

Date: 1/23/08
 Case No. SPR 02-08 Fee \$ 4,485
 Case No. GR 01-08 Fee 805
 Case No. HS 01-08 Fee 805
 EA No: 12-08 Fee 925

75-01-08 805

- | | |
|--|---|
| <input type="checkbox"/> CONDITIONAL USE PERMIT | <input type="checkbox"/> TRACT MAP |
| <input checked="" type="checkbox"/> SITE PLAN REVIEW | <input type="checkbox"/> PARCEL MAP |
| <input type="checkbox"/> PLANNED DEVELOPMENT | <input type="checkbox"/> GENERAL PLAN AMENDMENT |

(Please Print Legibly)

Applicant MIKE AND AIDA ALI
 Address 405 PACIFIC COST HWY City HUNTINGTON BEACH State CA Zip 92648
 Phone (714) 717-2797 Fax _____ Cell _____
 E-mail Address _____
 Project Name (if any): Yucca Plaza

Contact Person/Representative NASHAT MUWANES / PETRA GROUP, INC
 Address 13840 DOS PALMAS ROAD City VICTORVILLE State CA Zip 92392
 Phone (760) 792-9875 Fax (760) 241-9153 Cell _____
 E-mail Address nash@petraengineering.com

Property Owner SAME AS APPLICANT Phone _____
 Address _____ City _____ State _____ Zip _____
 E-Mail Address _____ Fax _____

Assessor Parcel Number(s) 0601-411-03 Tract Map # _____ Lot # _____
 Property Dimensions 370' x 235 Existing Land Use VACANT
 Structure Square Footage VACANT General Plan Designation/Zoning C-2
 Location: (Example: Address & Street or SW corner of Elk & Onaga or 300 ft N of Paxton on W side of Airway)
NW CORNER 29 PALMS HWY and HANFORD AVE.

Proposed Project Description: Precisely describe the proposed project for which approval is being sought and the application is being submitted. Use additional sheets and attach to application if necessary.
20,707 SF COMMERCIAL DEVELOPMENT

Owner's Signature _____ Date _____

NOTE: THE INFORMATION I HAVE PROVIDED IS TRUE AND OPEN AS PUBLIC INFORMATION. THE PLANNING APPLICATION DOES NOT GUARANTEE APPROVAL OR CONSTITUTE A BUILDING PERMIT APPLICATION. ADDITIONAL FEES MAY BE REQUIRED DEPENDING ON ANY ADDITIONAL ADMINISTRATIVE COSTS.

Applicant's Signature _____ Date _____



Date:	_____
By:	_____
Fee:	_____
Case No:	_____
EA No:	_____

CONDITIONAL USE PERMIT

(Please Print Legibly)

Applicant Mike Ali Phone 714 536 0215
 Address 8181 Deauville Dr City H Beach State ca Zip 92646
 E-mail Address _____ Fax _____
 Project Name (if any): _____

Contact Person/Representative _____ Phone _____
 Address _____ City _____ State _____ Zip _____
 E-mail Address _____ Fax _____

Property Owner Mike Ali Phone _____
 Address 405 P.C.H City H Beach State _____ Zip 92648
 E-Mail Address _____ Fax 714 536 8188

Assessor Parcel Number(s) APN 06141107 Existing Land Use _____
 Property Dimensions _____ General Plan Designation _____
 Structure Square Footage _____ Existing Zoning _____
 Location: (Example: Address & Street or SW corner of Elk & Onaga or 300 ft N of Paxton on W side of Airway)

Proposed Project Description: Precisely describe the proposed project for which approval is being sought and the application is being submitted. Use additional sheets and attach to application if necessary.

Owner's Signature [Signature] Date 12 16 07

NOTE: THE INFORMATION I HAVE PROVIDED IS TRUE AND OPEN AS PUBLIC INFORMATION. THE PLANNING APPLICATION DOES NOT GUARANTEE APPROVAL OR CONSTITUTE A BUILDING PERMIT APPLICATION. ADDITIONAL FEES MAY BE REQUIRED DEPENDING ON ANY ADDITIONAL ADMINISTRATIVE COSTS.

Applicant's Signature [Signature] Date 12-16-07

Town of Yucca Valley
 Community Development/Public Works Department
 58929 Business Center Dr., Yucca Valley, CA 92284
 760 369-6575 Fax 760 228-0084



Date: _____
 By: _____
 For: _____
 EA No: _____
 Project No: _____

ENVIRONMENTAL ASSESSMENT APPLICATION

Pursuant to the California Environmental Quality Act (CEQA), the project applicant is to complete this application for review by the Town. Formal processing of the project application will not begin until this Environmental Application is accepted as complete. Please call the Community Development Department at (760) 369-6575 if you have any questions.

(Please Print Legibly)

Applicant Mike Ali Phone 714-7122797
 Address 8181 Deauville Dr City H Beach State CA Zip 92646
 E-mail Address _____ Fax 714 536 8188
 Project Name (if any): _____

Contact Person/Representative _____ Phone _____
 Address _____ City _____ State _____ Zip _____
 E-mail Address _____ Fax _____

Property Owner Mike Ali Phone _____
 Address 405 P.O.H City H Beach State CA Zip 92648
 E-Mail Address _____ Fax 714 536 8188

Assessor Parcel Number(s) APN 060141103 Existing Land Use _____
 Property Dimensions _____ General Plan Designation _____
 Structure Square Footage _____ Existing Zoning _____
 Location: (Example: Address & Street or SW corner of Elk & Onaga or 300 ft N of Paxton on W side of Airway)

Proposed Project Description: Precisely describe the proposed project for which approval is being sought and the application is being submitted. Use additional sheets and attach to application if necessary

Owner's Signature [Signature] Date 12 16 07

NOTE: THE INFORMATION I HAVE PROVIDED IS TRUE AND OPEN AS PUBLIC INFORMATION. THE PLANNING APPLICATION DOES NOT GUARANTEE APPROVAL OR CONSTITUTE A BUILDING PERMIT APPLICATION. ADDITIONAL FEES MAY BE REQUIRED DEPENDING ON ANY ADDITIONAL ADMINISTRATIVE COSTS.

Applicant's Signature [Signature] Date 12 16 07

**Town of Yucca Valley
 Community Development/Public Works Department
 58928 Business Center Dr
 Yucca Valley, CA 92284
 760 369-6575 Fax 760 228-0084**

ENVIRONMENTAL SETTING

1. Property boundaries, dimensions and area (also attach an 8 1/2" x 11" site plan):
320' x 255' , SEE ATTACHED
2. Existing site zoning: C-2
3. Existing General Plan designation: COMMERCIAL
4. Precisely describe the existing use and condition of the site:
VACANT
5. Zoning of adjacent parcel:
North RS South C-2 East C-2 West C-2
6. Existing General Plan designation of adjacent parcels:
North RESIDENTIAL South COMMERCIAL East COMMERCIAL West COMMERCIAL
7. Precisely describe existing uses adjacent to the site:
N - SFR , S , W & E - VACANT
8. Describe the plant cover found on the site, including the number and type of all protected plants:
12 JOSHUA TREES , DESER BUSHES

Note: Explain any "yes" or "maybe" responses to questions below. If the information and responses are insufficient or not complete, the application may be determined incomplete and returned to the applicant.

Yes Maybe No

- | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is the Site on filled or slopes of 10% or more or in a canyon? (A geological and/or soils Investigation report is required with this application.) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 10. Has the site been surveyed for historical, paleontological or archaeological resources? (If yes, a copy of the survey report is to accompany this application.) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 11. Is the site within a resource area as identified on the archaeological and historical resource General Plan map? |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 12. Does the site contain any unique natural, ecological, or scenic resources? |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 13. Do any drainage swales or channels border or cross the site? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 14. Has a traffic study been prepared? (If yes, a copy of the study is to accompany this application.) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Is the site in a flood plain? (See appropriate Federal Insurance Rate Map) |

PROJECT DESCRIPTION

Complete the items below as they pertain to your project. Attach a copy of any plans submitted as part of the project application and any other supplemental information that will assist in the review of the proposed project pursuant to CEQA.

1. Commercial, Industrial, or Institutional Projects:

- A. Specific type of use proposed: GENERAL RETAIL
- B. Gross square footage by each type of use: 20,707 SF
- C. Gross square footage and number of floors of each building: ONE STORY BUILDING
- D. Estimate of employment by shift: + 30
- E. Planned outdoor activities: NONE

2. Percentage of project site covered by:

43.22% Paving, 26.04% Building, 19.61% Landscaping, _____ % Parking AS IN PAVING

- 3. Maximum height of structures 17 ft. 11 in.
- 4. Amount and type of off street parking proposed: 95 and 4 DISABLED PARKING
- 5. How will drainage be accommodated? ONSITE RETENTION
- 6. Off-site construction (public or private) required to support this project: PAVEMENT, CURB, GUTTER AND SIDEWALKS
- 7. Preliminary grading plans estimate 1200 cubic yards of cut and 1600 cubic yards of fill
- 8. Description of project phasing if applicable: N/A
- 9. Permits or public agency approvals required for this project: NO
- 10. Is this project part of a larger project previously reviewed by the Town? If yes, identify the review process and associated project title(s) NO

11. During construction, will the project: (Explain any "yes" or "maybe" responses to questions below – attach extra pages if necessary.)

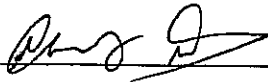
Yes Maybe No

- A. Emit dust, ash, smoke, fumes or odors?
- B. Alter existing drainage patterns?
- C. Create a substantial demand for energy or water?
- D. Discharge water of poor quality?
- E. Increase noise levels on site or for adjoining areas?
- F. Generate abnormally large amounts of solid waste or litter?
- G. Use, produce, store, or dispose of potentially hazardous materials such as toxic or radioactive substances, flammable or explosives?
- H. Require unusually high demands for such services as police, fire, sewer, schools, water, public recreation, etc.
- I. Displace any residential occupants?

Certification

I hereby certify that the information furnished above, and in the attached exhibits, is true and correct to the best of my knowledge and belief.

Signature: _____



Date: _____

01/13/08

LEGAL DESCRIPTION

Real property in the City of Town of Yucca Valley, County of San Bernardino, State of California, described as follows:

THAT PORTION OF LOTS 3 AND 4, TRACT NO. 6572, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 82 OF MAPS, PAGES 62 AND 63, RECORDS OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE SOUTH 55 DEG. 31' 24" WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 3, A DISTANCE OF 165.00 FEET; THENCE NORTH 34 DEG. 28' 36" WEST A DISTANCE OF 370.00 FEET TO A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 3; THENCE NORTH 55 DEG. 31' 24" EAST ALONG THE NORTHWESTERLY LINE OF SAID LOT 3, A DISTANCE OF 165.00 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 3; THENCE CONTINUING NORTH 55 DEG. 31' 24" EAST ALONG THE NORTHWESTERLY LINE OF SAID LOT 4, A DISTANCE OF 70.00 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90 DEG. 00' 00", A DISTANCE OF 31.42 FEET; THENCE SOUTH 34 DEG. 28' 36" EAST, A DISTANCE OF 330.00 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE WEST AND HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90 DEG. 00' 00", A DISTANCE OF 31.42 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT 4; THENCE SOUTH 55 DEG. 31' 24" WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 4, A DISTANCE OF 70.00 FEET TO THE POINT OF BEGINNING.

APN: 0601-411-03

2340.

Town of Yucca Valley
Community Development Dept.
58928 Business Center Dr
Yucca Valley, CA 92284

SARAMA, LLC
405 PACIFIC COAST HWY
HUNTINGTON BEACH, CA 92648

No.: 009285
Customer No.: N/A
Salesperson: Diane
Date: 23-Jan-08
Time: 04:13 PM

Product Code	Description	Qty	Unit	Price	Extended
SITE PLAN REVIEW	SPR 02-08 YUCCA PLAZA 200	1.00		4485.00	4485.00
ENV ASSESSMENT	EA 02-08 FOR SPR 02-08 200	1.00		925.00	925.00
				TOTAL	5410.00
				#1011 CHECK	4485.00
				#1009 USER DEFINED	925.00
				TOTAL TENDERED	5410.00
				CHANGE	0.00

Town of Yucca Valley
Community Development Dept.
58928 Business Center Dr
Yucca Valley, CA 92284

PETRA GROUP
12790 PALO ALTO DR
VICTORVILLE, CA 92392

No.: 009286
Customer No.: N/A
Salesperson: Diane
Date: 23-Jan-08
Time: 04:19 PM

Product Code	Description	Qty	Unit	Price	Extended
HYDROLOGY STUDY	HS 01-08 FOR SPR 02-08 200	1.00		805.00	805.00
TRAFFIC STUDY	TS 01-08 FOR SPR 02-08 200	1.00		805.00	805.00
GEOTECHNICAL REPGR	01-08 FOR SPR 02-08 200	1.00		730.00	730.00
				TOTAL	2340.00
	#1909			CHECK	2340.00
				CHANGE	0.00

SARAMA, LLC
405 PACIFIC COAST HIGHWAY
HUNTINGTON BEACH, CA 92648
714-536-0215

90-4298/1222

1011

DATE 12 16 07

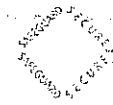
PAY TO THE ORDER OF Town of Yucca Valley \$ 4485.00
Four thousand Four hundred eighty Five DOLLARS



SURF CITY BANK
7755 CENTER DRIVE, SUITE 100
HUNTINGTON BEACH, CA 92647

[Signature]
AUTHORIZED SIGNATURE

Security Features Included. Details on back.



OR Site Plan Review

⑈001011⑈ ⑆122242982⑆ ⑆46000873⑈

SARAMA, LLC
405 PACIFIC COAST HIGHWAY
HUNTINGTON BEACH, CA 92648
714-536-0215

90-4298/1222

1009

DATE 12 16 07

PAY TO THE ORDER OF Town of Yucca Valley \$ 928.00
Nine hundred Twenty Eight DOLLARS



SURF CITY BANK
7755 CENTER DRIVE, SUITE 100
HUNTINGTON BEACH, CA 92647

[Signature]
AUTHORIZED SIGNATURE

Security Features Included. Details on back.



OR Permit

⑈001009⑈ ⑆122242982⑆ ⑆46000873⑈

PETRA GROUP, INC.
12790 PALO ALTO DR.
VICTORVILLE, CA 92392

90-7162/3222
EZShield™ Check
Fraud Protection

1909

Date 01 23 08

Pay to the Order of Town of Yucca Valley \$ 2340
Two thousand Three hundred forty Dollars

WASHINGTON MUTUAL BANK, FA
VICTORVILLE FINANCIAL CENTER
12690 HESPERIA RD.
VICTORVILLE, CA 92392

For Reports - Mike Ali *[Signature]*

⑆322271627⑆ 0973567989⑆ 1909