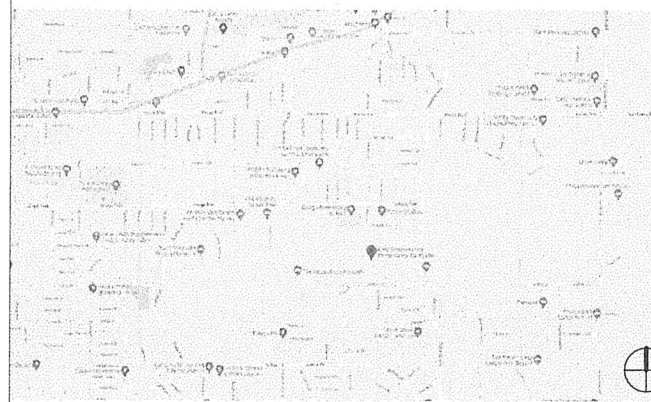


# EMERSON RETREAT

8058 EMERSON AVE.  
YUCCA VALLEY, CA. 92284

CONTRACTOR TO VERIFY ALL DIMENSION WITH DESIGNER PRIOR TO COMMENCING WORK, DESIGNER WILL NOT BE LIABLE FOR ANY MISTAKES DONE ON SITE WITHOUT VERIFYING WITH DESIGNER.  
DRAWINGS SHOULD NOT BE SCALED AS THEY MAY DIFFER DUE TO REPROGRAPHICAL ERRORS.



VICINITY MAP

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017  
benny@designgroupname.com  
marino@designgroupname.com

EMERSON RETREAT  
8058 EMERSON AVE.  
YUCCA VALLEY, CA. 92284

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE DRAFTER AND MAY NOT BE REPRODUCED WITHOUT THE DESIGNER'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE DRAFTER'S NAME, ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWINGS ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE DRAFTER.

THESE DRAWINGS ARE PREPARED UNDER CALIFORNIA BUSINESS & PROFESSIONS CODE 5537.  
A. THIS CHAPTER DOES NOT PROHIBIT ANY PERSON FROM PREPARING PLANS, DRAWINGS, OR SPECIFICATIONS FOR ANY OF THE FOLLOWING:  
1.1 SINGLE-FAMILY DWELLINGS OF WOODFRAME CONSTRUCTION NOT MORE THAN TWO STORIES AND BASEMENT IN HEIGHT.  
1.2 MULTIPLE DWELLINGS CONTAINING NO MORE THAN FOUR DWELLING UNITS OF WOODFRAME CONSTRUCTION NOT MORE THAN TWO STORIES AND BASEMENT IN HEIGHT. HOWEVER, THIS PARAGRAPH SHALL NOT BE CONSTRUED AS ALLOWING AN UNLICENSED PERSON TO DESIGN MULTIPLE CLUSTERS OF UP TO FOUR DWELLING UNITS EACH TO FORM APARTMENT OR CONDOMINIUM COMPLEXES WHERE THE TOTAL EXCEEDS FOUR UNITS ON ANY LAWFULLY DIVIDED LOT.  
1.3 GARAGES OR OTHER STRUCTURES APPURTENANT TO BUILDINGS DESCRIBED UNDER SUBDIVISION (A), OF WOODFRAME CONSTRUCTION NOT MORE THAN TWO STORIES AND BASEMENT IN HEIGHT.  
1.4 AGRICULTURAL AND RANCH BUILDINGS OF WOODFRAME CONSTRUCTION, UNLESS THE BUILDING OFFICIAL HAVING JURISDICTION DEEMES THAT AN UNDUE RISK TO THE PUBLIC HEALTH, SAFETY, OR WELFARE IS INVOLVED.  
B. IF ANY PORTION OF ANY STRUCTURE EXEMPTED BY THIS SECTION DEVIATES FROM SUBSTANTIAL COMPLIANCE WITH CONVENTIONAL FRAMING REQUIREMENTS FOR WOODFRAME CONSTRUCTION FOUND IN THE MOST RECENT EDITION OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS OR TABLES OF LIMITATION FOR WOODFRAME CONSTRUCTION, AS DEFINED BY THE APPLICABLE BUILDING CODE DULY ADOPTED BY THE LOCAL JURISDICTION OR THE STATE, THE BUILDING OFFICIAL HAVING JURISDICTION SHALL REQUIRE THE PREPARATION OF PLANS, DRAWINGS, SPECIFICATIONS, OR CALCULATIONS FOR THAT PORTION BY, OR UNDER THE RESPONSIBLE CONTROL OF, A LICENSED ARCHITECT OR REGISTERED ENGINEER. THE DOCUMENTS FOR THAT PORTION SHALL BEAR THE STAMP AND SIGNATURE OF THE LICENSEE WHO IS RESPONSIBLE FOR THEIR PREPARATION. SUBSTANTIAL COMPLIANCE FOR PURPOSES OF THIS SECTION IS NOT INTENDED TO RESTRICT THE ABILITY OF THE BUILDING OFFICIALS TO APPROVE PLANS PURSUANT TO EXISTING LAW AND IS ONLY INTENDED TO CLARIFY THE INTENT OF CHAPTER 405 OF THE STATUTES OF 1985 (AMENDED BY STATS. 1996, CH. 184, SEC. 8, EFFECTIVE JANUARY 1, 1997).  
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ANY WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS REQUIRED DUE TO HIS FAILURE TO DO SO. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING, AND SCHEDULING OF ALL INSPECTIONS AND TESTS INDICATED ON THE PLANS AND SPECIFICATIONS RECOMMENDED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENTAL AGENCY. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING (S) AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER (S), GAS, AND ELECTRICAL), TO WITHIN 5'-0" OF THE BUILDING TO TERMINATION POINTS AS INDICATED ON THE PLANS READY FOR CONNECTION.  
2. THE CONTRACTOR WILL PROVIDE THE OWNER WITH A LETTER OF CERTIFICATION PREPARED IMMEDIATELY AFTER FOOTINGS ARE PLACED, TO CONFIRM THAT THE LOCATION OF FOOTINGS COMPLY WITH THE APPROVED SITE DRAWINGS. THIS SHALL BE DONE BY THE SITE CIVIL ENGINEER AT THE CONTRACTOR'S EXPENSE. ANY DISCREPANCIES FROM THE APPROVED BUILDING LOCATION WILL BE REMOVED AT THE CONTRACTOR'S EXPENSE.  
3. ALL REVISIONS TO THE DRAWINGS MUST PROCEED THROUGH NORMAL CHANNELS.  
4. ALL WALL FRAMING SHALL BE 2 X 4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED. 2X6 WOOD STUDS SHALL BE USED FOR WALLS RECEIVING HEAVY PLUMBING, ELECTRICAL PANELS, OR CONCEALING PIPE COLUMNS. ALL STUDS OVER 14'-0" HEIGHT SHALL BE 2 X 6. SEE STRUCTURAL.  
5. NO ADDITIONAL ROOF OPENINGS OR ROOF MOUNTED EQUIPMENT ARE ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE DESIGNER AND THE STRUCTURAL ENGINEER.  
6. BUILDING PADS CONSTRUCTED PER SOILS ENGINEER'S SPECIFICATIONS ARE ASSUMED TO BE AT +0.10 FT. OF THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER OF ANY DISCREPANCIES UPON VERIFICATION.  
7. COVER ALL CONCRETE SLAB SURFACES WITH CURING PAPER BEFORE STARTING ADJACENT CONCRETE SLABS. CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SPLASHING OF FRESH CONCRETE SEE SPECIFICATIONS.  
8. PAVING SHALL BE ACCOMPLISHED ACCORDING TO THE SITE PAVING SPECIFICATIONS AND THE SOILS REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE A.C. OR CONCRETE PAVING, ON AND OFF SITE. IF THE EXISTING PAVING FALLS SHORT OF THE BUILDING LINE, OR IF A PORTION OF SECTION OF THE EXISTING PAVING NEEDS TO BE REMOVED FOR CONSTRUCTION PURPOSE, THE BUILDING CONTRACTOR SHALL, AT THE APPROPRIATE TIME, REPLACE THE A.C. PAVING TO THE BUILDING LINE. THICKNESS OF THE A.C. PAVING BASE MATERIAL AND ALL OTHER ASPECTS SHALL MATCH EXISTING OTHER ASSOCIATED PERMANENT IMPROVEMENTS SUCH AS CONCRETE CURBS, WHEEL STOPS, PLANTING AND IRRIGATION OF DISTURBED OR DAMAGE DURING THE CONSTRUCTION PROCESS SHALL LIKEWISE BE REPLACED AND RESTORED INCLUDING PAVEMENT STRIPING. PER APWA STANDARD PLANS AND CITY STANDARDS.  
9. ALL MATERIALS AND WORK SHALL CONFORM TO LATEST GOVERNING BUILDING CODES AND REGULATIONS.

**SETBACKS:**  
20'-0" FRONT YARD  
5'-0" SIDE YARD  
15'-0" REAR YARD

**HEIGHT:**  
28'-0" FOR STORY SINGLE FAMILY DWELLING

**RFA (45%):**  
2,406.29 SF

**AMOUNT OF DWELLING UNITS:**  
SINGLE FAMILY DWELLING  
MINIMUM LOT AREA PER DWELLING UNIT SHALL BE 5,000 SF.

**PF AREA TOTAL BREAKDOWN:**

SITE	218,666
LOT COVERAGE (40%)	10,679 / 218,666 = .0488 / 5%

**SETBACKS & RESTRICTIONS**

Area Schedule (Rentable)	
Name	Area
F.F. SFR.	
POOL DECK	2662.85 SF
POOL HOUSE	200.00 SF
POOL	800.00 SF
ACC. STRUCTURE	840.00 SF
ACC. STRUCTURE	840.00 SF
CARPORT	600.00 SF
ADU	1024.00 SF
ADU DECK	448.00 SF
DECK #1	267.45 SF
DECK #2	379.25 SF
DECK #3	379.25 SF
SINGLE FAMILY RESIDENCE	1783.50 SF
SHIPPING CONTAINER	450.00 SF
<b>SITE</b>	<b>218,666</b>
<b>LOT COVERAGE (40%)</b>	<b>10,679 / 218,666 = .0488 5%</b>

ABV. - Above	F. - Fire alarm	N. - Not to scale	V. - Vapor barrier
A.B. - Anchor Bolt	F.A. - Fire alarm	N.T.S. - Not to scale	V.B. - Vapor barrier
A.C. - Air Conditioner	F.C.O. - Floor clean out	N.I.S.W. - Not in Scope of Work	V.I.F. - Verify in field
A.D. - Access Door	F.D. - Floor drain	N.F.C. - Not for construction	V.L. - Voltage
ADD. - Addition	F.E. - Fire extinguisher	N.H. - Haller	V.V. - Vinyl composition tile
ADJ. - Adjust	F.N. - Field nailing	N.I. - Number	W. - Toilet (water closet)
A.F.F. - Above Finished Floor	FAB. - Fabricate	NOM. - Nominal	W.C. - Toilet (water closet)
A.F.G. - Above Finished Grade	FDN. - Foundation	O. - On center	W.D.W. - Window
A.G. - Above Grade	FN. - Finish	O.C. - On center	W.C.T. - Wainscot
ALT. - Alternate	FLR. - Floor	O.D. - Outside diameter	W.P. - Weatherproof
APPD. - Approved	FLG. - Flooring	O.R. - Outside radius	WT. - Weight
ARCH. - Architect	FLUOR. - Fluorescent	O.H. - Overhead	WTR. HTR. - Water Heater
Architectural	FLURN. - Furnace	OPNG. - Opening	W.D. - Wood
ASPH. - Asphalt	G. - Gauge	P. - Point	W.I. - Wrought Iron
B. - Bookcase	GA.V. - Galvanized	PART. - Partition	W.L.C. - Walk In Closet
BD. - Board	GAR. - Garage	PAV. - Pavement	Y. - Yard
B.L. - Building Line	G.C. - General Contractor	P.C. - Pre-Cast Concrete	
BLDG. - Building	G.F.C.I. - Ground Fault Circuit Interrupt	PERF. - Perforated	
BLK. - Block	G.F.I. - Ground Fault Interrupt	P.L. - Plaster	
BM. - Beam	CL. - Center Line	P.L. - Property line	
B.N. - Boundary nailing	G.M. - Grade mark	PLAS. - Plastic	
B.O. - Bottom of	GR. - Grille	P.L.V. - Plastic laminate veneer	
B.O.F. - Bottom of footing	G.T. - Glazed tile	P.P.W.D. - Plywood	
B.O.W. - Bottom of wall	GYP. - Gypsum	P.P.C. - Plywood	
BRG. - Bearing	H. - Hose bib	P.P.C. - Plywood	
B.U. - Built up	H.C. - Hollow core	P.S.F. - Pounds per square foot	
BTM. - Bottom	HDD. - Hardboard	P.S.I. - Pounds per square inch	
C. - Closet	HDW. - Hardware	P.V.C. - Polyvinyl chloride	
C.CMNT. - Casement	CABT. - Cabinet	PWR. - Power	
C.C. - Cabinet	C.B. - Catch Basin	Q. - Quarry tile	
C.C. - Catch Basin	C.D. - Construction document	QTY. - Quantity	
C.D. - Construction document	CEM. - Cement	R. - Radial	
CEM. - Cement	C.F.M. - Cubic Feet per Minute	RAD. - Radial	
C.L. - Center Line	C.L. - Center Line	R.D. - Roof drain	
CH. - Channel	CH. - Channel	R.D.L. - Roof drain leader	
C.I. - Cast Iron	C.I. - Cast Iron	R.O. - Rough Opening	
C.I.P. - Cast in Place	C.I.P. - Cast in Place	R.O.W. - Right of way	
CL. - Closet	C.I.F. - Insulated Concrete Form	REF. - Refrigerator	
C.L.G. - Ceiling	C.L.G. - Ceiling	REF. - Refrigerator	
C.O. - Clean Out	C.O. - Clean Out	REF. - Reference	
C.O. - Cased Opening	C.O. - Cased Opening	REIN. - Reinforced	
COL. - Column	COL. - Column	RET. - Return	
CONT. - Continuous	CONT. - Continuous	REV. - Revision	
CONTR. - Contractor	CONTR. - Contractor	RM. - Room	
CONC. - Concrete	CONC. - Concrete	RMV. - Remove	
C.T. - Ceramic Tile	C.T. - Ceramic Tile	S. - Sanitary	
D. - Down spout	D. - Down spout	S.C. - Solid core	
D.W. - Dishwasher	D.W. - Dishwasher	S.C. - Self-Closing	
DBL. - Double	DBL. - Double	SCHED. - Schedule	
DEMO. - Demolition	DEMO. - Demolition	S.D. - Smoke detector	
DIA. - Diameter	DIA. - Diameter	SECT. - Section	
DIM. - Dimension	DIM. - Dimension	SHT. - Sheet	
D.L. - Dead Load	D.L. - Dead Load	SHTG. - Shathing	
DN. - Down	DN. - Down	SIM. - Similar	
DR. - Door	DR. - Door	SPEC. - Specifications	
E. - East	E. - East	SQ.FT. - Square feet	
E.A. - Exhaust fan	E.A. - Exhaust fan	SQ.IN. - Square inches	
E.J. - Exposed joint	E.J. - Exposed joint	STD. - Standard	
EN. - End nailing	EN. - End nailing	STL. - Steel	
ELEV. - Elevation	ELEV. - Elevation	S.Y. - Square yard	
ELECT. - Electric, electrical	ELECT. - Electric, electrical	SYS. - System	
EQ. - Equal	EQ. - Equal	T. - Tongue and groove	
EQUIP. - Equipment	EQUIP. - Equipment	T.B. - Through bolt	
EST. - Estimate	EST. - Estimate	T.O. - Top of	
E.W. - Each way	E.W. - Each way	T.O.B. - Top of Beam	
EXH. - Exhaust	EXH. - Exhaust	T.O.C. - Top of curb	
EXIST. - Existing	EXIST. - Existing	T.O.F. - Top of footing	
EXT. - Exterior	EXT. - Exterior	T.O.J. - Top of joint	
		T.O.M. - Top of masonry	
		T.O.W. - Top of wall	
		T.S. - Tube steel	
		TH. - Threshold	
		THR. - Threaded	
		TYP. - Typical	
		U. - Unfinished	
		UNF. - Unfinished	

- LOT #1: 61,157SF - SINGLE FAMILY DEVELOPMENT WADU & POOL HOUSE
- LOT #2: 37,941SF - SINGLE FAMILY DEVELOPMENT MAXED OUT
- LOT #3: 109,657SF - FUTURE BUNKER DEVELOPMENT

**SCOPE OF WORK**

<b>OWNER</b> DESERT SPACES LLC. 8058 EMERSON AVE. YUCCA VALLEY, CA. 92284	<b>STRUCTURAL ENGINEER</b> PERFECT DESIGN 2416 W VALLEY BLVD ALHAMBRA, CA 91803
<b>DESIGNER</b> [design group name] BENNY ARIAS 1610 W. 7TH ST. LOS ANGELES, CA. 90017 (714) 626-4852843	<b>STRUCTURAL ENGINEER</b> KTW SOLUTIONS TAEWON KIM, P.E. 24328 S VERMONT AVE STE 315 HARBOR CITY, CA 90710 (310) 585-2185 (E) KTWENGCAI@GMAIL.COM

**CONSULTANT LIST**

**SHEET INDEX**

NUMBER	SHEET NAME
T-0.0	COVER SHEET
T-0.1	RENDERINGS
T-0.2	AREA BREAKDOWN (TYP.)
A-0.00	EXISTING SITE PLAN
A-0.20	PROPOSED ROOF PLAN
A-0.01	PROPOSED SUBDIVISION MASTER PLAN
A-0.02	SITE PLAN - ZOOMED
A-1.00	SFR PLAN
A-1.10	ADU PLAN
A-1.20	POOL HOUSE / STORAGE PLAN
A-1.30	CARPORT
A-3.0	SFR - ELEVATIONS
A-4.0	ADU - ELEVATIONS
A-5.0	SFR SECTIONS
A-5.1	ADU SECTIONS
A-5.2	POOL HOUSE/ STORAGE SECTION
<b>SURVEY</b>	
TOPO 1	TOPOGRAPHIC - LINES
TOPO 2	TOPOGRAPHIC - AERIAL

**APPROVALS:**

No.	Description	Date

SHEET TITLE:

**COVER SHEET**

JOB NO. [DGN-2110] SCALE AS NOTED

SHEET NO.

**T-0.0**

**GENERAL NOTES**

ZONE:	RS-2
APN:	0588-031-32
LOT AREA:	218,666 SF
BUILDING OCCUPANCY GROUP:	R3
CONSTRUCTION TYPE:	TYPE V-B
SPRINKLER SYSTEM:	YES
HIGH FIRE SEVERITY ZONE:	NO
PROJECTIONS:	N/A
LEGAL DESCRIPTION:	-

**FLOOR AREA BREAKDOWN**

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES TO INCLUDE LOCAL AMENDMENTS:

- 2019 CALIFORNIA RESIDENTIAL CODE, PART 2.5
- 2019 CALIFORNIA BUILDING CODE, PART 2.8 & 10
- 2019 CALIFORNIA ELECTRICAL CODE PART 3
- 2019 CALIFORNIA MECHANICAL CODE PART 4
- 2019 CALIFORNIA PLUMBING CODE, PART 5
- 2019 CALIFORNIA ENERGY CODE PART 6
- 2019 CALIFORNIA FIRE CODE, PART 9

**ABBREVIATIONS**

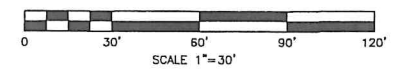
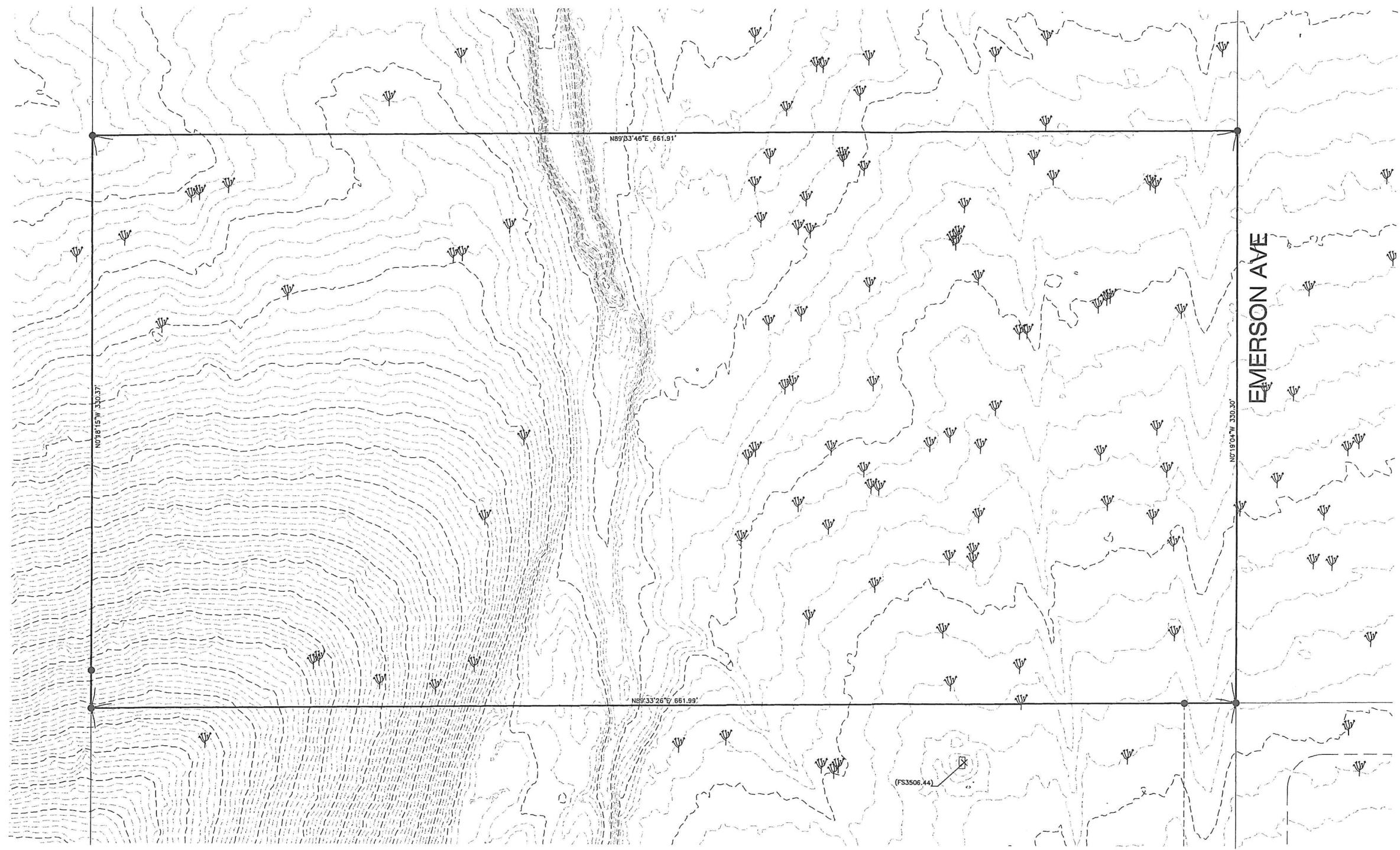
	Column or Reference Lines		Section Symbol
	Door Symbol		Section Identification
	Door Number		Sht. Where Sect. is Drawn
	Equipment Symbol		Detail Symbol
	Equipment Number		Detail Identification
	Demolition Symbol		Sht. Where Sect. is Drawn
	Demolition Symbol		Elevation Symbol
	Revision Symbol		Row Designation
	Revision Number		Sht. Where Sect. is Drawn
			Elevation Number
			Office
			Room Name
			Room Number

**BUILDING & SITE DATA**

**APPLICABLE CODES**

**SYMBOL DEFINITIONS**

**SHEET INDEX**



- Legend**
- Symbol Denotes
  - BOLLARD
  - ♣ JTREE
  - ⊠ WATER METER

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN BERNARDINO STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 6 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF YUCCA VALLEY, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

APN: 0588-031-32-0-000

**EASEMENT NOTE:**

THERE MAY BE EASEMENTS OF RECORD DELINEATED AND REFERENCED ON THE UNDERLYING MAP AND/OR TITLE REPORT THAT MAY NOT BE SHOWN HEREON.

**EXISTING UTILITIES NOTE:**

A FIELD SURVEY OF VISIBLE SURFACE UTILITIES WAS PERFORMED IN JUNE 2021. NO RESEARCH OF UTILITY RECORDS WAS PERFORMED DURING THE PREPARATION OF THIS TOPOGRAPHICAL SURVEY. SUBSURFACE UTILITIES MAY EXIST, BUT ARE NOT DENOTED HEREON.

**BENCHMARK**

ELEVATION: 3221.84' NAVD88  
 NGS PID: EV3508  
 DESCRIPTION: VERTICAL CONTROL DISK (FASTENED TO) A METAL ROD WITH BASE PLATE BURIED/SCREWED WITH SETTING INTO GROUND  
 STAMPING: V 1265 1976  
 LOCATION: AT THE INTERSECTION OF PRESCOTT AVENUE AND HIGHWAY 62, 151 FT. NORTHWEST OF THE CENTER LINE OF THE HIGHWAY, 33 FT. SOUTHWEST OF THE CENTER LINE OF THE AVENUE, 4 FT. SOUTHWEST OF POWER POLE 342757-5 WITH A GUY WIRE. THE MARK IS 1 FT. NE FROM A WITNESS POST.

**BASIS OF BEARINGS**

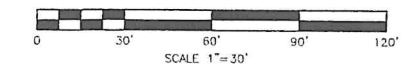
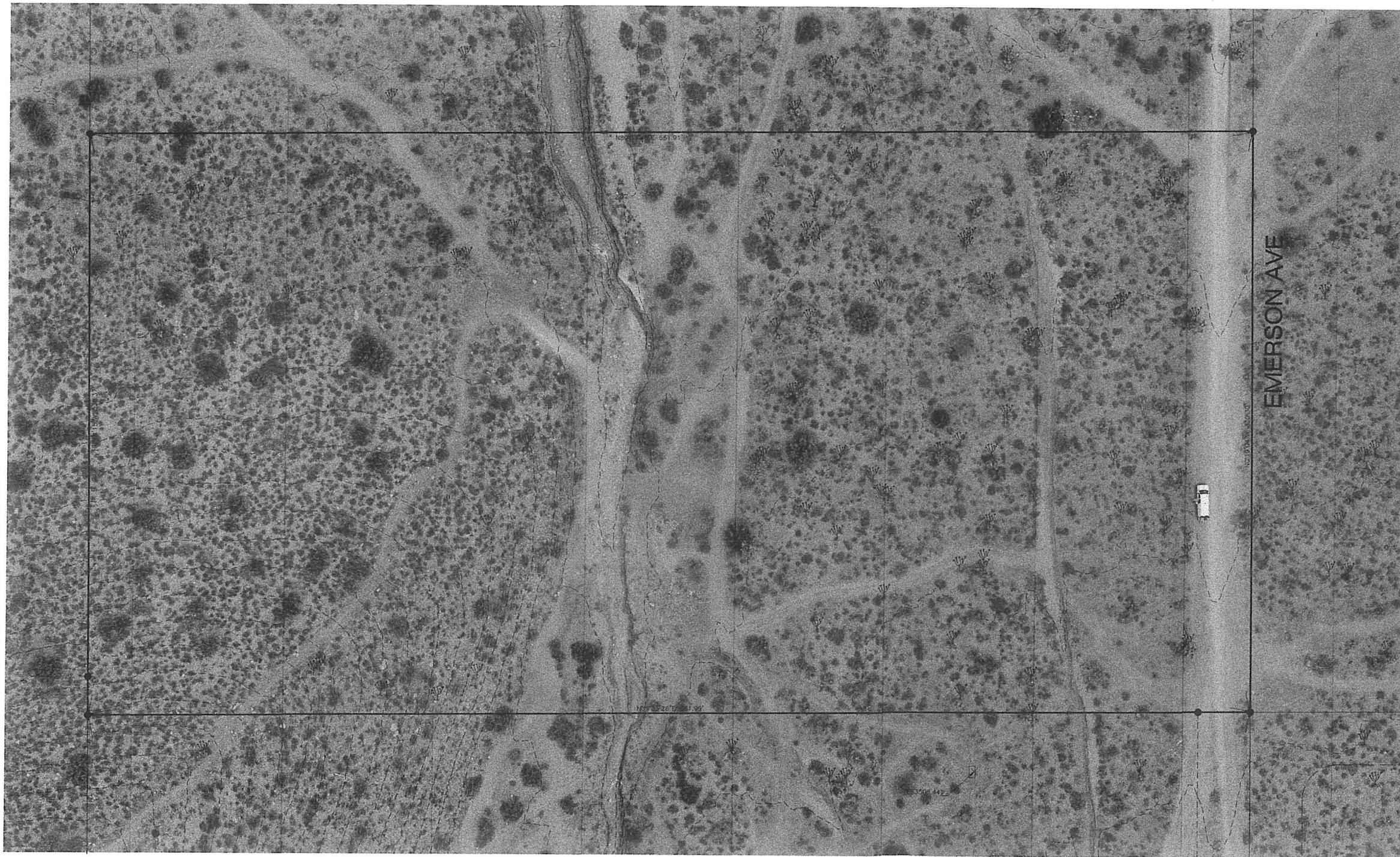
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF JOSHUA DRIVE, BEING N89°35'22"E PER PM 4356, PMB 42/76.

**SURVEYOR'S NOTES**

- INDICATES FOUND MONUMENT AS NOTED.
- INDICATES SEARCHED, NOTHING FOUND UNLESS OTHERWISE NOTED. SET 1" I.D. IRON PIPE WITH PLUG STAMPED LS 7070 FLUSH. RECORD OF SURVEY MAP IS PENDING.



DATE OF PLAT: 06/08/2021	CITY OF YUCCA VALLEY, STATE OF CALIFORNIA		SHEET <u>1</u>
<b>FOMOTOR ENGINEERING</b> 225 S. CIVIC DRIVE, SUITE 1-5 PALM SPRINGS, CA. 92262 (760) 323-1842 FAX (760) 323-1742	<b>TOPOGRAPHICAL EXHIBIT</b>		OF
	8058 EMERSON AVENUE, YUCCA VALLEY, CA 92284 APN 0588-032-0000 DATE OF SURVEY: 6/07/2021		<u>1</u> SHEETS PROJECT NO. 21079



**Legend**

- Symbol Denotes
- BOLLARD
  - ⋄ TREE
  - Ⓜ WATER METER

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APN: 0588-031-32-0-000

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**DIGALERT**

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TOLL FREE 1-800-227-2600

A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT



DATE OF PLAT: 06/08/2021

<b>FOMOTOR ENGINEERING</b> 225 S. CIVIC DRIVE, SUITE 1-5 PALM SPRINGS, CA 92262 (760) 323-1842 FAX (760) 323-1742	CITY OF YUCCA VALLEY, STATE OF CALIFORNIA	SHEET <u>1</u> OF <u>1</u> SHEETS
	8058 EMERSON AVENUE, YUCCA VALLEY, CA 92284 APN 0588-032-0000 DATE OF SURVEY: 6/07/2021	PROJECT NO. 21079



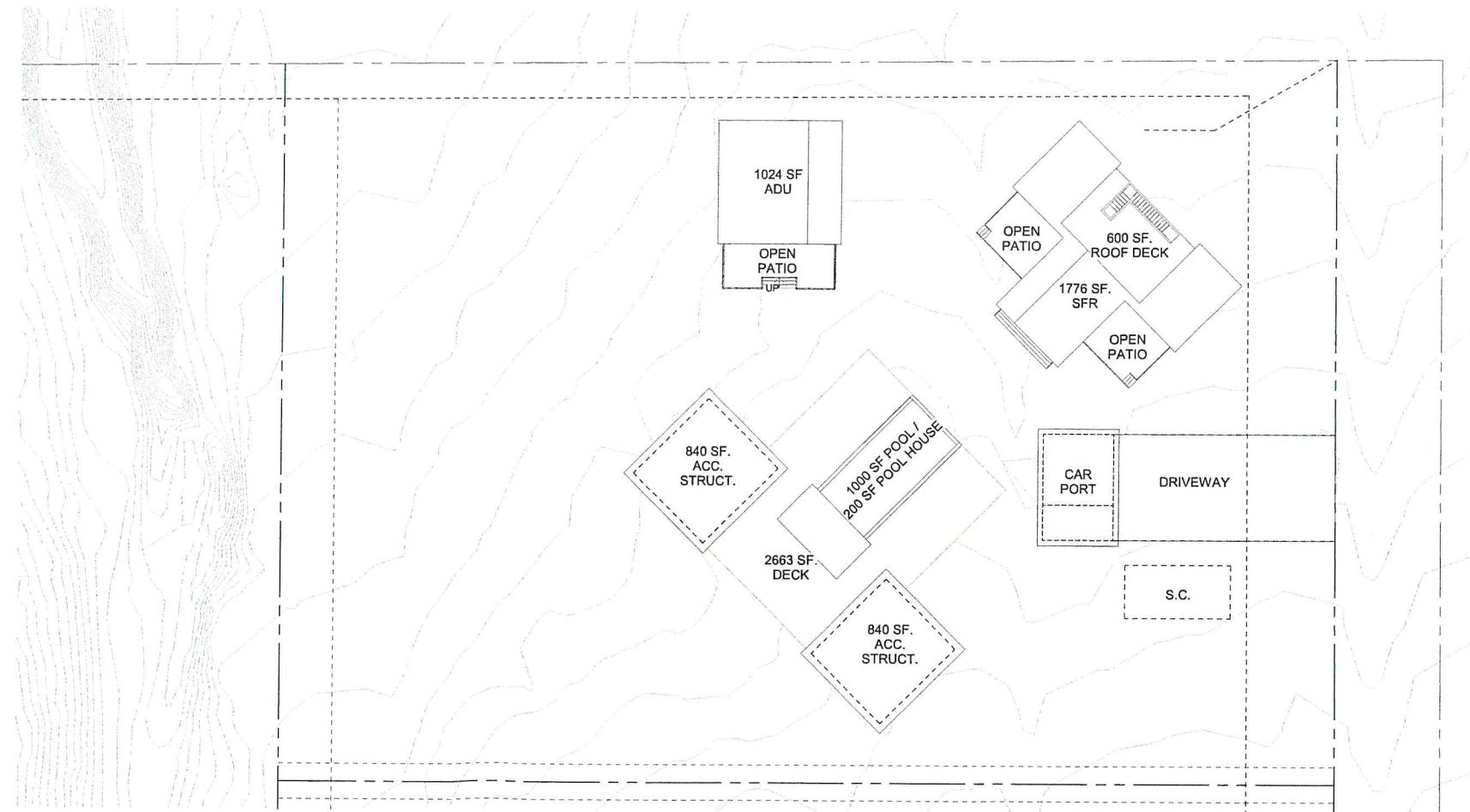
VIEW TOWARD SINGLE FAMILY RESIDENCE & ADU



VIEW TOWARD SINGLE FAMILY RESIDENCE & CARPORT



VIEW TOWARDS POOLHOUSE / STORAGE



REFERENCE PLAN SCALE 3/64" = 1'-0" 1

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017  
 benny@designgroupname.com  
 marino@designgroupname.com

**EMERSON RETREAT**  
 8058 EMERSON AVE.  
 YUCCA VALLEY, CA. 92284

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APPROVALS:

No.	Description	Date

SHEET TITLE:

**RENDERINGS**

JOB NO. [DGN-2110] SCALE AS NOTED

SHEET NO.

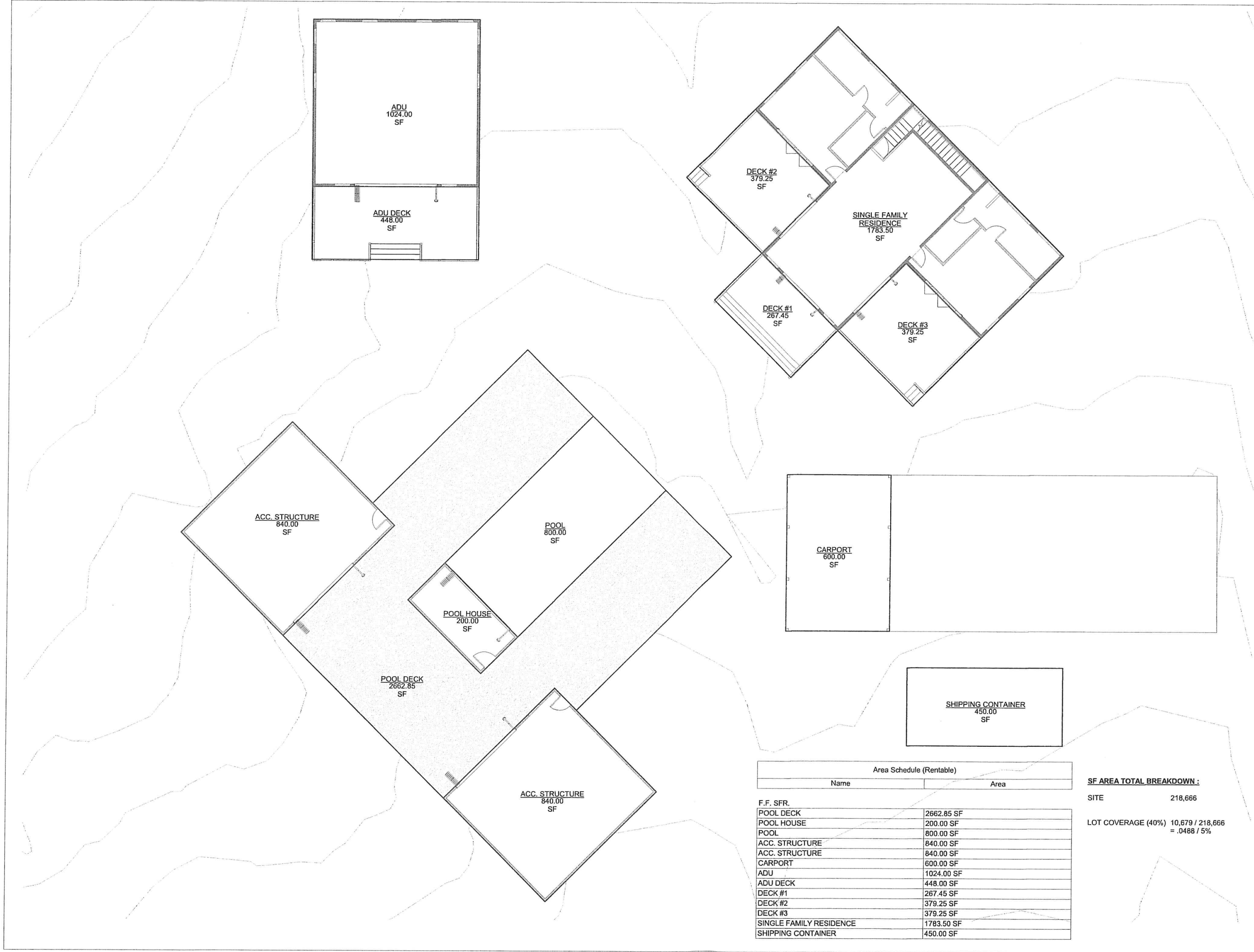
**T-0.1**

[design group name]

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 marino@designgroupname.com

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APPROVALS:

No.	Description	Date

SHEET TITLE:

**AREA BREAKDOWN (TYP.)**

JOB NO. [DGN-2110] SCALE AS NOTED

SHEET NO.

**T-0.2**

Area Schedule (Rentable)	
Name	Area
F.F. SFR.	
POOL DECK	2662.85 SF
POOL HOUSE	200.00 SF
POOL	800.00 SF
ACC. STRUCTURE	840.00 SF
ACC. STRUCTURE	840.00 SF
CARPORT	600.00 SF
ADU	1024.00 SF
ADU DECK	448.00 SF
DECK #1	267.45 SF
DECK #2	379.25 SF
DECK #3	379.25 SF
SINGLE FAMILY RESIDENCE	1783.50 SF
SHIPPING CONTAINER	450.00 SF

**SF AREA TOTAL BREAKDOWN :**

SITE 218,666

LOT COVERAGE (40%) 10,679 / 218,666  
 = .0488 / 5%

#	DESCRIPTION
1	EXISTING LANDSCAPE TO REMAIN
2	EXISTING DRIVEWAY TO REMAIN
3	EXISTING EXTERIOR GATE TO REMAIN
4	EXISTING GAS METER
5	EXISTING A/C UNIT

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**KEYNOTES**

- NOTES:**
1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
  2. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170, 158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
  3. PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
  4. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
  5. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO APPROVED WATER SUPPLY.
  6. BATHROOM AND SHOWERS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
  7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABEL AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABEL AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING.
  8. WATER HEATER MUST BE STRAPPED TO WALL.
  9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING.
  10. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR A SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL.
  11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL325.
  12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS.
  13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXISTING DWELLINGS OF SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNITS OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
  14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF THE EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R601.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
  15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

APPROVALS:

**SITE NOTES**

No.	Description	Date

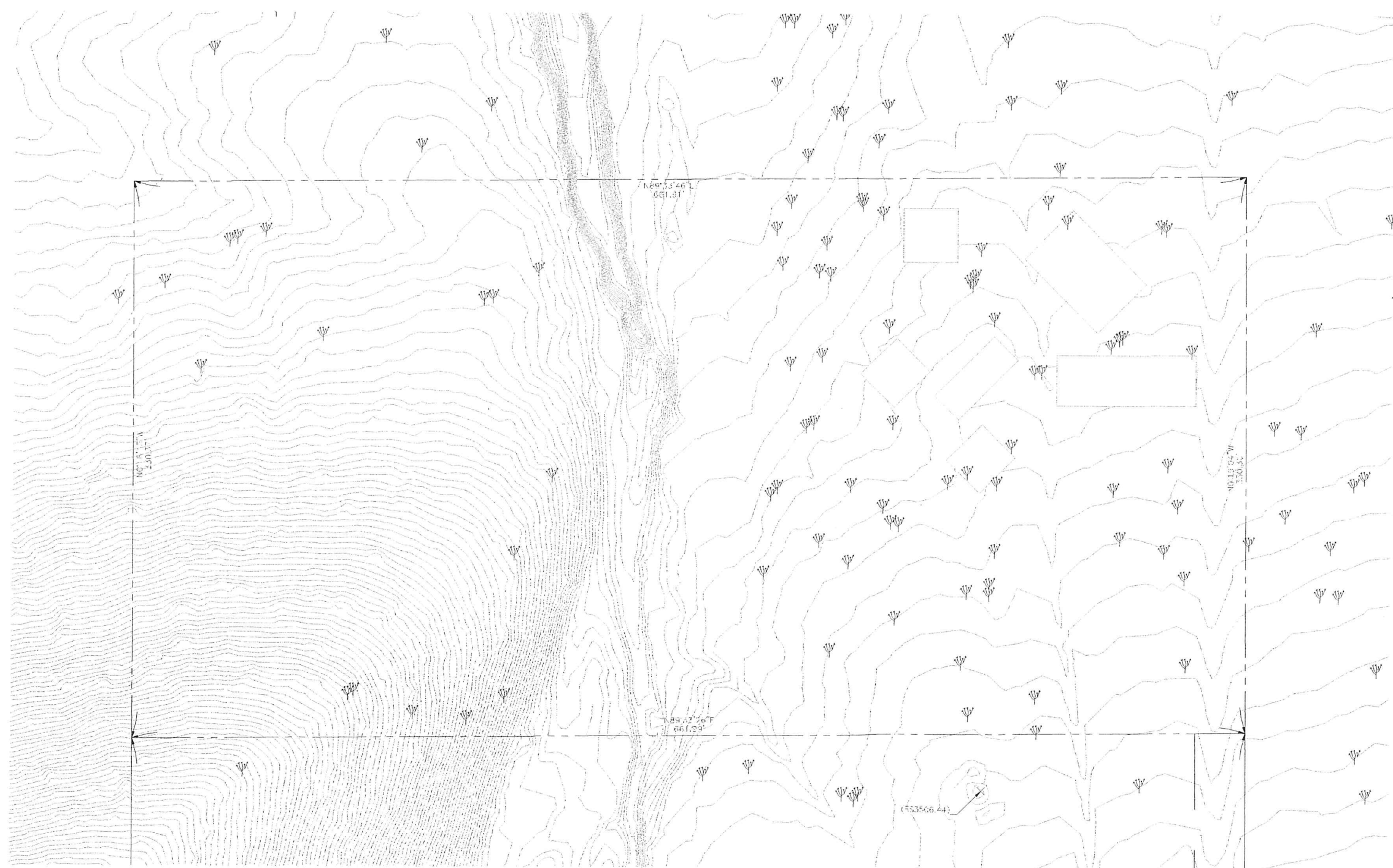
SHEET TITLE:

**EXISTING SITE PLAN**

JOB NO. [DGN-2110] SCALE AS NOTED  
 SHEET NO. A-0.00

- ← SITE DRAINAGE 2%
- ← ROOF DRAINAGE AS PER ANNOTATION
- ▨ SCOPE OF WORK
- - - - - PROPERTY LINE
- - - - - SETBACK
- FOOTPRINT

**LEGEND**



EXISTING SITE PLAN SCALE 1/32" = 1'-0" 1

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**KEYNOTES**

- NOTES:**
1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNRESTRICTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
  2. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170, 155 AND 180.670) SEPARATE PLUMBING PERMIT IS REQUIRED.
  3. PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
  4. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
  5. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO APPROVED WATER SUPPLY.
  6. BATHROOM AND SHOWERS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
  7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABEL AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABEL AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING.
  8. WATER HEATER MUST BE STRAPPED TO WALL.
  9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH AMANUAL MEANS TO DEACTIVATE. (FOR 15 SECS. MAX.) FOR A SINGLE OPENING.
  10. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL, AND SPA FOR A SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL.
  11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL325.
  12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS.
  13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXISTING DWELLINGS OF SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNITS OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
  14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF THE EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R603.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
  15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOBE SITE.

APPROVALS:

**PLAN NOTES**

No.	Description	Date

SHEET TITLE:

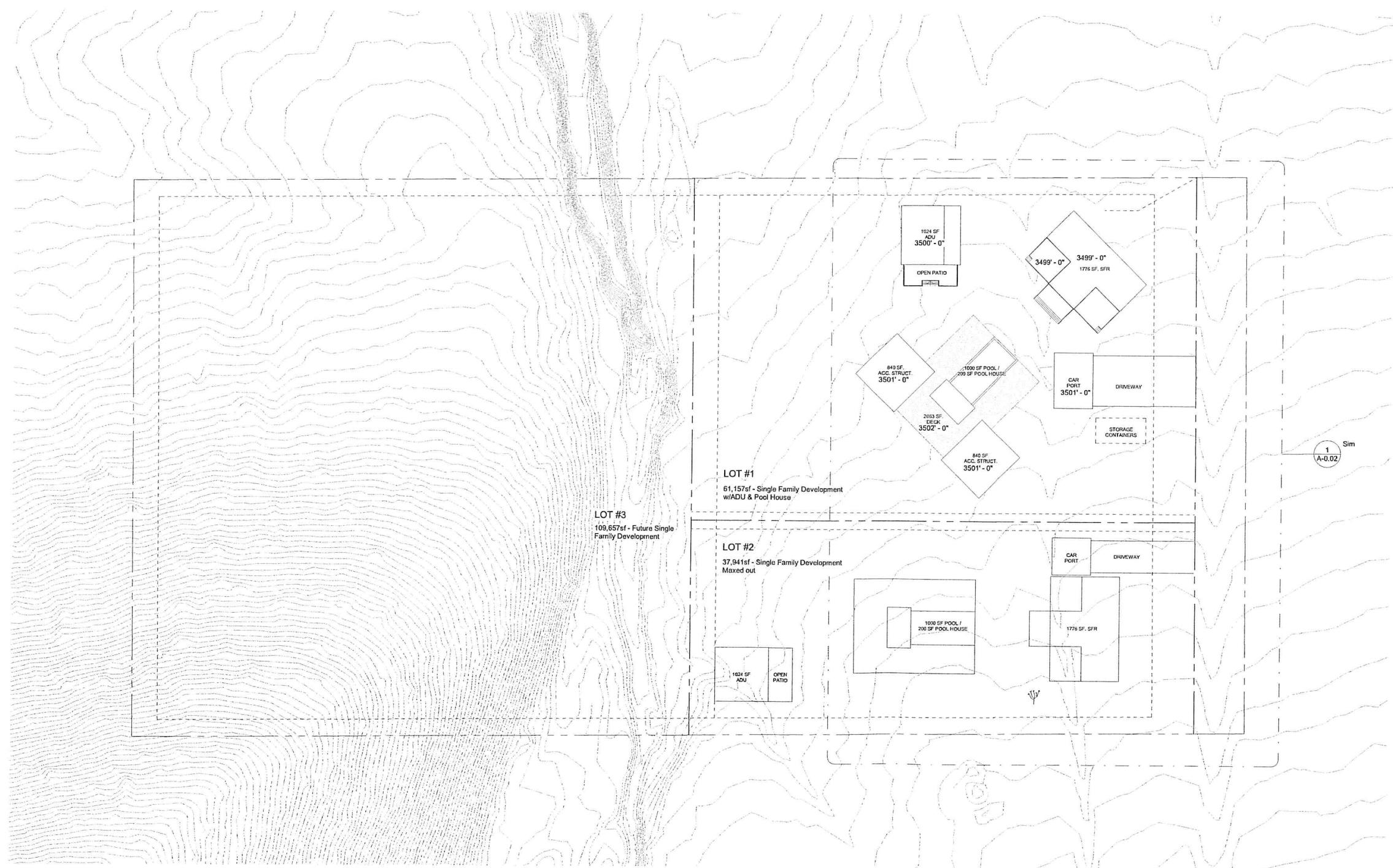
**PROPOSED SUBDIVISION MASTER PLAN**

JOB NO. [DGN-2110] SCALE AS NOTED  
SHEET NO.

**A-0.01**

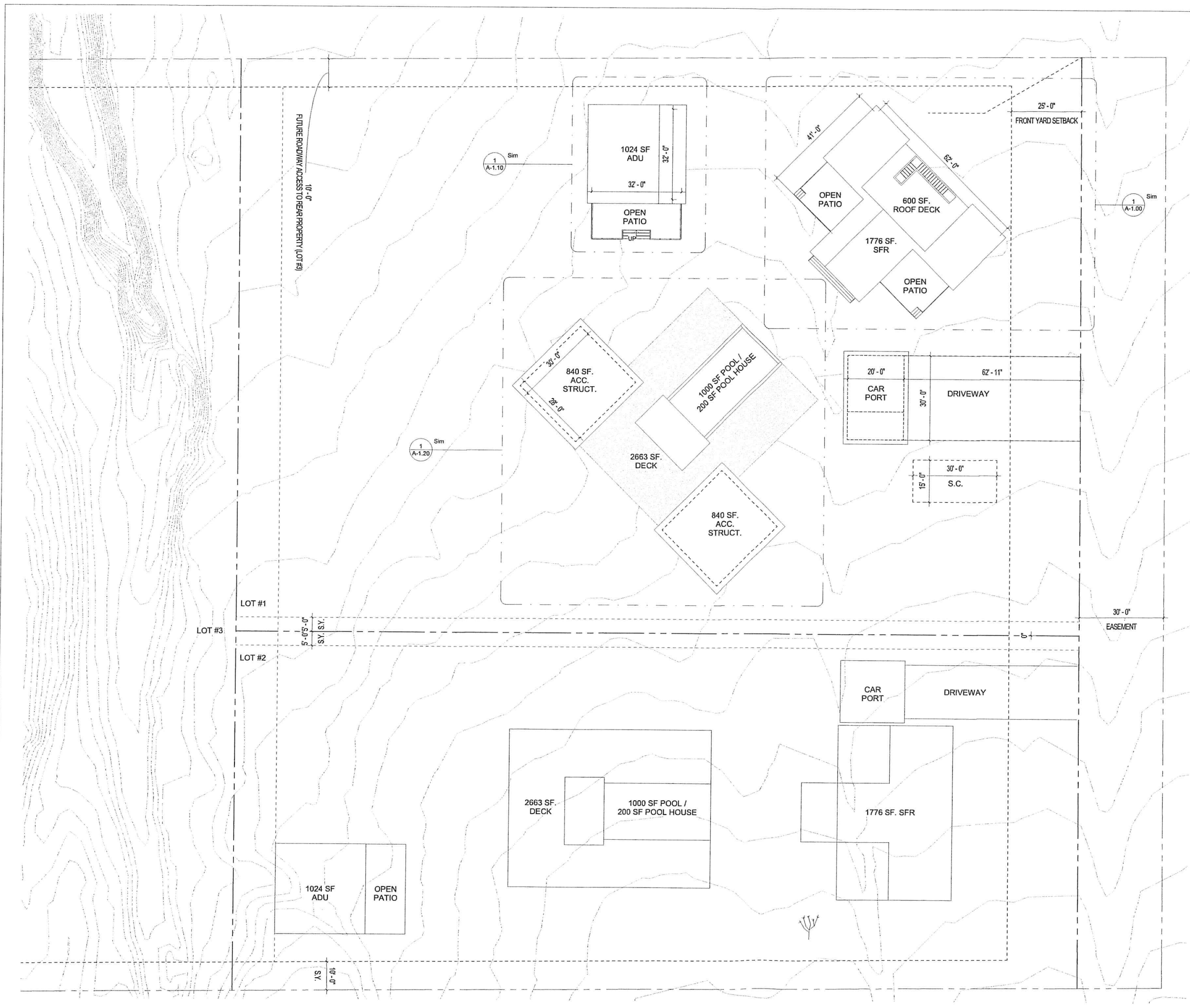
- ← SITE DRAINAGE 2%
- ← ROOF DRAINAGE AS PER ANNOTATION
- ▨ SCOPE OF WORK
- - - - PROPERTY LINE
- - - - SETBACK
- FOOTPRINT

**LEGEND**



PROPOSED SITE PLAN SCALE 1/32" = 1'-0" 1

6/22/2022 3:55:24 PM



Area Schedule (Rentable) - S

Name	Area
F.F. SFR.	
POOL DECK	2662.85 SF
POOL HOUSE	200.00 SF
POOL	800.00 SF
ACC. STRUCTURE	840.00 SF
ACC. STRUCTURE	840.00 SF
CARPORT	600.00 SF
ADU	1024.00 SF
ADU DECK	448.00 SF
DECK #1	267.45 SF
DECK #2	379.25 SF
DECK #3	379.25 SF
SINGLE FAMILY RESIDENCE	1783.50 SF
SHIPPING CONTAINER	450.00 SF
SITE	218,666
LOT COVERAGE (40%)	10,679 / 218,666
	= .0488 / 5%

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**KEYNOTES**

APPROVALS:

**SITE NOTES**

No.	Description	Date

SHEET TITLE:

**SITE PLAN - ZOOMED**

JOB NO. [DGN-2110] SCALE AS NOTED

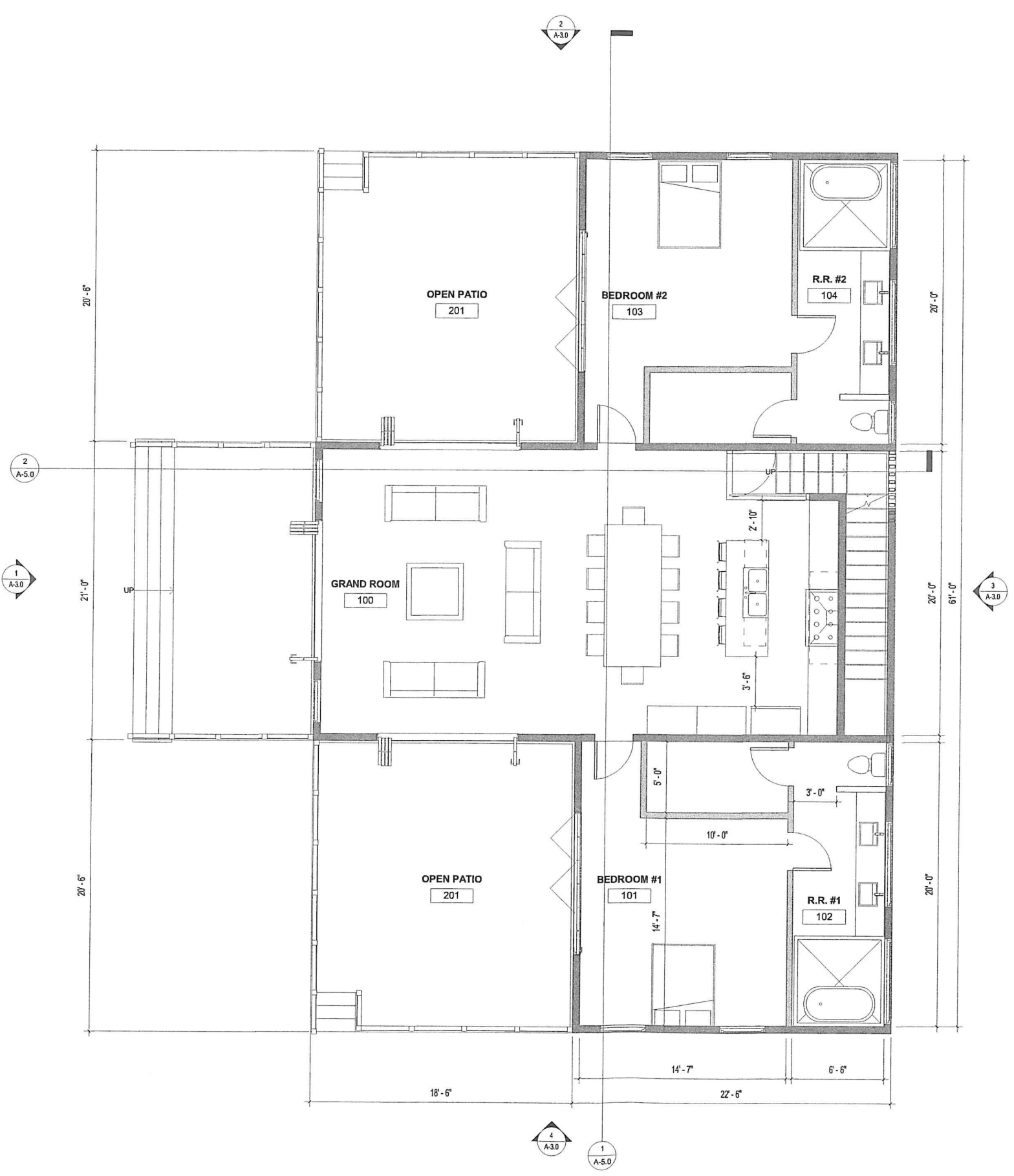
SHEET NO. A-0.02

**LEGEND**

- SITE DRAINAGE 2%
- ROOF DRAINAGE AS PER ANNOTATION
- SCOPE OF WORK
- PROPERTY LINE
- SETBACK
- FOOTPRINT

PROPOSED SITE PLAN - ZOOMED SCALE 1/16" = 1'-0" | 1





#	DESCRIPTION
---	-------------

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**KEYNOTES**

**NOTES:**  
 1. SEE ADDITIONAL RESIDENTIAL NOTES ON T-1.0

APPROVALS:

**PLAN NOTES**

- WALL TO BE DEMOD
- EXISTING WALL TO REMAIN
- EXTERIOR WALL - SEE 1 / AD - 1.0
- INTERIOR WALL - SEE SHEET 2 / AD - 1.0
- TOILET CLEARANCE  
CLEARANCE IN FRONT OF TOILET SHALL BE 24" DEPTH & 30" WIDTH
- SLAB ELEVATION CHANGE  
REFER TO BUILDING ELEVATIONS & SITE PLAN FOR ADD'L INFORMATION
- SMOKE DETECTOR
- CO2 DETECTOR
- EXHAUST FAN  
FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

No.	Description	Date

SHEET TITLE:

**SFR PLAN**

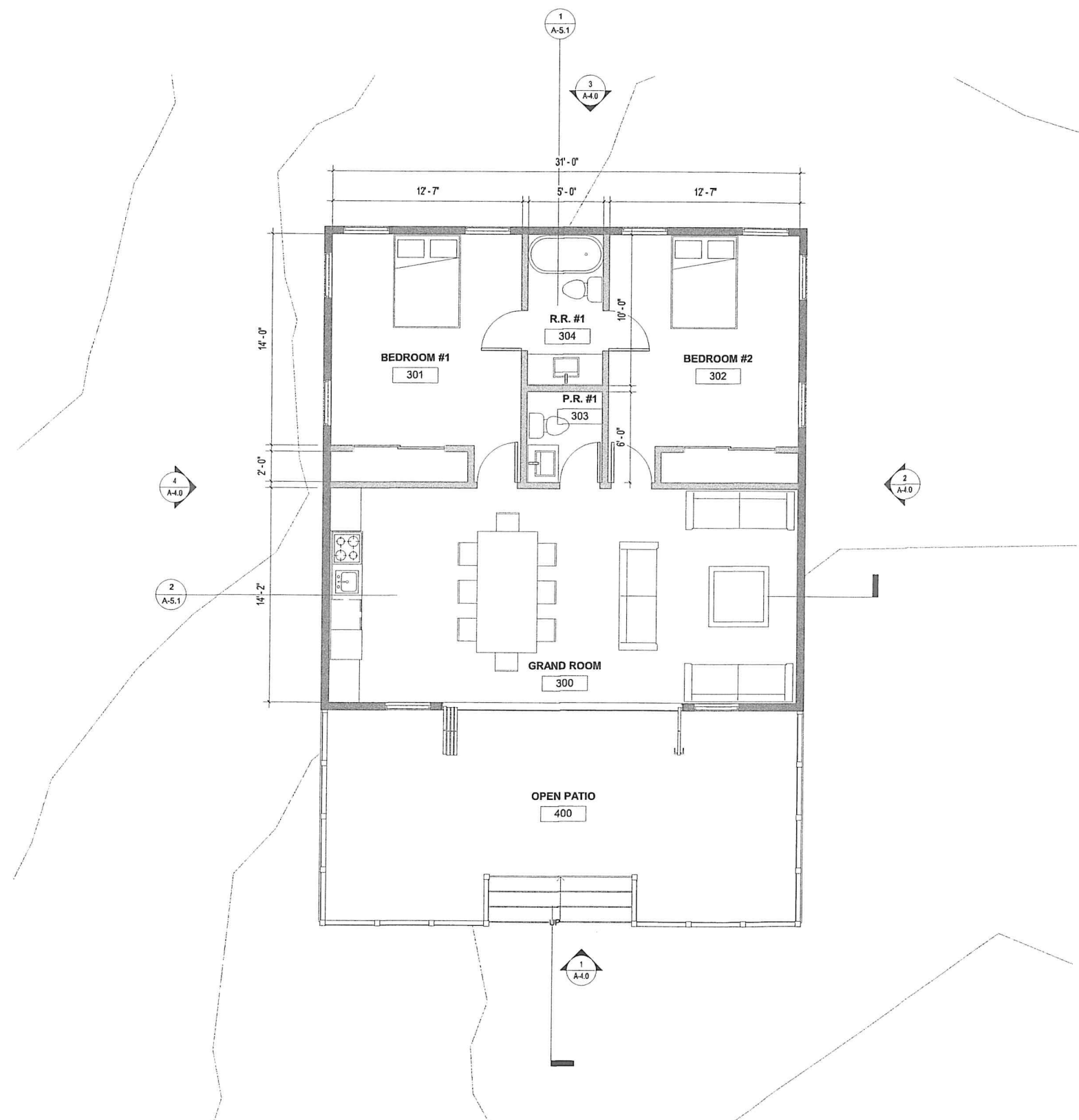
JOB NO. [DGN-2110] SCALE AS NOTED

SHEET NO.

**A-1.00**

**LEGEND**

F.F. SFR. SCALE 1/4" = 1'-0" 1



# DESCRIPTION

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**KEYNOTES**

NOTES:  
 1. SEE ADDITIONAL RESIDENTIAL NOTES ON T-1.0

APPROVALS:

**PLAN NOTES**

- WALL TO BE DEMO'D
- EXISTING WALL TO REMAIN
- EXTERIOR WALL - SEE 1 / AD - 1.0
- INTERIOR WALL - SEE SHEET 2 / AD - 1.0
- TOILET CLEARANCE  
CLEARANCE IN FRONT OF TOILET SHALL BE 2'-6" DEPTH & 30" WIDTH
- SLAB ELEVATION CHANGE  
REFER TO BUILDING ELEVATIONS & SITE PLAN FOR ADD'L INFORMATION
- SMOKE DETECTOR
- CO2 DETECTOR
- EXHAUST FAN  
FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

No.	Description	Date

SHEET TITLE:

**ADU PLAN**

JOB NO. [DGN-2110] SCALE AS NOTED

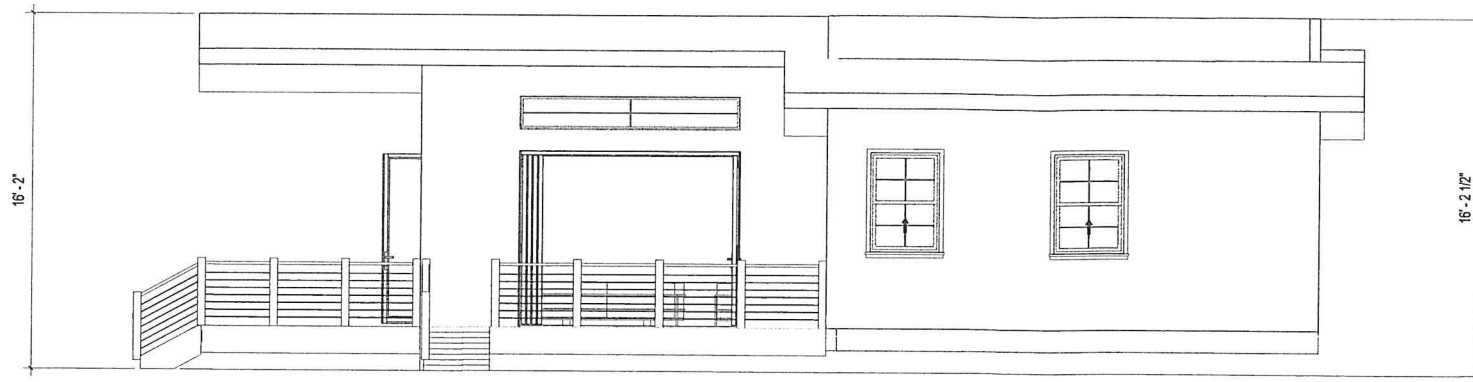
SHEET NO.

**A-1.10**

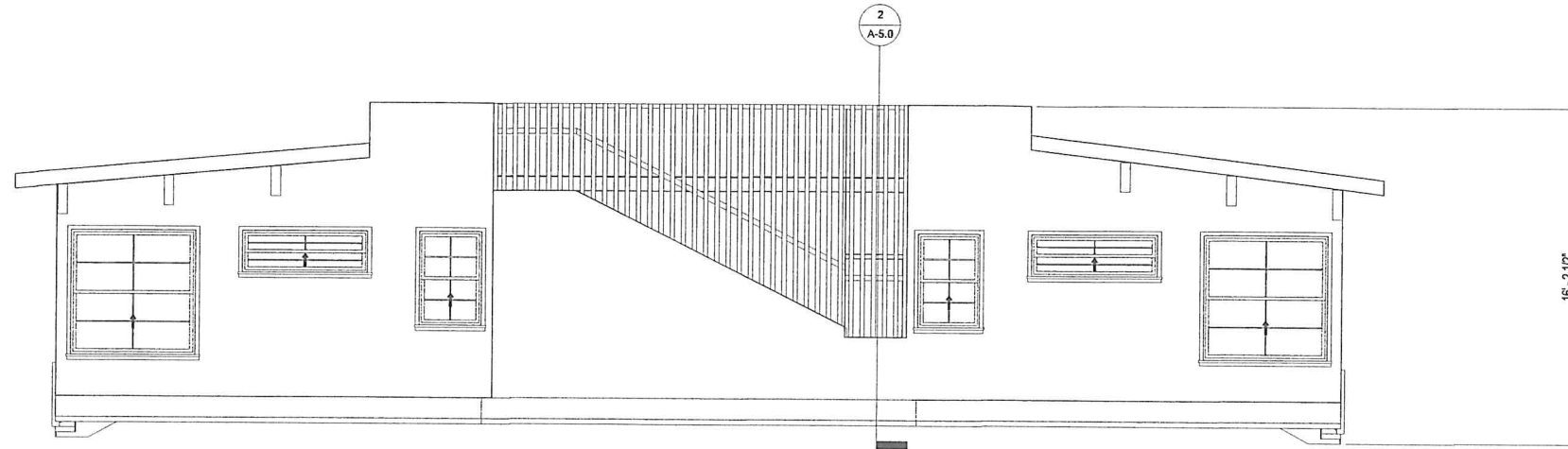
**LEGEND**

F.F. ADU SCALE 1/4" = 1'-0" 1





Elevation 2 - a SCALE 1/4" = 1'-0" 4



Elevation 3 - a SCALE 1/4" = 1'-0" 3



Elevation 4 - a SCALE 1/4" = 1'-0" 2



Elevation 5 - a SCALE 1/4" = 1'-0" 1

# DESCRIPTION

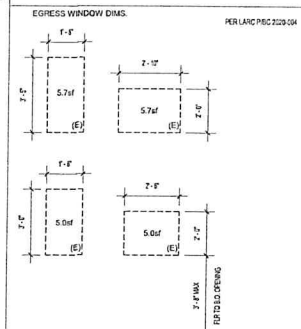
[design group name]

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**KEYNOTES**



EMERGENCY EGRESS FOR SLEEPING ROOMS. REQUIRED MIN. DIMENSIONS ARE:  
 2'-0" CLEAR HEIGHT (R310.2.1)  
 2'-0" CLEAR WIDTH (R310.2.1)  
 5'-0" FT. AT GRADE LEVEL, 5.7'-0" FT. ELSEWHERE.  
 44" MAX TO THE BOTTOM OF THE CLEAR OPENING MEASURED FROM THE FLOOR. (R310.2.2)

**EGRESS NOTES**

1. CONTRACTOR TO CONSTRUCT AND CRITY THAT EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF PER C.B.C SECTION 1405.3, FLASHING.
2. REFER TO UNIT FLOOR PLANS AND DOOR AND WINDOW SCHEDULE FOR EQUIPPED GLAZING LOCATIONS AND REQUIREMENTS.
3. PROVIDE WATERPROOF BACKING AT LIGHTING PENETRATION LOCATIONS
- 3A. REFER TO UTILITY PLAN FOR LIGHTING LOCATIONS AND ADDITIONAL INFORMATION
4. ALUMINUM RAILING AND CANOPIES SHALL BE MADE OF NON-REFLECTIVE MATEL FRESH METAL.
5. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (G388.1)
6. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

APPROVALS:

No.	Description	Date

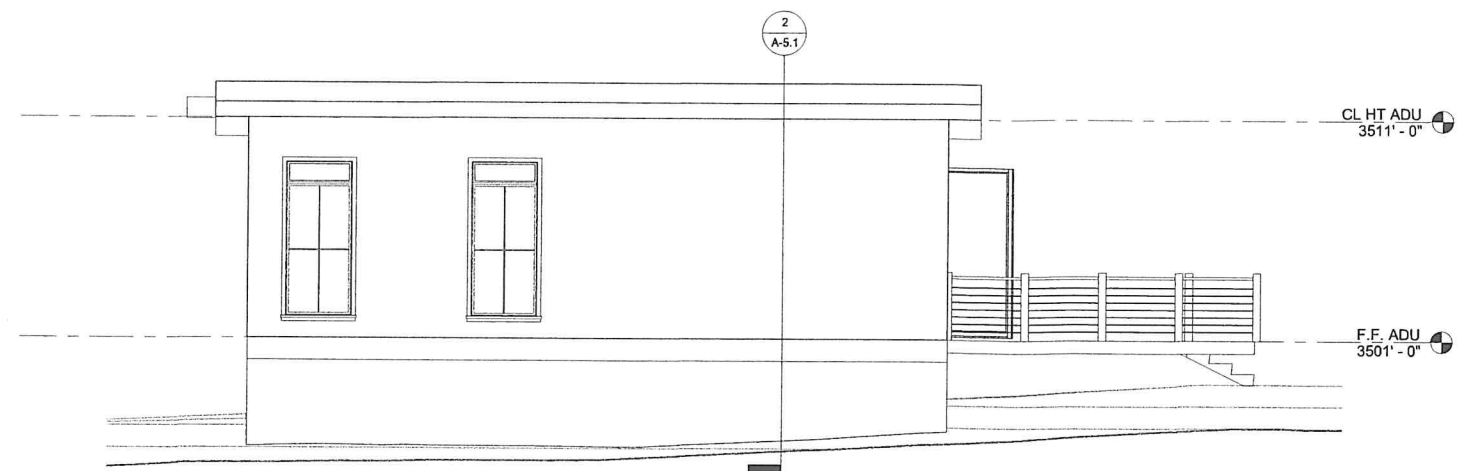
SHEET TITLE:

**SFR - ELEVATIONS**

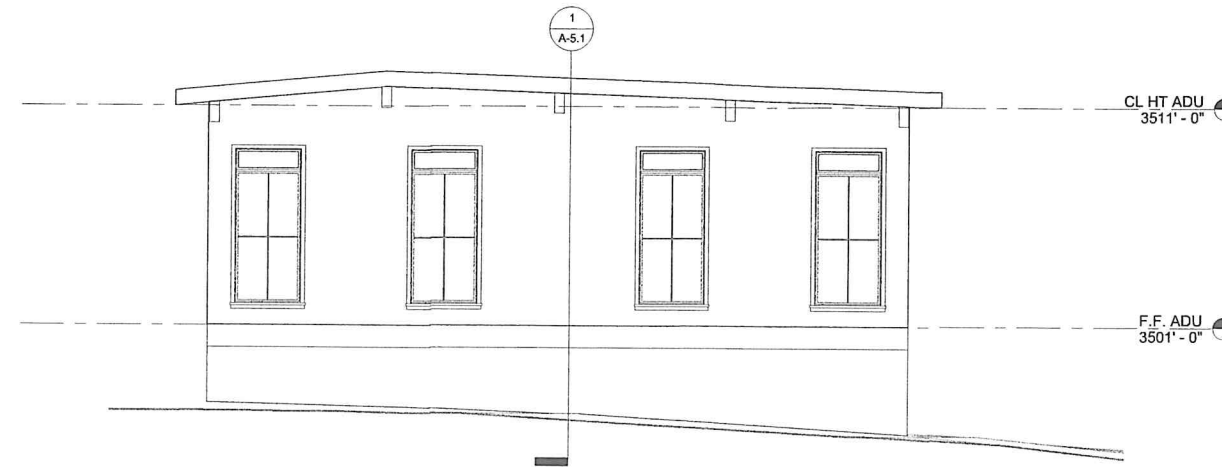
JOB NO. [DGN-2110] SCALE AS NOTED

SHEET NO. **A-3.0**

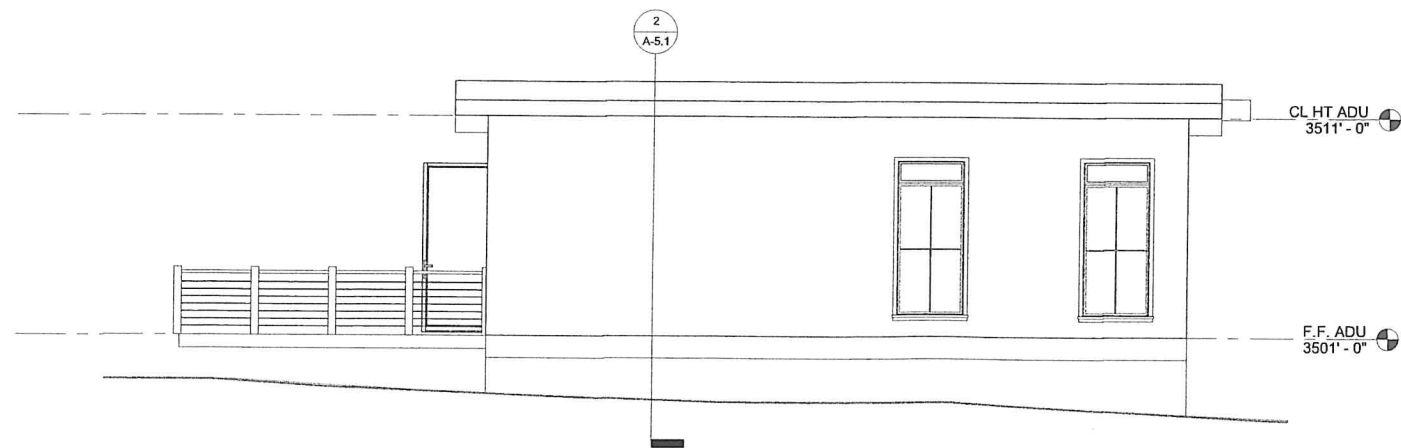
**ELEVATION NOTES**



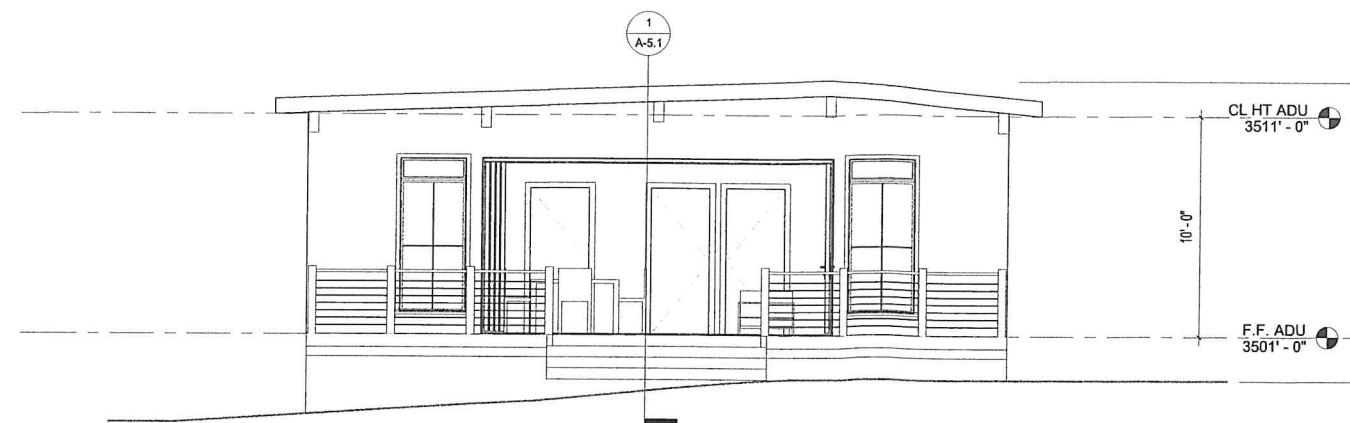
Elevation 8 - a | SCALE 1/4" = 1'-0" | 4



Elevation 9 - a | SCALE 1/4" = 1'-0" | 3



Elevation 10 - a | SCALE 1/4" = 1'-0" | 2



Elevation 11 - a | SCALE 1/4" = 1'-0" | 1

# DESCRIPTION

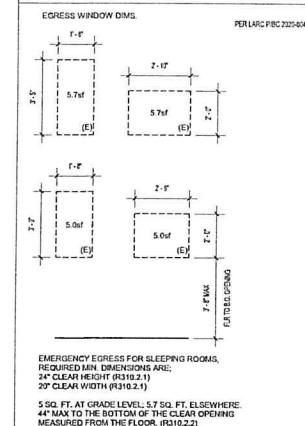
[design group name]

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**KEYNOTES**



**EGRESS NOTES**

1. CONTRACTOR TO CONSTRUCT AND GRIT THAT EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF PER C.I.C. SECTION 1403.3, FLASHING.
2. REFER TO UNIT FLOOR PLANS AND DOOR AND WINDOW SCHEDULE FOR TEMPERED GLAZING LOCATIONS AND REQUIREMENTS.
3. PROVIDE WATERPROOF BACKING AT LIGHTING PENETRATION LOCATIONS.
4. REFER TO UTILITY PLAN FOR LIGHTING LOCATIONS AND ADDITIONAL INFORMATION.
5. ALUMINUM RAILING AND CANOPES SHALL BE MADE OF NON-REFLECTIVE-MATTE FINISH METAL.
6. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED BY A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (#310.1)
7. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANY RULES FOR THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF ACPA 01.

APPROVALS:

No.	Description	Date

SHEET TITLE:

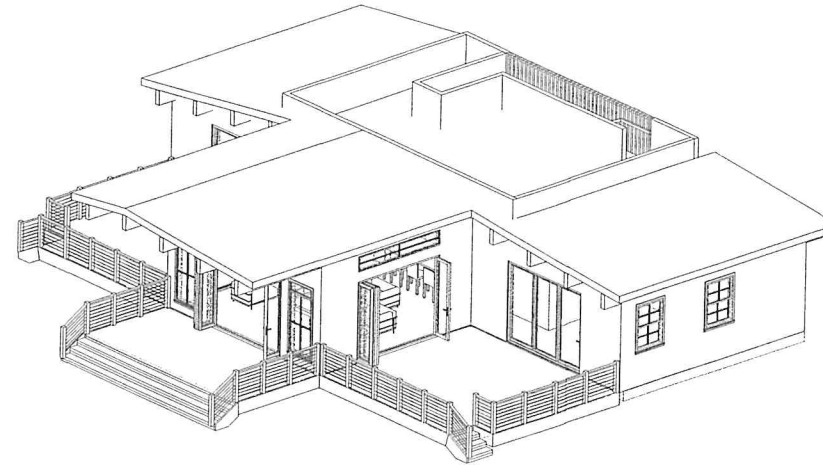
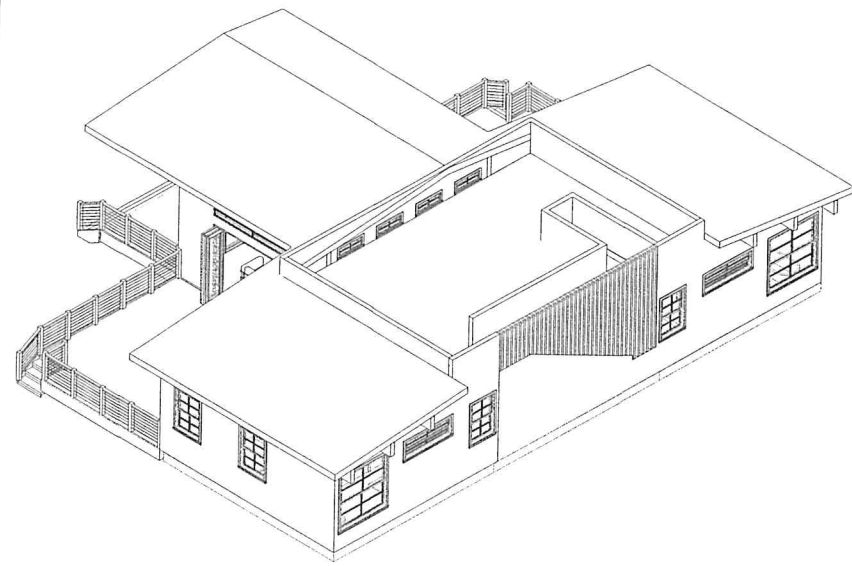
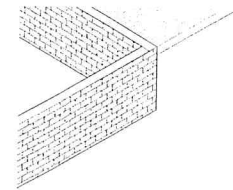
**ADU -  
 ELEVATIONS**

JOB NO. [DGN-2110] SCALE AS NOTED

SHEET NO.

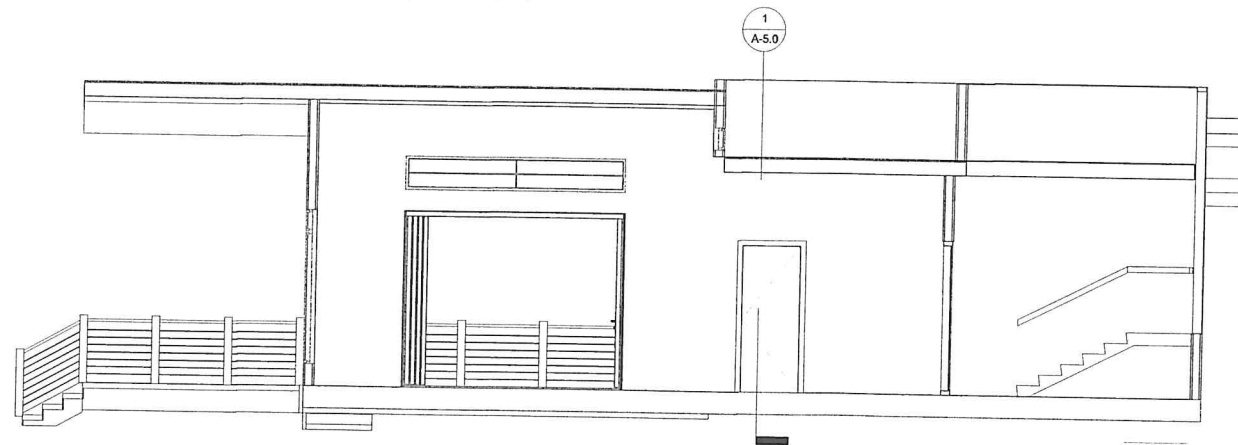
**A-4.0**

**ELEVATION NOTES**

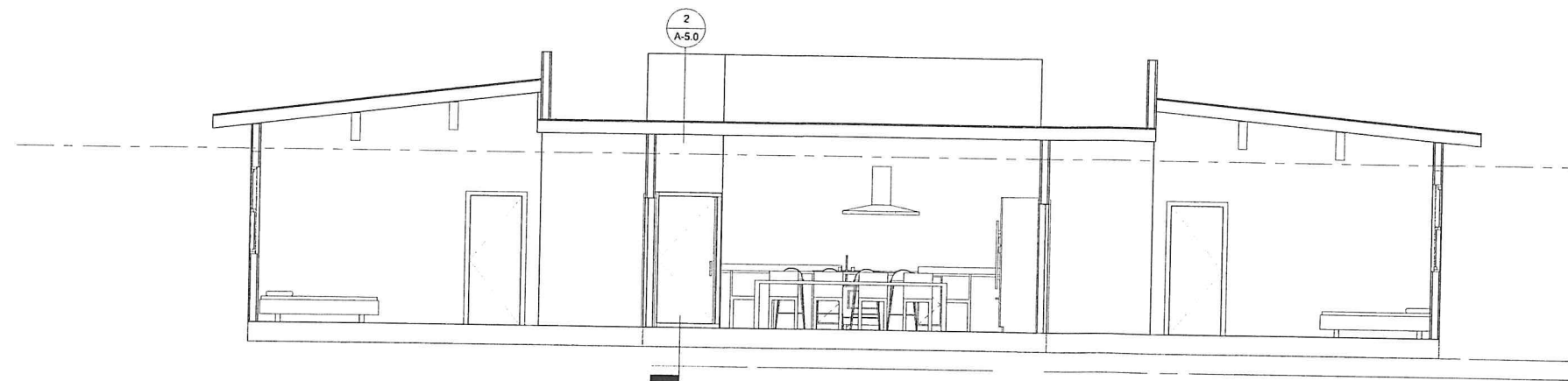


3D AXO 2 | SCALE | 4 |

3D AXO 1 | SCALE | 3 |



Section 12 | SCALE | 2 |  
1/4" = 1'-0"



CL HT ADU  
3511'-0"

Section 13 | SCALE | 1 |  
1/4" = 1'-0"

#	DESCRIPTION
1	ROOFING INSULATION TO BE R-38
2	WALL INSULATION TO BE R-15
3	FLOOR INSULATION TO BE R-19

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**KEYNOTES**

APPROVALS:

No.	Description	Date

SHEET TITLE:

**SFR SECTIONS**

JOB NO. [DGN-2110] SCALE AS NOTED

SHEET NO. **A-5.0**

THESE BUILDING SECTIONS ARE PROVIDED TO ILLUSTRATE THE ARCHITECTURAL RELATIONSHIPS BETWEEN STRUCTURAL ELEMENTS, INTERIOR VOLUME CONFIGURATIONS, AND BUILDING PROFILE. REFER TO THE STRUCTURAL PLANS AND TRUSS MANUFACTURER'S PLANS AND CALCULATIONS FOR ALL FRAMING AND TRUSS INFORMATION.

**LEGEND**