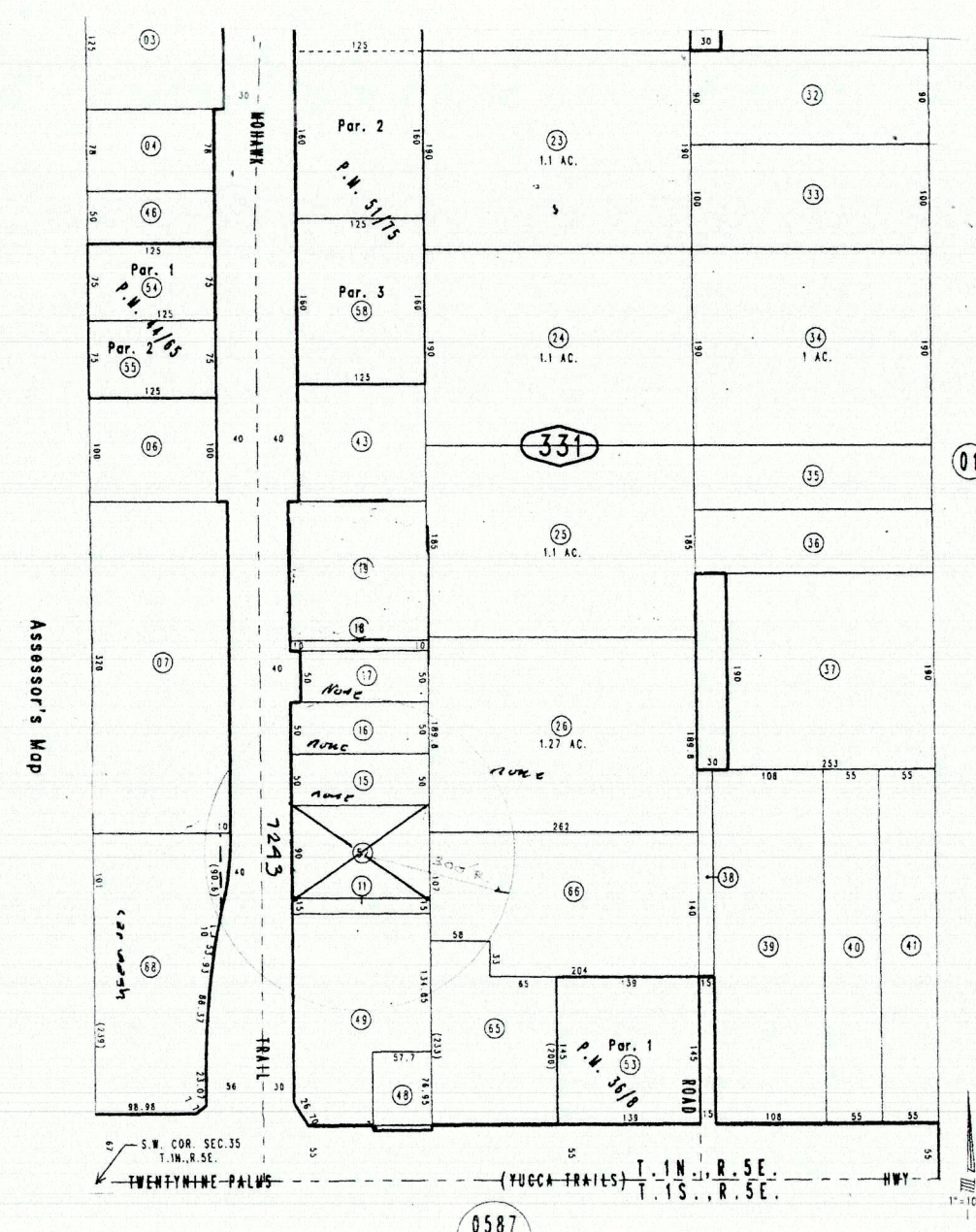
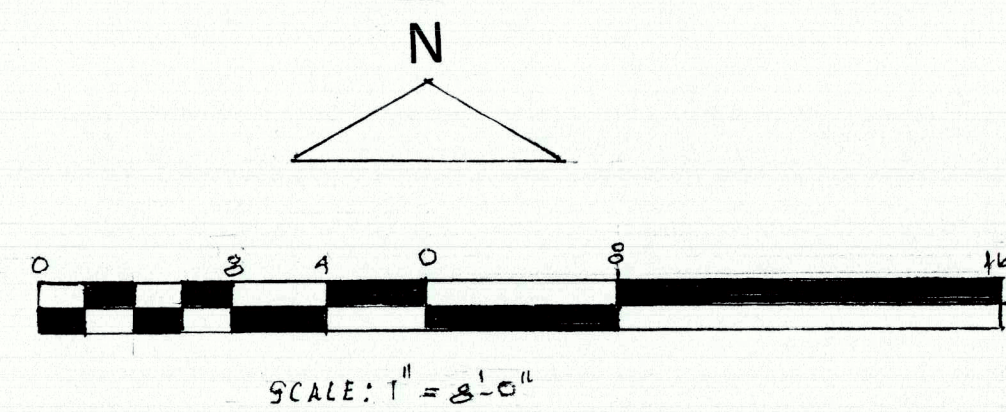


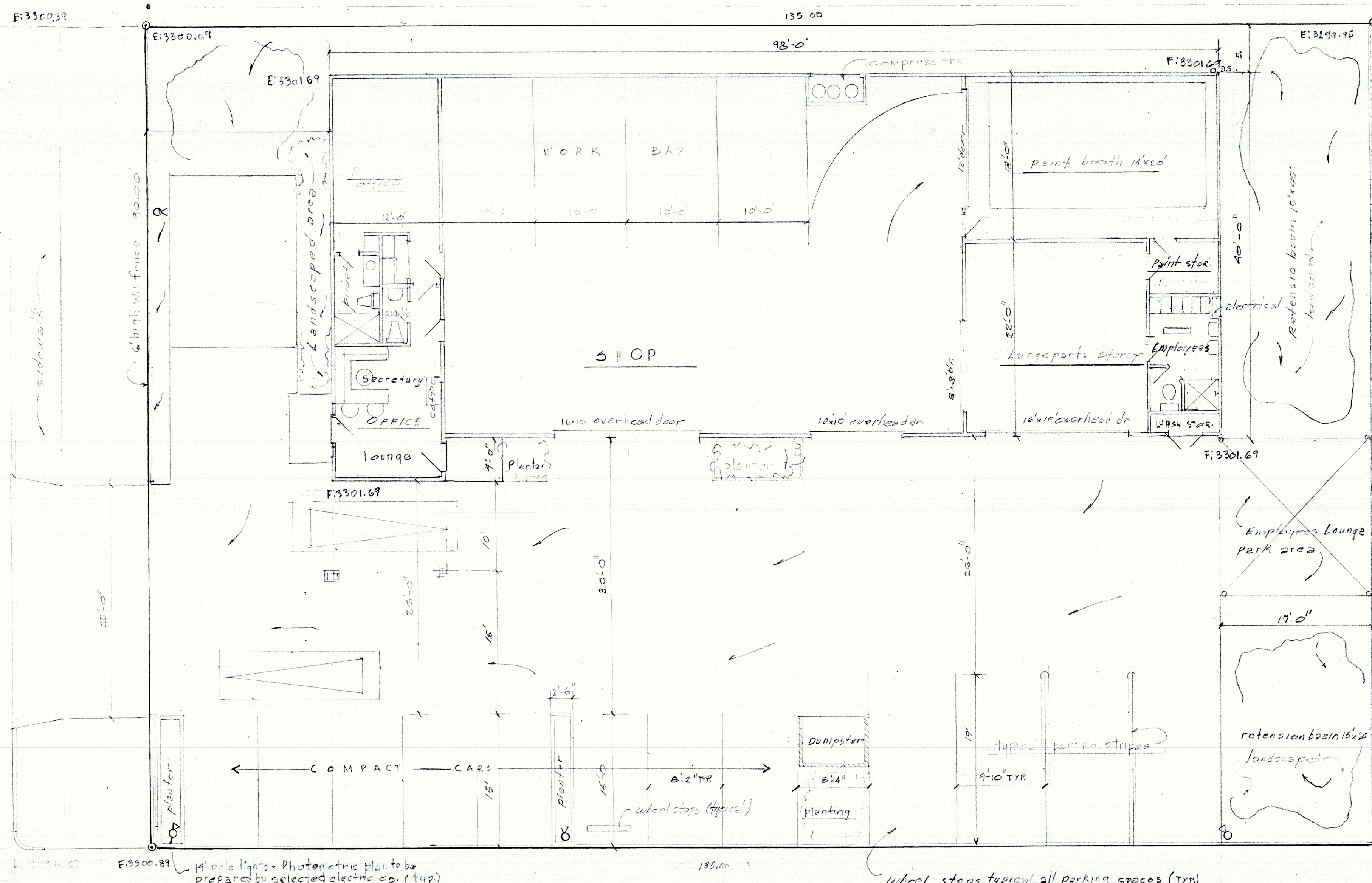
AN AUTO BODY PAINT SHOP

7243 MOHAWK TRAIL YUCCA VALLEY, CA. 92284

MR. AND MRS FLORENCIO ESCARINO



VICINITY MAP



PLOT PLAN

LEGAL DESCRIPTION

APN 0595-331-52-0000

County: SAN BERNARDINO

Gross area: 12,150 sq. ft.

Building area: 3,980 sq. ft.

Net area: 8,170

SHEET INDEX:

DESIGN INFORMATION:

Scope of work: Remove existing slab/construct new slab.
 Occupancy group _____
 Type of construction _____
 Number of stories one
 Floor area 3,980 sq. ft.

THIS SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE CITY BUILDING DEPARTMENT. CGC 4.106.3

-PROVIDE AN AUTOMATIC SPRINKLER SYSTEM PER SECTION R313.2
 -LANDSCAPE IRRIGATION WATER SHALL HAVE WEATHER BASED CONTROLLERS. (CGC 4.304.1)

ALL PLANS SHALL COMPLY WITH:

- 2019 California Building Standards Code includes:
- Part 1, 2019 ADMINISTRATIVE CODE
- Part 2, 2019 California Building Code (CBC)
- Part 2.5, 2019 California Residential Code (CRC)
- Part 3, 2019 California Electrical Code (CEC)
- Part 4, 2019 California Mechanical Code (CMC)
- Part 5, 2019 California Plumbing Code (CPC)
- Part 6, 2019 California Energy Code (CEC)
- Part 9, 2019 California Fire Code (FC)
- Part 10, 2019 California Existing Building Code
- Part 11, 2019 California Green Building Standards Code (CGBC)

GENERAL NOTES:

1. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THOMAS HERNANDEZ DESIGN PRINCIPLE AND SHALL NOT BE USED FOR ANY WORK OTHER THAN THE PROJECT SHOWN HEREIN.
2. ALL WORK AND ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL THE PROVISIONS OF THE BUILDING CODE AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH BRING TO THE ATTENTION OF THE DESIGNER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE THE CONSTRUCTION DOCUMENTS.
3. CONSTRUCTOR HEREBY WARRANTS TO THE OWNER AND THE DESIGNER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT IS NEW UNLESS NOTED OTHERWISE. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE OF ANY FAULTS AND DEFECTS.
4. TEMPORARY BARRIERS AND/OR A PROTECTIVE CONSTRUCTION FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING.
5. ALL CONTRACTORS PROVIDING WORK / MATERIALS TO THE PROJECT MUST VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS AND SHALL NOTIFY DESIGNER OR ANY DISCREPANCIES BEFORE CONSTRUCTION.
6. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS, SPECIFICATIONS AND THE GENERAL NOTES PRIOR TO THE SUBMITTAL OF THE CONTRACTOR'S BID.
7. GENERAL NOTES, NOTES, AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE.
8. FRAMING CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE FRAMED SIMILAR TO THE DETAILS SHOWN FOR THE DETAILS SHOWN FOR THE RESPECTIVE MATERIALS.
9. PROVIDE OPENING AND SUPPORTS FOR MECHANICAL EQUIPMENT, DUCTS, PIPING, VENTS, ETC. AS REQUIRED. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL OPENINGS AND EQUIPMENT NOT SHOWN ON THE STRUCTURAL DRAWINGS.
10. WRITTEN DIMENSIONS TAKE PRECEDENCE, DO NOT SCALE.
11. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY, UNLESS NOTED OTHERWISE.
12. IF EXISTING FACILITIES ARE RELATED TO THE WORK, THE CONTRACTOR SHALL NOT DISRUPT THE EXISTING SERVICES OR UTILITIES. CONTRACTOR SHALL NOT DISRUPT THE EXISTING SERVICES OR UTILITIES WITHOUT OBTAINING OWNERS PRIOR APPROVAL AND INSTRUCTIONS IN WRITING.

GENERAL SPECIFICATIONS:

- IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT THAT THE GENERAL CONTRACTOR FAILS TO GIVE SUCH NOTICE BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK, THE GENERAL CONTRACTOR WILL BE HELD RESPONSIBLE TO THE RESULT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.
1. ALL WORK CALLED FOR IN THESE PLANS SHALL BE EXECUTED WITH EXTREME CONCERN FOR CRAFTSMANSHIP AND SAFETY IN FULL ACCORDANCE WITH THE ADOPTED CODES AND ORDINANCES OF THE JURISDICTION IN WHICH IT IS BEING CONSTRUCTED.
 2. ALL WORK, WHETHER SPECIFICALLY CALLED FOR OR NOT, SHALL BE CONSTRUCTED UNDER THE LATEST EDITION OF THE UNIFORM BUILDING CODE AS ADOPTED BY THE LOCAL GOVERNING AGENCY.
 3. THE GENERAL CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THIS DOCUMENTS PRIOR TO PROCEEDING WITH ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO COMMENCING ANY WORK. SHOULD ANY DEVIATION BE MADE FROM THESE PLANS WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER, THE OWNER/CONTRACTOR ASSUME ALL RESPONSIBILITY FOR SUCH DEVIATION.

INFREQUENT SITE VISITS BY THE DESIGNER OR ENGINEER, IN NO WAY ALLEVIATES THE CONTRACTOR'S RESPONSIBILITY IN REGARDS TO CODE COMPLIANCE, SAFETY OR THOROUGHNESS.

ALL SUB-CONTRACTORS SHALL VISIT THE JOB SITE WITHIN 24 HOURS PRIOR TO COMMENCING WORK. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING RELATED TRADES SUB-SURFACE PREPARATION AND SHALL REPORT ANY NON-COMFORMING DISCREPANCY TO THE GENERAL CONTRACTOR. EXECUTION OF WORK BY ANY SUB-CONTRACTOR INDICATES ACCEPTANCE OF THE PREVIOUS TRADE'S WORK.

THE OWNER AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND THE DESIGNER, HIS EMPLOYEES, AND ENGINEERS AGAINST ANY AND ALL LIABILITY, CLAIM DAMAGES AND COSTS OF DEFENSE ARISING OUT OF THE ERRORS OR OMISSIONS, OR NEGLIGENT ACTS CAUSED BY THE MODIFICATIONS TO THE PLANS AND SPECIFICATIONS.

The owner agrees to hold harmless, indemnify, and defend the designer, his employees, and engineers against any and all liability, claims, damages, and costs of defense arising out of the errors or omissions, or negligent acts caused by the modifications to the plans specifications.

REVISIONS	BY

A CUSTOM DESIGNED PROJECT

BUILDING DESIGNER
 THOMAS HERNANDEZ
 UNIQUE CONCEPTS

DESIGN CLASSICS
 A RESIDENTIAL DESIGN FIRM

DRAWN
 DATE
 SCALE
 JOB NO.
 SHEET
 1

7501 TULIP AVE. SUC. 113 YUCCA VALLEY, CA. 92284 708-410-5224