

**FIRST STORY PLAN—24 UNITS—LAUNDRY—AND MAINTENANCE ROOM**

S: 1/4"=1'

**CUP PERMIT—CHAPTER 9.48.030—( LESS THAN 1/2 MILE FROM YUCCA VALLEY TRANSIT CENTER—FOR PARKING ALLOWANCES )**

**9.48.030: SINGLE ROOM OCCUPANCY UNITS:**

A. Single Room Occupancy Purpose And Intent: It is the purpose and intent of this section to regulate the development and operation of single room occupancy land uses. Single room occupancy units provide housing opportunities for lower income individuals, persons with disabilities, the elderly and formerly homeless individuals.

B. Definition: "Single room occupancy" shall mean a facility providing dwelling units where each unit has a minimum floor area of one hundred fifty (150) square feet and a maximum floor area of three hundred fifty (350) square feet. These dwelling units may have kitchen or bathroom facilities and shall be offered on a monthly basis or longer.

C. Location: Single room occupancy units shall be located exclusively in the industrial (I) land use district with the approval of a conditional use permit. An application pursuant to this section shall be processed concurrently with any other application(s) required for housing development.

D. Development Standards: The following development standards shall be used in conjunction with the industrial district standards for any single room occupancy development.

1. Unit Size: The minimum size of a unit shall be one hundred fifty (150) square feet and the maximum size shall be three hundred fifty (350) square feet which may include bathroom and/or kitchen facilities.

2. Occupancy: An SRO unit shall accommodate a maximum of two (2) persons.

3. Common Areas: A minimum of ten (10) square feet for each unit shall be provided for common areas. All common areas shall be within the structure. Dining rooms, meeting rooms, recreational rooms or other similar areas may be considered common areas. Shared bathrooms, kitchens, janitorial storage, laundry facilities and common hallways shall not be considered as common areas.

4. Kitchen Facilities: An SRO is not required to but may contain partial or full kitchen facilities. A full kitchen includes a sink, a refrigerator and a stove, range top or oven. If a full kitchen is not provided, common kitchen facilities shall be provided with at least one kitchen per floor.

5. Bathroom Facilities: For each unit a private toilet and sink in an enclosed compartment with a door shall be provided. This compartment shall be a minimum of fifteen (15) square feet. If private bathing facilities are not provided for each unit, shared shower or bathtub facilities shall be provided in accordance with the most recent edition of the California building codes for congregate residences with at least one full bathroom per every three (3) units on a floor. The shared shower or bathtub facility shall be accessible from a common area or hallway. Each shared shower or bathtub facility shall be provided with an interior lockable door.

6. Closet: Each SRO shall have a separate closet.

7. Laundry Facilities: Laundry facilities shall be provided in a separate room at the ratio of one washer and dryer for every ten (10) units, with at least one washer and dryer per floor.

8. Cleaning Supply Room: A cleaning supply room or utility closet with a washtub with hot and cold running water shall be provided on each floor.

9. Management: A management plan shall be submitted with the development application for an SRO facility and shall be approved by the director and the chief of police. The management plan must address management and operation of the facility, rental procedures, safety and security of the residents and building maintenance. (Ord. 254, 12-16-2014)

**PROJECT: 48 SINGLE ROOM OCCUPANCY UNITS —2 BLOCKS**  
**2 BLOCKS—2 STORY BUILDING: 48 UNITS—240 Sf. + 48 UNITS—264 Sf.**  
**GEMSTONE PROPERTIES, INC**

APN 0595-201-11—LOT 1.2 ACRES

3/2022

**COMMON SPACE—RENTAL ADMINISTRATION—SOCIAL SERVICES OFFICE & ATTENDANT UNIT**

CONTACT: NELLO MANCIATI—323-270-1982—nello1599@gmail.com

SHEET: 2/5



**SECOND STORY PLAN—24 UNITS—LAUNDRY—AND MAINTENANCE ROOM** S: 1/4"=1'

**PROJECT: 48 SINGLE ROOM OCCUPANCY UNITS —2 BLOCKS**  
**2 BLOCKS—2 STORY BUILDING: 48 UNITS—240 Sf. + 48 UNITS—264 Sf.**

APN 0595-201-11—LOT 1.2 ACRES

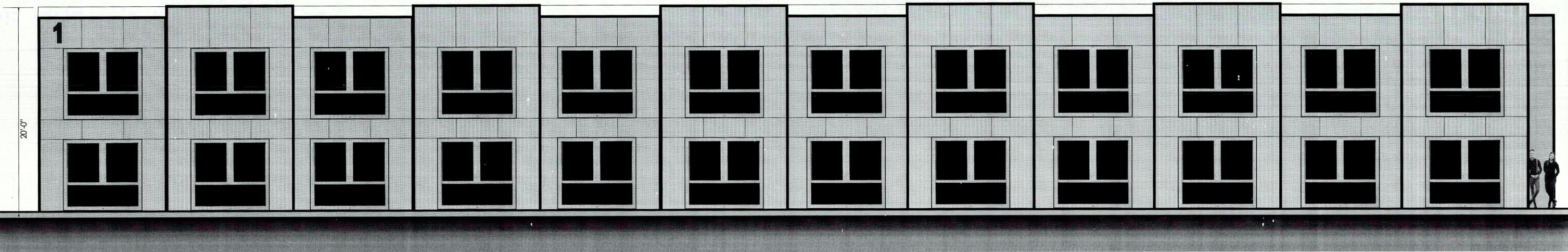
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**COMMON SPACE—RENTAL ADMINISTRATION—SOCIAL SERVICES OFFICE & ATTENDANT UNIT**

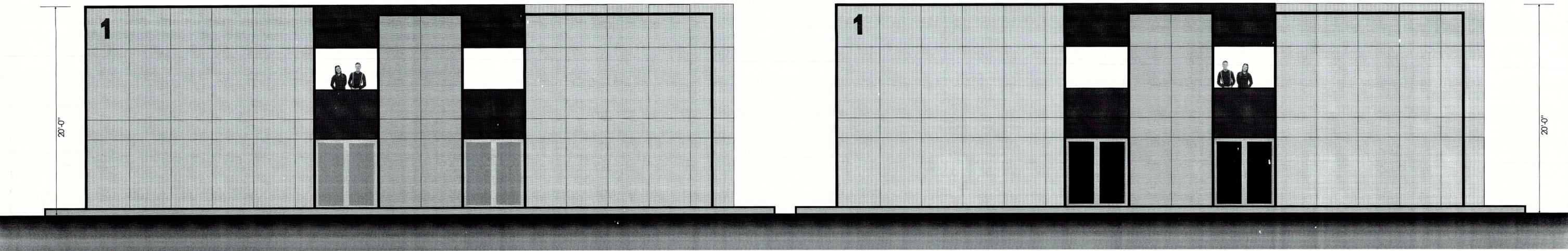
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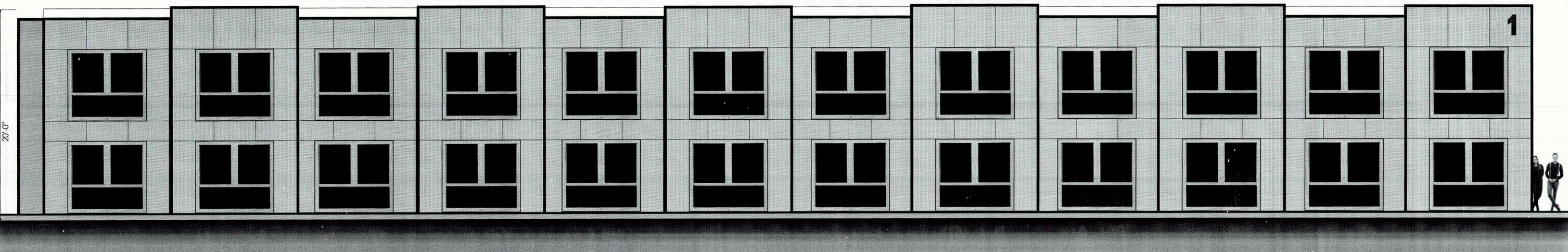


**ALLEY ELEVATION AND INTERNAL SIDE VIEWS** S: 1/4"=1'



**BACKSIDE ELVATION—GARDEN VIEW** S: 1/4"=1'

**PARKING SIDE ELVATION—MAIN ENTRANCE** S: 1/4"=1'



**ALLEY ELEVATION AND INTERNAL SIDE VIEWS** S: 1/4"=1'

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**2 BLOCKS—2 STORY BUILDING: 48 UNITS—240 Sf. + 48 UNITS—264 Sf.**

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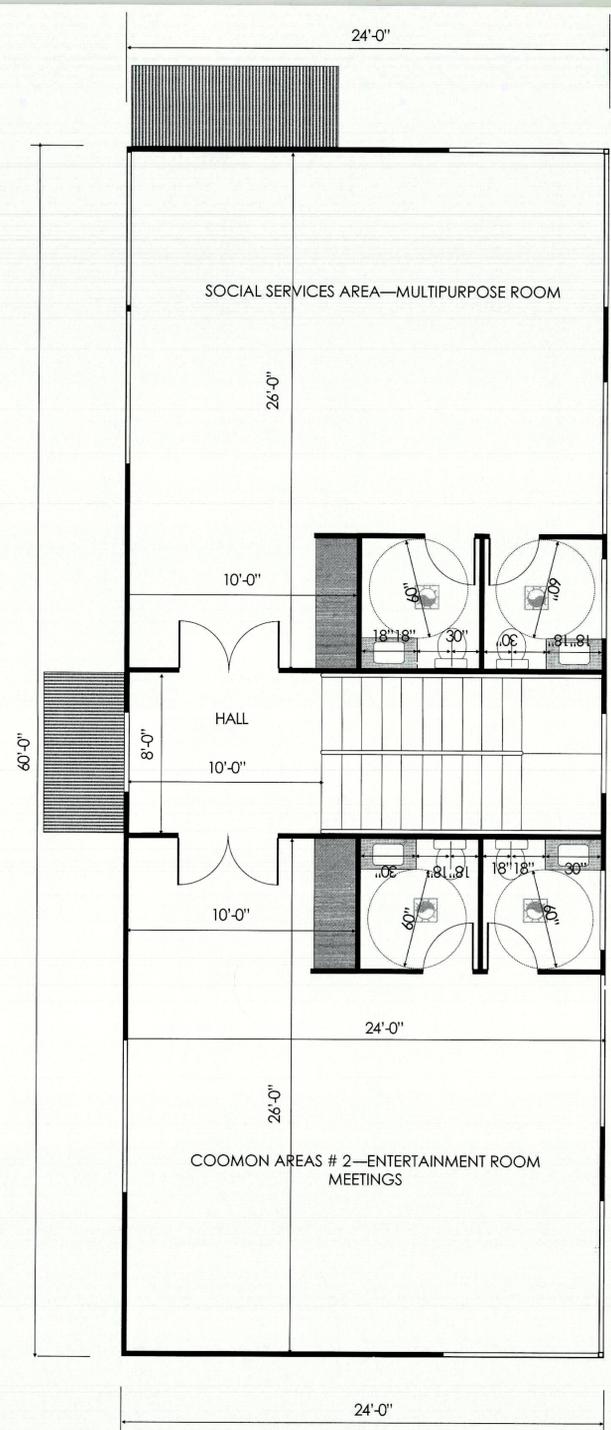
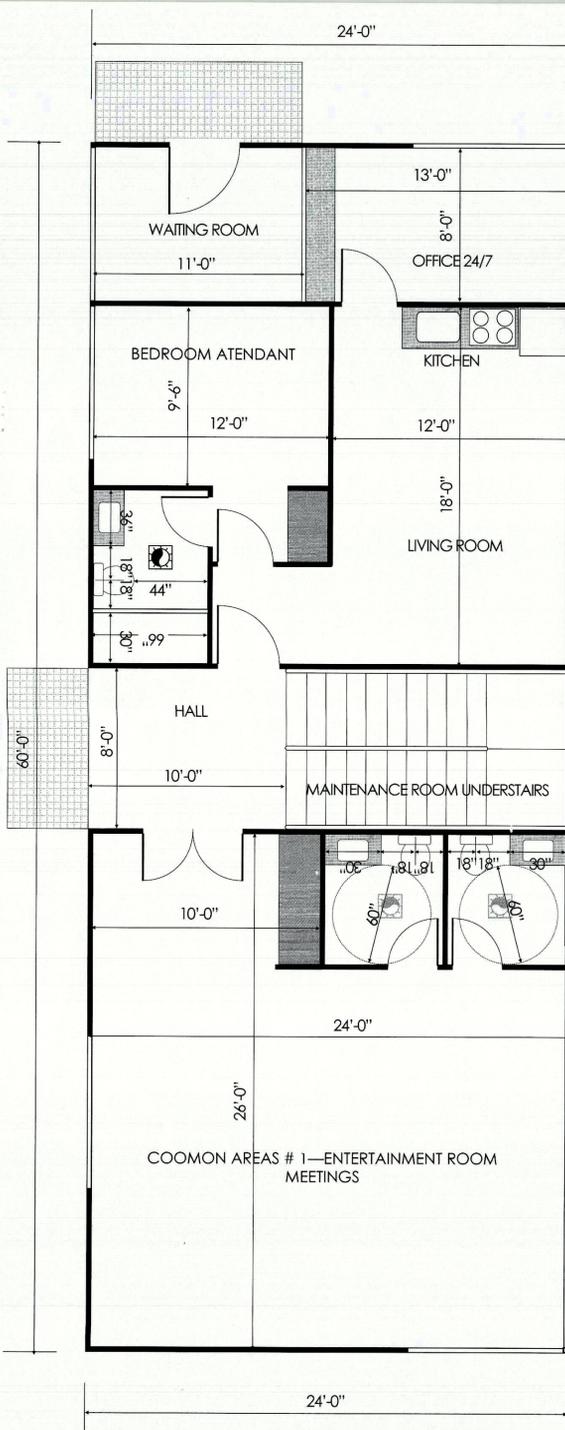
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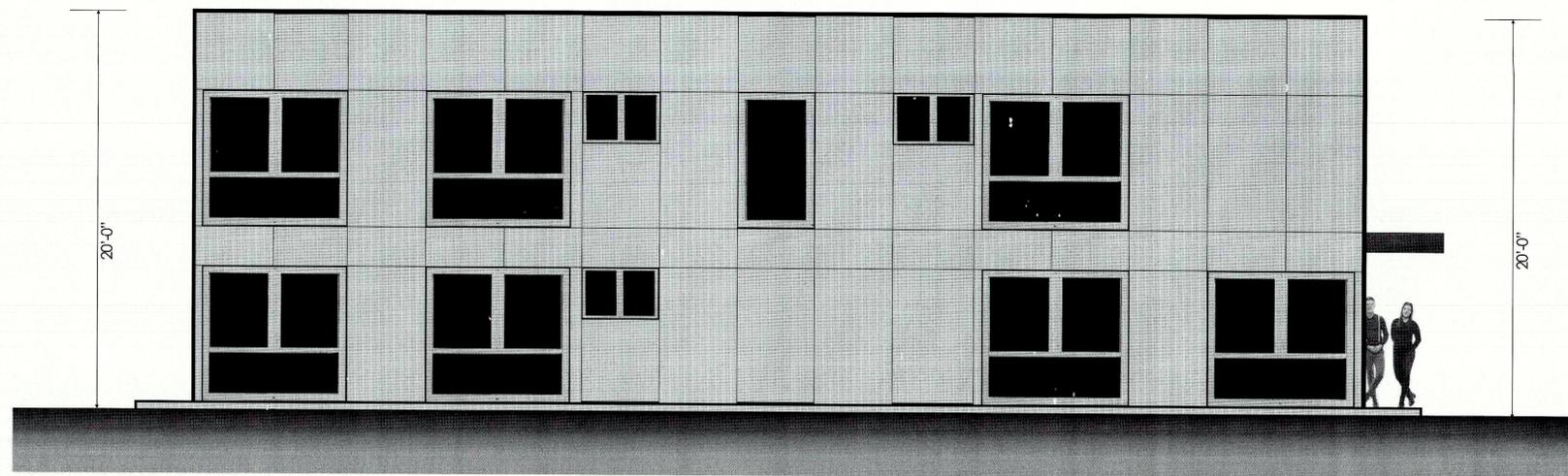
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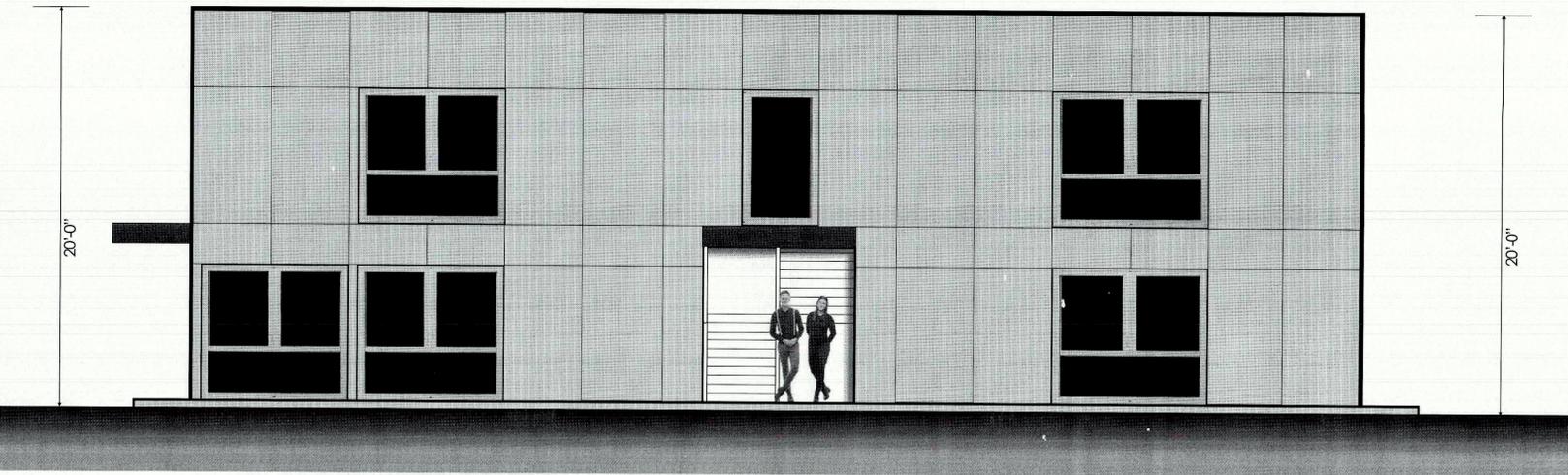
**BACK ELEVATION—ALLEY SIDE** S: 1/4"=1'



**FRON ELEVATION—MAIN ENTRANCE** S: 1/4"=1'



**CHIA AVENUE ELEVATION—PARKING SIDE** S: 1/4"=1'



**SIDE ELVATION—UNITS ENTRANCE SIDE** S: 1/4"=1'

**FIRST SORY PLAN** S: 1/4"=1'  
REGISTRATION—RENTAL—ADMINISTRATION  
COMMON AREAS—ATTENDANT HEADQUARTERS

**SECOND SORY PLAN** S: 1/4"=1'  
COMMON AREAS ANDSOCIAL SERVICE OFFICE  
SOCIAL SERVICE OFFICE—MULTIPURPOSE ROOM

**PROJECT: 48 SINGLE ROOM OCCUPANCY UNITS —2 BLOCKS**  
**2 BLOCKS—2 STORY BUILDING: 48 UNITS—240 Sf. + 48 UNITS—264 Sf.**

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