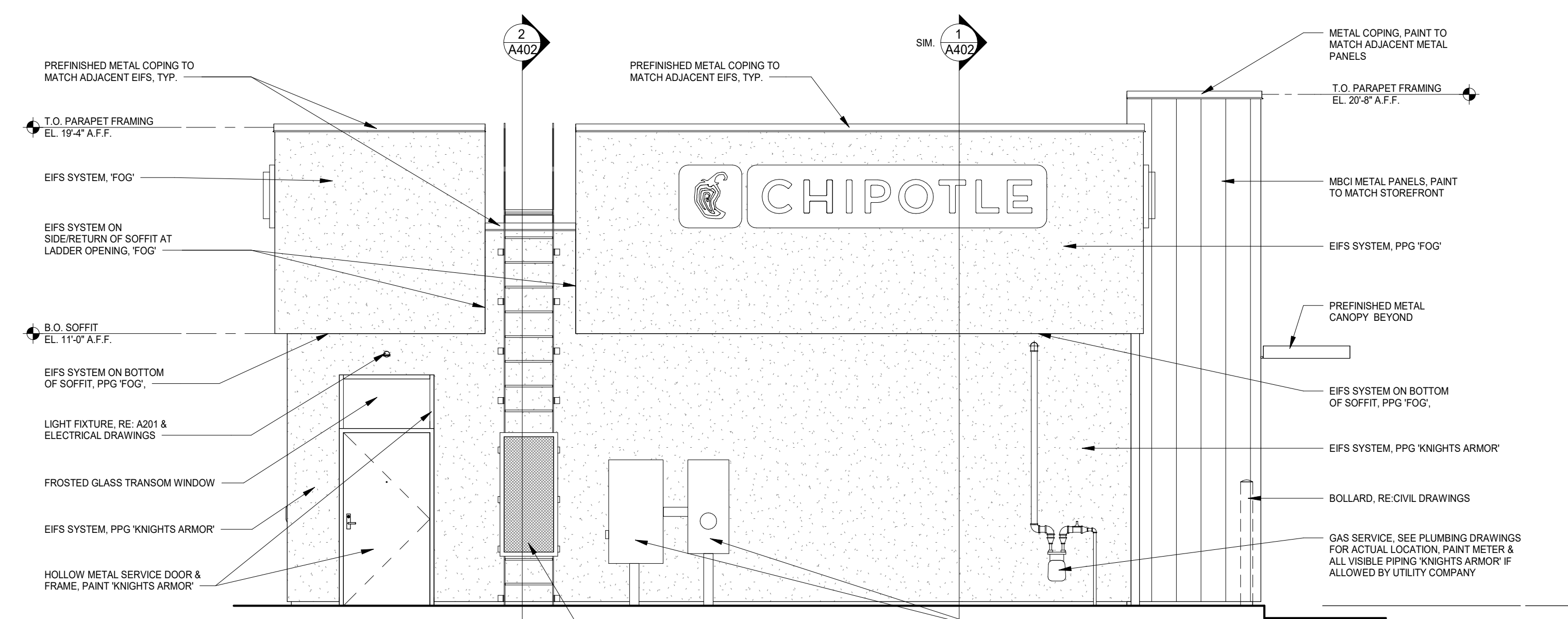
8826 Santa Fe Drive
Suite 304
Overland Park, KS 66212

913-341-2466
913-341-2455 fax

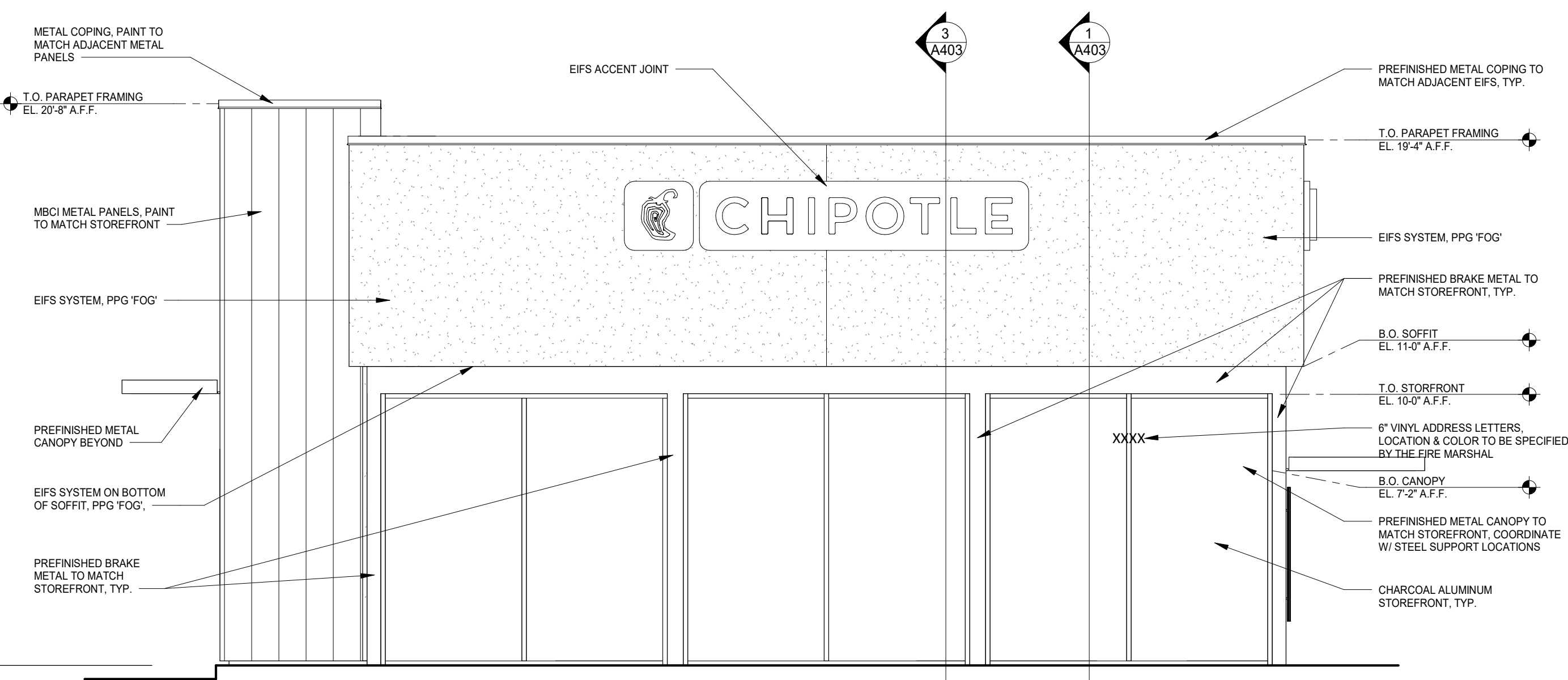
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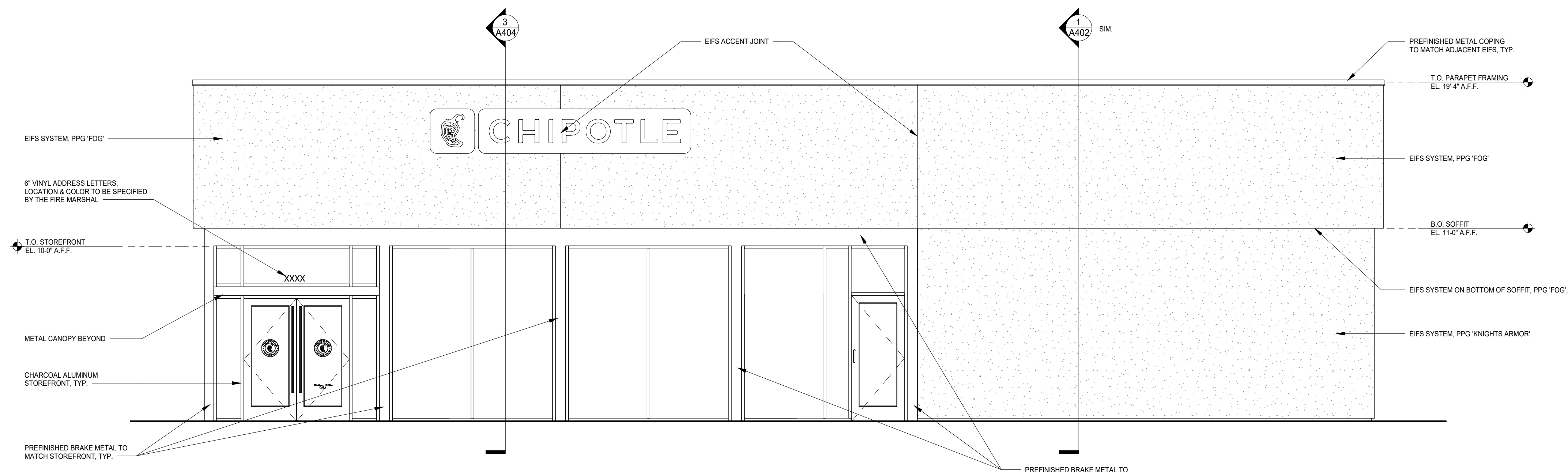
4 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



3 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

Shell Building

57552-57672 Twentynine Pines Hwy
Yucca Valley, CA 92284

Issue Record:

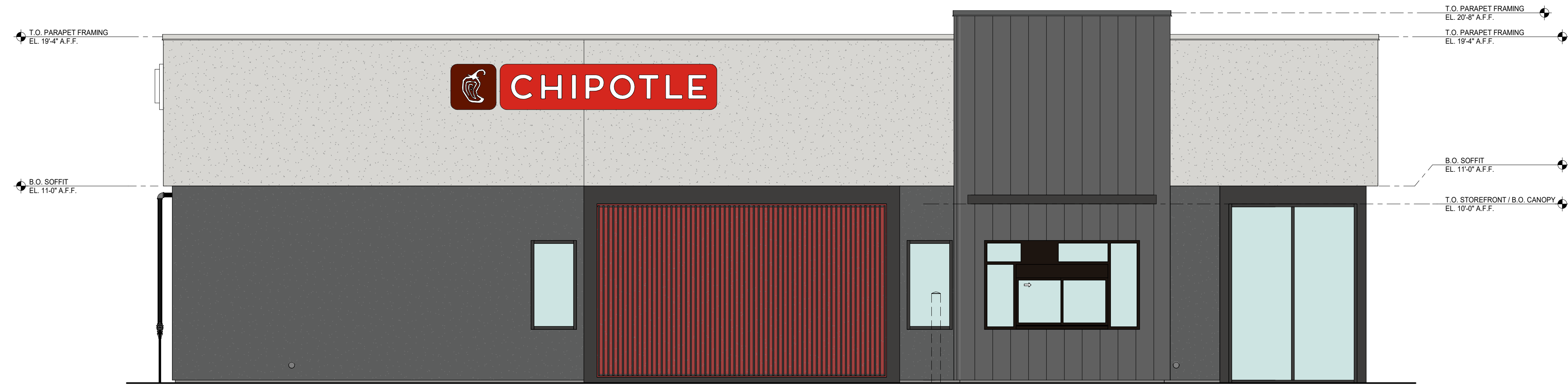
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Revisions:

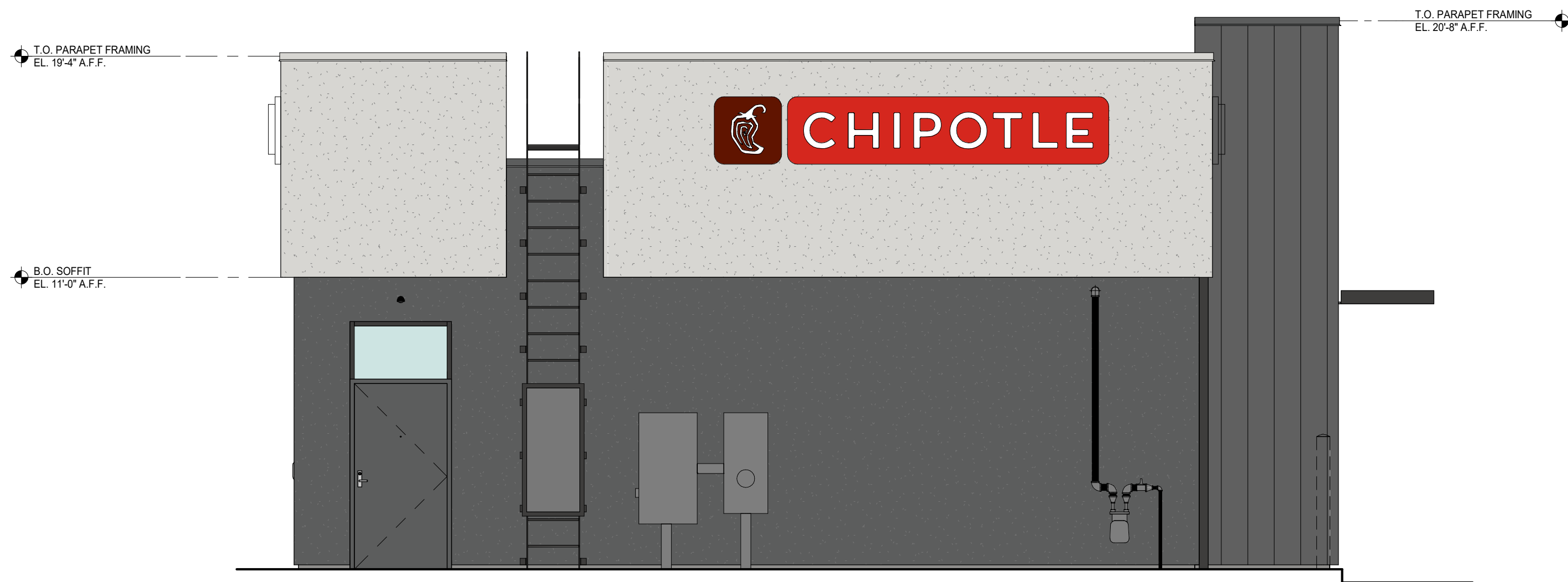
Project No.
01612

Exterior Elevations

A301



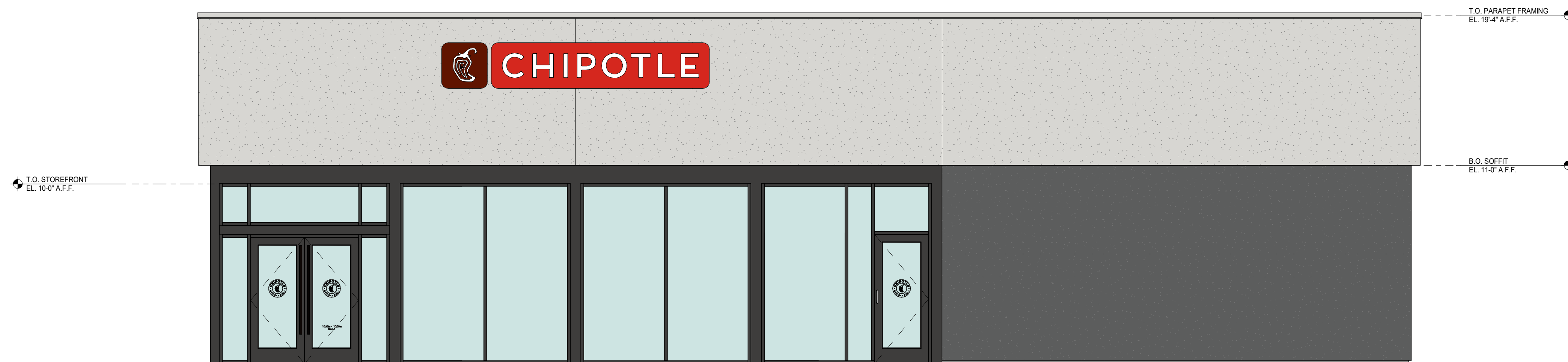
④ EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



③ EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



② EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



① EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

Shell Building
57552-57672 Twentynine Pines Hwy
Yucca Valley, CA 92284

Issue Record:

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Revisions:

No.	Description

Project No.
01612

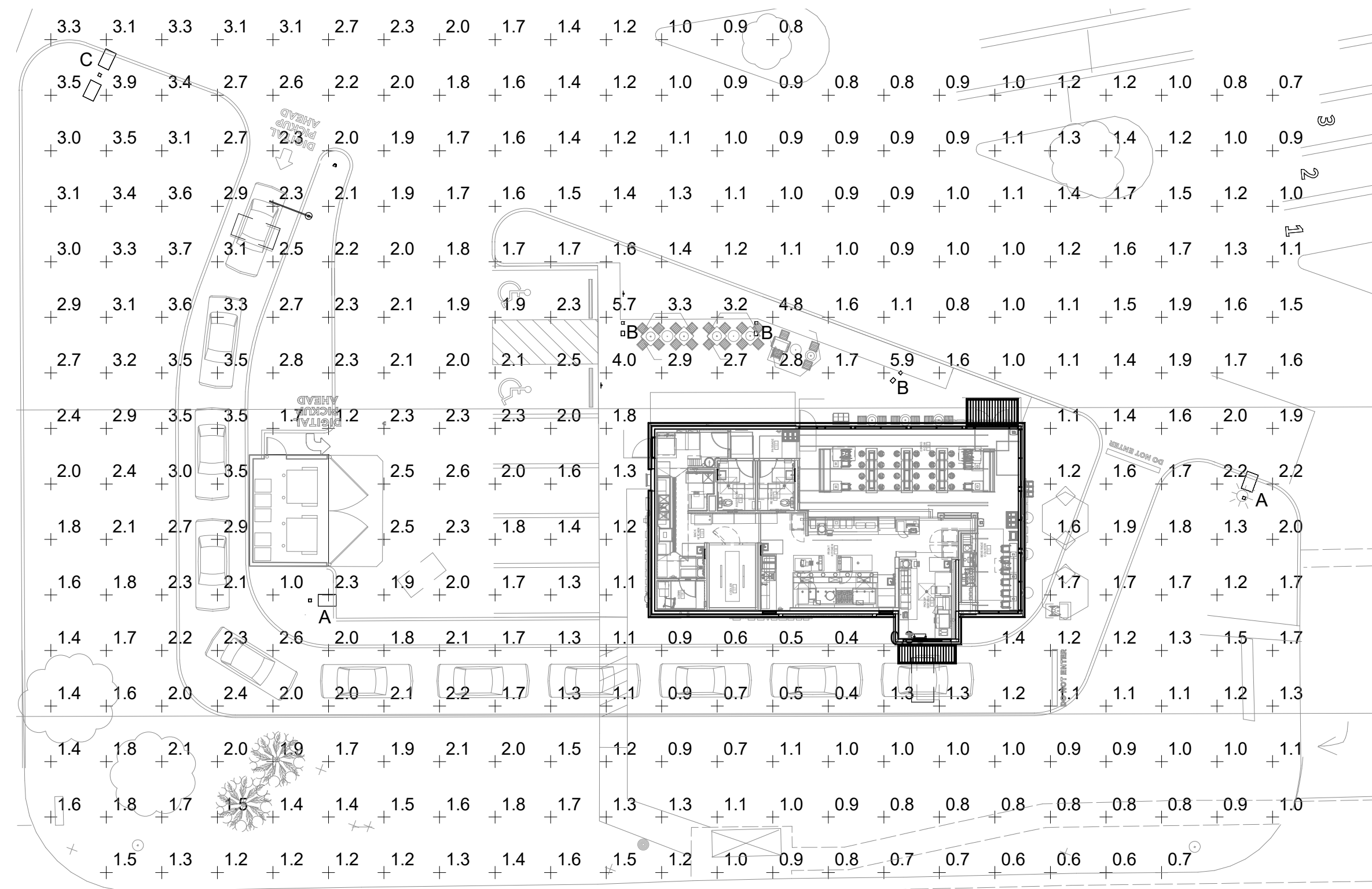
Color Elevations

SCALE - 1" = 20'

Symbol	Label	Image	Quantity	Manufacturer	Description	Number Lamps	Catalog Number	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	A		2	Cree Lighting	CONFIGURED FROM OSQ Extra Large, 40L Lumen Package, 4000K, 70 CRI, 5M Optic, 120-277V	1	OSQX-B-50L-40K7-5M-UL- XXXXXX	48301	0.9	383	Max: 19745cd
	B		3	RAB LIGHTING INC.		1	[WP, A]LED10V	1297	0.9	12.1	Max: 657cd
	C		1	Cree Lighting	CONFIGURED FROM OSQ Extra Large, 40L Lumen Package, 4000K, 70 CRI, 5M Optic, 120-277V	1	OSQX-B-40L-40K7-5M-UL- XXXXXX	38301	0.9	602	Max: 15657cd

Statistics

Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg
Chipotle Site Lighting	+	5.9 fc	0.3 fc	19.7:1	5.7:1	1.7 fc



1 SITE PHOTOMETRICS
E020 1" = 20'-0"

Consultant:
Gausman & Moore
A Division of
AYRES
Mechanical and Electrical Engineers
1700 West Highway 36 - Suite 700
Roseville, Minnesota 55113
(651) 639-9606 Fax (651) 639-9618
Project No. 81-0381



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CHIPOTLE MEXICAN GRILL, INC.
PO BOX 182566
COLUMBUS, OH 43218-2566
TELEPHONE: 614.318.2400
INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 4366
Yucca Valley TWENTYNINE PALMS
YUCCA VALLEY, CA 92284

Issue Record:

Revision	By	Date	Description

Drawn: Checked:

Project No.

Contents:

SITE PHOTOMETRICS

E020