TOWN OF YUCCA VALLEY

GILLIS + PANICHAPAN ARCHITECTS, INC.

Jack Panichapan, AIA
PRINCIPAL-IN-CHARGE

CONSTRUCTION SET - 02/02/2022

SENIOR CENTER -
KITCHEN EQUIPMENT UPGRADES

PROJECT NO. 4107

57088 TWENTYNINE PALMS HIGHWAY
YUCCA VALLEY, CA 92284

SHEET INDEX

LICENSED ARCHITECT JACK PANICHAPAN LOS ANGELES STATE OF CALIFORNIA NO. C-28744 EXP. 11-30-23

architecture planning interior

Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

CONSTRUCTION SET

BLDG. DEPT. CORRECT.

DATE: 01/13/2022

DATE: 12/08/21

JOB NO.: 4107
DRAWN BY: STAFF
CHECKED BY: LP
SCALE:

COVER SHEET

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

CV-1

GENERAL NOTES

1. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE TOWN OF YUCCA VALLEY AND ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE PERMISSION OF THE ARCHITECT.

2. THESE NOTES APPLY TO ALL DRAWINGS, UNLESS NOTED OTHERWISE. ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

3. ALL DRAWINGS AND SPECIFICATIONS ARE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR IS TO SUPERVISE AND DIRECT THE WORK UNDER HIS CONTRACT AND IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE OWNER AND / OR HIS CONSULTANTS ARE NOT TO INCLUDE INSPECTIONS OF REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE OWNER AND / OR HIS CONSULTANTS DURING CONSTRUCTION ARE TO BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE OWNER AND / OR HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH DESIGN CONCEPT AND CONTRACT DRAWINGS AND SPECIFICATIONS AND THEREFORE, THEY DO NOT GUARANTEE CONTRACTORS PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

4. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING FACILITIES TO BE DEMOLISHED/ REMOVED, TEMPORARILY REMOVED AND RE-INSTALLED, RELOCATED OR REMAIN INTACT AND HOW THE NEW CONSTRUCTION RELATES TO THE EXISTING SITE CONDITIONS.

5. THE CONTRACTOR SHALL EXAMINE THE JOB SITE. CONFIRM ALL UTILITY LOCATIONS, SIZES, PRESSURES, ETC.. AND PROTECT, RELOCATE, CONNECT OR REMOVE ALL NECESSARY FOR TOTAL PROJECT COMPLETION. VERIFY ALL DIMENSIONS AND SATISFY HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE. NOTIFY THE OWNER OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING WORK.

6. ALL CONTRACTORS AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE CONTENTS OF ALL THE DRAWING AND ALL SPECIFICATION SECTIONS, REGARDLESS OF THEIR LICENSE CLASSIFICATION. NO REQUEST FOR CHANGE ORDER WILL BE CONSIDERED BASED UPON INFORMATION FOUND IN ONE AREA OF THE PLANS OR SPECIFICATIONS, AND NOT THE OTHER. INFORMATION FOUND IN ONE PART OF THE PLANS SHALL BE DEEMED TO BE IN ALL SECTIONS.

7. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF CLARIFICATION IS REQUIRED THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE BID WORK.

8. DO NOT SCALE DRAWINGS. PRINTED DIMENSIONS HAVE PRECEDENCE OVER SCALED DRAWINGS AND LARGE SCALE OVER SMALL. DIMENSIONS SHOWN ARE TO THE FACE OF WALL FRAMING (CMU, STUD) UNLESS OTHERWISE NOTED.

9. ALL DIMENSIONS AND THE SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE PRIOR TO BID SUBMITTAL, START OF SHOP DRAWINGS, START OF CONSTRUCTION, AND/OR FABRICATION OF MATERIALS. IF DISCREPANCIES ARE ENCOUNTERED, OR CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS, THE OWNER SHALL BE NOTIFIED FOR CLARIFICATION.

10. ANYONE SUPPLYING LABOR AND MATERIALS TO THE PROJECT IS TO CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK TO BE REPORTED IN WRITING TO OWNER & PROJECT ARCHITECT PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF SUBSURFACES.

11. PROVIDE OPENINGS AND SUPPORTS FOR MECHANICAL EQUIPMENT, DUCTS, PIPING, VENTS, ETC, AS REQUIRED. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL OPENINGS AND EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS. ALL SUSPENDED EQUIPMENT AND MATERIALS TO BE INSTALLED WITH APPROVED LATERAL BRACING. VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT BEFORE CONSTRUCTION OF ANY BASES OR PADS TO SUPPORT SUCH EQUIPMENT. VERIFY ALL PLUMBING AND EQUIPMENT SIZES BEFORE BEGINNING CONSTRUCTION.

12. NOTIFY THE OWNER IF ANY CONDITIONS EXIST WHICH WILL PREVENT THE COMPLETION OF WORK IN A PROFESSIONAL AND SATISFACTORY MANNER AS WELL AS ANY AND ALL ADDITIONAL WORK TO BE PERFORMED BEFORE STARTING WORK ALL NOTIFICATIONS SHALL BE IN WRITING.

13. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL OBTAIN A CITY BUSINESS LICENSE.

14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS, WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE. ANY IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE EXPEDITIOUSLY REPAIRED OR RECONSTRUCTED TO THE ENGINEERS SATISFACTION AT THE CONTRACTOR'S EXPENSE WITHOUT ADDITIONAL COMPENSATION.

15. LOCATION OF EXISTING PIPING AND EQUIPMENT IS BASED ON RECORD DRAWINGS AND FIELD INFORMATION. CONTRACTOR SHALL FIELD LOCATE ALL EXISTING PIPING AND EQUIPMENT THAT CONFLICTS WITH CONSTRUCTION AND REMOVE AND REPLACE AS REQUIRED. AFTER CONSTRUCTION IS COMPLETE, EXISTING PIPING SYSTEMS SHALL BE RETURNED TO THE SAME OR BETTER CONDITION THAN AS RECORDED BEFORE. ALL FIELD RELOCATION OF EXISTING PIPING SHALL BE RECORDED ON RECORD DRAWINGS. IN AREAS WHERE GAS PIPING IS LOCATED, CONTRACTOR SHALL POTHOLE AND LOCATE GAS PIPING BEFORE EXCAVATION OF THE AREA.

16. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THE EXISTING STRUCTURES OR OTHER EXISTING IMPROVEMENTS TO REMAIN. CONTRACTOR SHALL ALSO PROVIDE ALL NECESSARY BRACING, SCAFFOLDING OR OTHER MEASURES NECESSARY FOR CONSTRUCTION.

17. REMOVAL, ABANDONMENT OR TEMPORARY RELOCATION OF EXISTING PIPES OR UTILITIES SHALL BE SCHEDULED WITH THE ENGINEER TO AVOID UNNECESSARY DISRUPTION OF PLANT OPERATIONS.

18. ELEVATIONS SHOWN ARE BASED UPON THE AS-BUILT DRAWINGS. CONTRACTOR SHALL FIELD VERIFY AND ADJUST ELEVATIONS AS REQUIRED TO MAINTAIN DIMENSIONAL RELATIONSHIPS DEPICTED IN THE DRAWINGS.

19. THE CONTRACTOR SHALL COMPLY WITH CAL-OSHA AND ALL OTHER LOCAL AGENCY REQUIREMENTS.

20. CONTRACTOR SHALL RESTORE ALL EXISTING PAVED AREAS, GUARDRAILS AND HANDRAILS DISTURBED DURING CONSTRUCTION INCLUDING INSTALLATION OF PIPELINES, DRAINS AND ELECTRICAL DUCTS TO ORIGINAL CONDITION. CURB AND GUTTER, AREA DRAINS, AND ALL SITE DRAINAGE AFFECTED BY THE WORK SHALL BE RETURNED TO THE SAME OR BETTER CONDITION AFTER WORK IS COMPLETED.

22. THE CONTRACTOR SHALL COMPLY WITH STATE DEPARTMENT OF HEALTH SERVICE CRITERIA FOR THE SEPARATION OF POTABLE WATER WATER MAINS AND SANITARY SEWERS, ASSET FORTH IN SECTION 64630, TITLE 22 OF THE CALIFORNIA ADMINISTRATIVE CODE.

23. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, AS SPECIFIED, 72 HOURS IN ADVANCE OF MAKING ANY CONNECTION TO AN ACTIVE PIPELINE OR UTILITY SYSTEM, AND SHALL RECEIVE THE ENGINEERS CONSENT BEFORE PROCEEDING.

GENERAL NOTES (CON'T)

24. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO CONTINUOUSLY MAINTAIN SENIOR CENTER OPERATIONS AND SHALL NOT UNDULY RESTRICT ACCESS OR CIRCULATION.

25. THE CONTRACTOR SHALL PROVIDE ADEQUATE SANITARY CONVENIENCES, WATER AND SHADE FOR THE USE OF ALL PERSONS AT THE CONSTRUCTION SITE OF THE WORK. SUCH CONVENIENCES SHALL INCLUDE CHEMICAL TOILETS OR WATER CLOSETS LOCATED AT APPROPRIATE LOCATIONS. POTABLE WATER AND SHADE SHALL ALSO BE PROVIDED. AT COMPLETION OF THE WORK ALL SUCH CONVENIENCES SHALL BE REMOVED AND THE SITE LEFT IN SANITARY CONDITION.

26. THE CONTRACTOR SHALL FURNISH POTABLE WATER FOR A DRINKING SOURCE OTHER THAN THE EXISTING PLANT UTILITY WATER SUPPLY, WHICH SHALL MEET ALL THE REQUIREMENTS OF THE TOWN AND STATE HEALTH DEPARTMENTS. CONTRACTOR SHALL ALSO SUPPLY AMPLE SIGNS THROUGHOUT THE WORK SITE AREA ADVISING HIS EMPLOYEES THAT THE PLANT WATER IS NOT POTABLE.

27. THE CONTRACTOR SHALL PROVIDE AT HIS OWN COST ALL ELECTRICAL POWER NECESSARY FOR CONSTRUCTION, TESTING, GENERAL AND SECURITY LIGHTING AND ALL OTHER PURPOSES, WHETHER SUPPLIED THROUGH TEMPORARY OR PERMANENT FACILITIES.

28. THE CONTRACTOR SHALL NOTE THAT THERE MAY BE OTHER PROJECTS UNDER CONSTRUCTION AT THIS SITE AND/OR NEARBY SITE. CONTRACTOR SHALL COORDINATE WITH THE OTHER CONTRACTORS PRESENT ON THE SITE DURING THE COURSE OF CONSTRUCTION.

29. AREAS WHERE MECHANICAL COMPACTION OF BACKFILL CANNOT BE ACCOMPLISHED, CONTRACTOR SHALL USE A 2-SACK CEMENT/SAND SLURRY FOR BACKFILL.

30. IRRIGATION LINES ARE NOT MARKED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT NO COST TO THE TOWN.

31. ELECTRICAL CONDUIT RUNS PARALLEL TO PROJECT AND CROSSES VICINITY. CONTRACTOR SHALL IDENTIFY LATERALS IN PLACE AND PROVIDE THE INFORMATION TO THE ENGINEER LOCATING PRIOR TO STARTING WORK.

CODE (GENERAL)

1. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE OWNER AND PROJECT ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE CODE REQUIREMENTS AND THE DRAWINGS BEFORE PROCEEDING WITH WORK.

2. CONTRACTOR SHALL COMPLY FULLY WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE, ALL LAWS AND ORDINANCES PERTINENT TO ALL WORK OF THIS PROJECT. IN CASE OF ANY CONFLICT WHEREIN THE METHOD OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES. THE LAWS OR ORDINANCES SHALL GOVERN.

3. ALL WORK SHALL COMPLY WITH TITLE 24 OF THE CODE OF REGULATIONS AND THE UNIFORM BUILDING CODE LATEST EDITION (INDICATED ON THESE SHEETS WITH CBC AMENDMENTS, AND ALL OTHER LOCAL OR STATE AGENCIES HAVING JURISDICTION OVER THIS PROJECT) AND ICBO REGULATIONS.

WATERPROOFING COMMENTS

1. THERE IS A HEIGHTENED CONCERN IN THE CONSTRUCTION INDUSTRY ABOUT THE INTRUSION OF WATER INTO BUILDINGS AND THE RESULTING MOLD THAT DEVELOPS SUBSEQUENTLY. THE OWNER HAS MADE A DILIGENT ATTEMPT TO SPECIFICALLY DETAIL THE PROJECT TO STOP THIS WATER FROM ENTERING THROUGH PENETRATIONS INTO THE BUILDNG. HOWEVER, ALL OF THESE AVENUES WHICH ALLOW THE INTRUSION OF WATER INTO THE BUILDING MAY NOT HAVE BEEN OBSERVED DURING DESIGN. DURING THE COURSE OF YOUR CONSTRUCTION OF THE BUILDNG, THE OWNER ASKS TO BE ADVISED IMMEDIATELY OF ANY QUESTIONABLE CONDITIONS THAT MAY OCCUR WITH RESPECT TO THE PERCEIVED WATER-TIGHTNESS OF THE STRUCTURE. ONCE A BUILDING SUFFERS A BREACH, AND MOLD DEVELOPS, A BUILDING CAN BECOME UNTENABLE, AND CORRECTIONS COSTLY. WE ASK THAT THE CONSTRUCTION TEAM BE DILIGENT IN THEIR CONSTRUCTION EFFORTS TO HELP INSURE THAT, THE BUILDING THAT WE TURN OVER AS A TEAM, WILL BE AS WATERTIGHT AS WE CAN MAKE IT. YOU, THE CONTRACTOR, WILL BE THE LAST HANDS ON THE PROJECT, AND WE ARE CERTAINLY AVAILABLE TO DISCUSS WITH YOU, YOUR CONSTRUCTABILITY IDEAS TO KEEP THIS PROJECT WATERTIGHT.

CLEAN UP

1. RUBBISH CONTAINERS:
   - A. THE CONTRACTOR SHALL PROVIDE DUMPSTERS THAT ARE ADEQUATE SIZED FOR THE WASTER, DEBRIS AND RUBBISH FOR THE LIFE OF THE PROJECT.
   - B. THE CONTRACTOR SHALL DISPOSE OF CONTAINER(S) CONTENTS WEEKLY OR AT MORE FREQUENT INTERVALS IF REQUIEM BY INADEQUATE CONTAINER CAPACITY.
   - C. VOLATILE WASTE AND RUBBISH SHALL NOT BE PLACED IN THE STANDARD RUBBISH CONTAINERS, BUT SHALL BE STORED IN SEPARATE CONTAINERS UNTIL LEGALLY EXPOSED OUTSIDE.
2. CONTRACTOR SHALL SWEEP SITE(S) EACH DAY, CONTRACTOR PROPER RUMBLE PLATE STATION INDICATED BY BMP'S (IF REQUIRED).
3. CONTRACTOR SHALL PROVIDE TEMPORARY DIVIDERS TO CONTAIN CONSTRUCTION DUST FROM ENTERING AREAS ADJACENT TO KITCHEN/PROJECT AREA.
3. FINAL CLEANING:
   - A. THE CONTRACTOR SHALL PERFORM AN OVERALL CLEANUP OF THE AREA. ALL TRADES SHALL REMOVE THEIR RUBBISH AND DEBRIS FROM THE SITE TO THE RUBBISH COLLECTION CENTER.
   - B. IF THIS CLEANING IS NOT PERFORMED TO THE SATISFACTION OF THE TOWN, IT WILL BE PERFORMED FOR THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

ABBREVIATIONS

@	AT	HT	HEIGHT
AB	ANCHOR BOLT	HVAC	HEATING VENTILATION AIR CONDITION
AC	ASPHALTIC CONCRETE	HP	HIGH POINT
ACOUST	ACOUSTICAL	ID	INSIDE DIAMETER
ADJ	ADJUSTABLE	INCL	INCLUDING
AFF	ABOVE FINISH FLOOR	INT	INTERIOR
AL	ALUMINUM	LP	LOW POINT
ANOD	ANODIZED	L	LONG (LENGTH)
AP	ACCESS PANEL	LAM	LAMINATED
ARCH	ARCHITECT (URAL)	LAV	LAVATORY
BD	BOARD	LBL	LABEL
BEL	BELOW	LH	LEFT HAND
BET	BETWEEN	LW	LIGHTWEIGHT
BLDG	BUILDING	MAS	MASONRY
BLK(G)	BLOCKING	MAX	MAXIMUM
B	BOTTOM	MB	MACHINE BOLT
BRG	BEARING	MECH	MECHANICAL
BS	BOTH SIDES	MED	MEDIUM
BUL	BULLETIN	MET	METAL
BUR	BUILT UP ROOFING	MFR	MANUFACTURER
CB	CATCH BASIN	MISC	MISCELLANEOUS
CEM	CEMENT	MO	MASONRY OPENING
CFCI	CONTRACTOR FURBISHED CONTRACTOR INSTALLED	MTL	MATERALS
		NAT	NATURAL
CI	CAST IRON	(N)	NEW
CJ	CEILING JOIST	NIC	NOT IN CONTRACT
CL	CENTERLINE	N	NORTH
CLG	CEILING	O.C.	ON CENTER(S)
CLR	CLEARANCE	OD	OUTSIDE DIAMETER
COL	COLUMN	OFCI	OWNER FURBISHED CONTRACTOR INSTALLED
CONC	CONCRETE		
CONST	CONSTRUCTION	OFOI	OWNER FURBISHED OWNER INSTALLED
CONT	CONTINOUS OR CONTINUE		
CONTR	CONTRACTOR	OPNG	OPENING
D	DEEP (DEPTH)	OPP	OPPOSITE
DF	DRINKING FOUNTAIN	OH	OVERHANG
DIAG	DIAGONAL	PLAS	PLASTER, PLASTIC
DIAM	DIAMETER	PSF	POUNDS PER SQUARE FOOT
DIM	DIMENSION	PSI	POUNDS PER SQUARE INCH
DN	DOWN	PVC	POLYVINYL
DR	DOOR	R	RISER
DS	DOWNSPOUT	RAD	RADIUS
DTL	DETAIL	RD	ROOF DRAIN
DWG	DRAWING	REF	REFERENCE
E	EAST	REFL	REFLECTED
EA	EACH	REINF	REINFORCED
EL	ELEVATION	REQD	REQUIRED
ELECT	ELECTRIC(AL)	REV	REVISION
EMER	EMERGENCY	RH	RIGHT HAND
EQ	EQUAL	RM	ROOM
WEX	ELECTRICAL WATER COOLER	RO	ROUGH OPENING
EX	EXHAUST	S	SOUTH
(E)	EXISTING	SC	SOLID CORE
EXP	EXPOSED	SEC	SECTION
EXT	EXTERIOR	SF	SQUARE FOOT (FEET)
FD	FLOOR DRAWN	SL	SKY LIGHT
FE(C)	FIRE EXTINGUISHER CABINET	SIM	SIMILAR
FFE	FINISH FLOOR ELEVATION	SPEC	SPECIFICATIONS
FHC	FIRE HOSE CABINET	SQ	SQUARE
FIN	FINISH(ED)	SYM	SYMMETRICAL
FJ	FLOOR JOIST	T	TREAD, TOP
FLR	FLORRINGS	TE	TELEPHONE
FOC	FACE OF CONCRETE	(T)	TEMPERED
FOF	FACE OF FINISH	T&G	TONGUE & GROOVE
FOM	FACE OF MASONRY	TOP	TOP OF PARAPET
FOS	FACE OF STUDS	TOS	TOP OF SLAB
FTG	FOOTING	TS	TOP OF STEEL
GA	GAUGE	TW	TOP OF WALL
GI	GALVANIZED IRON	TYP	TYPICAL
GL	GLASS, GLAZING	U.N.O	UNLESS NOTED OTHERWISE
GLB	GLUE LAMINATED BEAM	UR	URINAL
GYP	GYPSUM	VERT	VERTICAL
H	HIGH (HEIGHT)	VG	VERTICAL GRAIN
HB	HOSE BIBB	VIN	VINYL
HC	HOLLOW CORE	W	WEST, WIDTH, WIDE
HDR	HEADER	WC	WATER CLOSET
HDW	HARDWARE	WP	WATER PROOFING
HM	HOLLOW METAL	WR	WATER REPELLENT
HOR	HORIZONTAL		

SYMBOLS LEGEND

INTERIOR ELEVATION BUBBLE

01, 02, 03, 04 — XX / X-X.X — DRAWING NUMBER. — ELEVATION NUMBER — SHEET NUMBER

BUILDING SECTION BUBBLE

XX / X-X.X — DRAWING NUMBER. — SHEET NUMBER

DETAIL REFERENCE BUBBLE

XX / X-X.X — DRAWING NUMBER. — SHEET NUMBER

WALL TYPE MARK

XX — WALL TYPE NUMBER.

DOOR TYPE MARK

XX — DOOR NUMBER.

WINDOW TYPE MARK

XX — WINDOW NUMBER.

KEYNOTE/GRIDLINE MARK

XX

WORKING POINT

LIFE SAFETY

1. PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED IN CABINETS LOCATED WITHIN SEVENTY-FIVE (75) FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR AND AS SHOWN ON PLANS.

2. CONTRACTOR SHALL MAINTAIN THE RATING OF ALL PENETRATING WALLS AND SHALL APPLY FIRESTOP AND FIREPROOFING, AT HIS EXPENSE, WHENEVER ANY PENETRATION ARE MADE...ETC. FIRESTOP AND FIREPROOFING MATERIAL SHALL BEAR U.L. LISTING NUMBER DEPICTING WALL TYPE COMPOSITION AND FIRE RATED MATERIAL LIMITATIONS. SUBMIT PROPOSED FIRESTOP FIREPROOFING METHOD FOR APPROVAL PRIOR TO APPLICATION IN THE FIELD.

PROJECT DIRECTORY

CLIENT/OWNER:

TOWN OF YUCCA VALLEY
58928 BUSINESS CENTER DRIVE
YUCCA VALLEY, CA 92284
P: 760-369-6579

CONTACT: ARMANDO BALDIZZONE, P.E.
E: abaldizzone@yucca-valley.org

STRUCTURAL ENGINEER:

DALE CHRISTIAN STRUCTURAL ENGINEER INC.
1744 WEST KATELLA AVE., SUITE 107
ORANGE, CA 92867
P: 714-290-0718
F: 714-276-0658

RICHARD SUZUKI
E: rsuzuki@dalechristian.com

ARCHITECT

GILLIS + PANICHAPAN ARCHITECT, INC.
2900 BRISTOL ST., STE G-205
COSTA MESA, CA 92626
P: 714-668-4260
F: 714-668-4265

JACK PANICHAPAN, AIA, LEED AP
E: jack@gparchitects.org

MEP ENGINEER:

H2S ENGINEERS
675 N. EUCLID STREET, SUITE 518
ANAHEIM, CA 92801
P: 714-290-0718

HITEN SHETH
E: hsheth@h2sengineers.com

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND IMPROVEMENTS PRIOR TO DEMOLITION.
2. ALL DEMOLITION SHALL BE CARRIED ON IN SUCH A WAY AS NOT TO DAMAGE EXISTING ELEMENTS THAT ARE TO REMAIN IN PLACE.
3. ALL CONSTRUCTION DEBRIS SHALL BE HAULED OFF SITE FOR LEGAL DUMPING BY THE CONTRACTOR. DISPOSAL OF WASTE MATERIALS AND DEBRIS OFF-SITE SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS,
4. ALL DEBRIS SHALL BE REMOVED FROM CONSTRUCTION AREA ON A DAILY BASIS, UNLESS APPROVED BE THE ENGINEER.
5. HOURS OF CONSTRUCTION SHALL BE PREDETERMINED BETWEEN THE TOWN AND THE CONTRACTOR.
6. THE TOWN AND THE CONTRACTOR SHALL HAVE A WALK-THROUGH INSPECTION TO ASSESSES THE CONDITION OF ALL NEARBY EQUIPMENT AND STRUCTURES PRIOR TO START OF DEMOLITION. THE CONTRACTOR SHALL PROVIDE A PRE-CONSTRUCTION, HIGH RESOLUTION VIDEO TO DOCUMENT PRESENT CONDITIONS PRIOR TO THE START OF CONSTRUCTION BEGINNING.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. DAMAGED EQUIPMENT, UTILITIES, PIPING, AND STRUCTURES SHALL BE REPAIRED AND RESTORED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE, IN A MANNER APPROVED BY THE TOWN, AND AS STATED IN THE SPECIFICATIONS.
8. DO NOT USE EXPLOSIVES AND/OR REMOVAL OR DEMOLITION METHODS WHICH MAY CONSTITUTE A FIRE OR SAFETY HAZARD.
9. PROVIDE FOR SAFE PASSAGE OF PERSONS AROUND THE DEMOLITION WORK. PROVIDE SAFE TEMPORARY ACCESS FOR OCCUPANTS. ERECT TEMPORARY COVERED SAFETY FACILITIES AS REQUIRED BY OSHA AND REGULATIONS OF THE JURISDICTIONAL AUTHORITIES.
10. CONTRACTOR SHALL PROVIDE FALLING DEBRIS PROTECTION AROUND WORK. (INTERIOR/EXTERIOR AS NEEDED)

ACCESSIBILITY

AS REQUESTED BY YUCCA VALLEY, THE SITE AND BUILDING ACCESSIBILITY (PATH OF TRAVEL, ETC.) HAS NOT BEEN INCLUDED OR ASSESSED IN THE SCOPE OF WORK (KITCHEN EQUIPMENT REPLACEMENT). ALL EXISTING ACCESSIBILITY CONDITIONS OUTSIDE OF THE SPECIFIC SCOPE OF WORK IS TO REMAIN AS-IS.

GENERAL DEMOLITION NOTES

1. KEYNOTES AND ITEMS NOTED AS "DEMO" AND/OR "DEMOLISH" AND/OR "REMOVE" INDICATES DIRECTION FOR THE CONTRACTOR TO CAREFULLY REMOVE THE ITEM AND/OR SYSTEM FROM THE BUILDING AND DISPOSE OF OFF-SITE IN A WAY PERMITTED BY LOCAL AND STATE REGULATIONS.
2. SELECTIVE DEMOLITION TO SPECIFIC ITEMS AROUND MATERIALS TO REMAIN SHOULD BE REMOVED WITH CARE AS TO NOT DAMAGE THE ADJACENT MATERIAL/ITEM THAT IS TO REMAIN.
3. DEMOLITION WORK NEAR ITEMS IDENTIFIED AS HAVING ASBESTOS CONTAINING MATERIALS AND/OR LEAD BASED MATERIALS SHALL COMPLY WITH RECOMMENDATIONS NOTED IN REPORT AND PER RULES AND REGULATIONS PERTAINING TO HAZARDOUS MATERIALS ABATEMENT AND/OR ENCAPSULATION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STORE AND PROTECT ITEMS NOTED FOR TEMPORARY REMOVAL AND RE-INSTALLATION. COORDINATE WITH OWNER FOR POTENTIAL LOCATIONS ON-SITE FOR TEMPORARY STORAGE.
5. WORKING AND/OR FUNCTIONING EQUIPMENT THAT WILL BE TEMPORARILY REMOVED AND RE-INSTALLED MAY REQUIRE VERIFICATION OF CONDITION PRIOR TO REMOVAL. EQUIPMENT DEMONSTRATION AFTER RE-INSTALLATION MAY BE REQUESTED BY THE OWNER. CONTRACTOR TO BE RESPONSIBLE FOR SAFELY DISCONNECTING POWER TO EQUIPMENT AND/OR PROVIDING TEMPORARY EQUIPMENT SUPPORT DURING INTERIM STORAGE.

CONSTRUCTION COORDINATION

1. THE GENERAL CONTRACTOR WILL COORDINATE ACCESS TO AND FROM THE SITE WITH THE TOWN.
2. BUILDING SECURITY DURING CONSTRUCTION AND OFF-HOURS SHALL BE COORDINATED WITH THE TOWN. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE THE SITE AND BUILDING DURING CONSTRUCTION AND REMODEL.

PROJECT DESCRIPTION

GENERAL DESCRIPTION OF SCOPE OF WORK:

1. PROVIDE AND COORDINATE THE FOLLOWING, BUT NOT LIMITED TO, SCOPE OF WORK:
2. INTERIOR IMPROVEMENTS AND MINOR EXTERIOR IMPROVEMENTS.
3. SELECTIVE DEMOLITION OF FINISHES, NON-BEARING WALLS, CONCRETE TOPPING SLAB, AND CONCRETE TRENCHING.
4. STRUCTURAL WORK INCLUDING NEW REINFORCED CONCRETE SLAB AT NEW WASTE LINE TRENCHING.
5. ARCHITECTURAL WORK INCLUDING, NEW FINISHES, ROOF MODIFICATIONS AND NEW FIRE RATED OVERHEAD COILING DOOR.
6. TEMPORARY REMOVAL AND RE-INSTALLATION OF KITCHEN EQUIPMENT.
7. INSTALLATION OF OWNER PROVIDED NEW EQUIPMENT: WALK-IN FREEZER AND WALK-IN REFRIGERATOR
8. NEW/MODIFIED MECHANICAL EQUIPMENT, INCLUDING NEW EXHAUST FAN.
9. NEW/MODIFIED ELECTRICAL SYSTEMS
10. NEW PLUMBING FLOOR SINKS, NEW HOT WATER HEATER, NEW UNDER SLAB WASTE SYSTEM, AND NEW WASTE LINE CONNECTIONS AT EXISTING KITCHEN EQUIPMENT.
11. ADDITIONAL WORK AS IDENTIFIES IN THE CONSTRUCTION DOCUMENTS AND AS REQUIRED FOR A COMPLETE PROJECT.

APPLICABLE CODES

1.	CALIFORNIA BUILDING CODE	2019
2.	CALIFORNIA ELECTRICAL CODE	2019
3.	CALIFORNIA MECHANICAL CODE	2019
4.	CALIFORNIA PLUMBING CODE	2019

PROJECT ADDRESS

YUCCA VALLEY SENIOR CENTER
57088 TWENTYNINE PALMS HIGHWAY
YUCCA VALLEY, CA 92284

OWNER PROVIDED AND CONTRACTOR INSTALLED EQUIPMENT

1. THE OWNER WILL PROVIDE THE FOLLOWING ITEMS/SYSTEM FOR CONTRACTOR TO INSTALL:
   - 1.1. WALK-IN FREEZER AND MECHANICAL SYSTEM (NOT ASSEMBLED)
   - 1.2. WALK-IN COOLER AND MECHANICAL SYSTEM (NOT ASSEMBLED)

2. THE CONTRACTOR SHALL INSTALL THE EQUIPMENT INCLUDING, BUT NOT LIMITED TO THE FOLLOWING WORK:
   - 2.1. SURVEY THE EXISTING WALK-IN EQUIPMENT (WITH OWNER) THAT WILL BE STORED ON-SITE (200 FEET FROM PROJECT BUILDING) AND ACKNOWLEDGE THE CONDITION OF EQUIPMENT (WITH VISUAL INSPECTION) AND PROVED A WRITTEN DOCUMENT STATING OBSERVED CONDITION OF BOXED EQUIPMENT.
   - 2.2. REVIEW WALK-IN EQUIPMENT/SYSTEM'S ELECTRICAL AND PLUMBING REQUIREMENTS AND COORDINATE AS REQUIRED WITH PROPOSED WORK SHOWN ON DRAWINGS.
   - 2.3. SURVEY THE EXISTING ROOMS/AREAS TO RECEIVE THE EQUIPMENT.
   - 2.4. SURVEY THE EXISTING ROOFTOP LAYOUT (EXISTING AND PROPOSED)
   - 2.5. PROVIDE AND INSTALL ALL ROOF PENETRATIONS, ELECTRICAL WIRING/CONDUIT, PLUMBING (CONDENSATE DRAIN SYSTEM), ETC. FOR A COMPLETE OPERATING SYSTEM.
   - 2.6. INSTALL WALK-IN FREEZER AND WALK-IN COOLER EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS, CURRENT CODE. CONNECT AND RUN EQUIPMENT.
   - 2.7. TEST ALL EQUIPMENT AND PROVIDE A STATEMENT/REPORT OF EQUIPMENT FUNCTION.

CONTRACTOR'S MEANS AND METHODS

1. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PERFORM THE SCOPE OF WORK INDICATED/IMPLIED ON THE CONSTRUCTION DOCUMENTS.
2. MEANS AND METHODS SHALL BE DEFINED AS THE CONTRACTOR'S SELECTED CHOICE DESCRIBING TECHNIQUES AND TACTICS TO COMPLETE THE WORK REQUIRED FOR A FINISHED PROJECT.
3. THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE MATERIALS, EQUIPMENT, TOOLS AND/OR SERVICES TO COMPLETE THE WORK SHOWN ON THE CONTRACT DOCUMENTS IN A MANNER THAT IS ACCEPTED AS “INDUSTRY STANDARDS” IN THE AREA OF PROPOSED WORK.
4. THE CONTRACTOR SHALL EMPLOY THE APPROPRIATE TECHNICIANS, SKILLED WORKFORCE, TRADESMEN, AND MANAGEMENT TO COMPLETE THE WORK SHOWN ON THE CONTRACT DOCUMENTS IN A MANNER THAT IS ACCEPTED AS “INDUSTRY STANDARDS” IN THE AREA OF PROPOSED WORK.
5. CONTRACTORS AND SUBCONTRACTORS SHALL BE LICENSED FOR THE TYPE OF WORK THEY ARE PERFORMING, AND/OR AS OUTLINED IN THE GENERAL REQUIREMENTS.
6. IF THE CONTRACTOR REQUIRES A PROFESSIONAL ENGINEER FOR DETAILING OR CALCULATIONS FOR TEMPORARY WORK (MEANS AND METHODS), IT WILL BE UNDER THE CONTRACTOR'S SCOPE OF WORK AND INCLUDED IN THE CONSTRUCTION BID PRICE.

OCCUPANCY DURING CONSTRUCTION

1. TOWN OF YUCCA VALLEY WILL **NOT** OCCUPY THE BUILDING DURING CONSTRUCTION.
2. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITY DISRUPTION A MIN. OF 2 DAYS PRIOR TO ANY DISRUPTION.
3. LIFE SAFETY AND EXITING SHALL BE OBSERVED DURING CONSTRUCTION.
4. DUST AND VOC CONTROL SHALL BE OBSERVED DURING CONSTRUCTION.
5. CLEANING SHALL OCCUR DURING CONSTRUCTION AND PRIOR TO SUBSTANTIAL COMPLETION, AND SHALL INCLUDE AREAS ADJACENT TO THE KITCHEN AREAS.

LICENSED ARCHITECT PANICHAPAN LONGKAVACH NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

architecture planning interior

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SUITE G-205 TEL (714) 668-4260
FAX (714) 668-4265

CONSTRUCTION SET

1 BLDG. DEPT. CORRECT. DATE: 01/13/2022

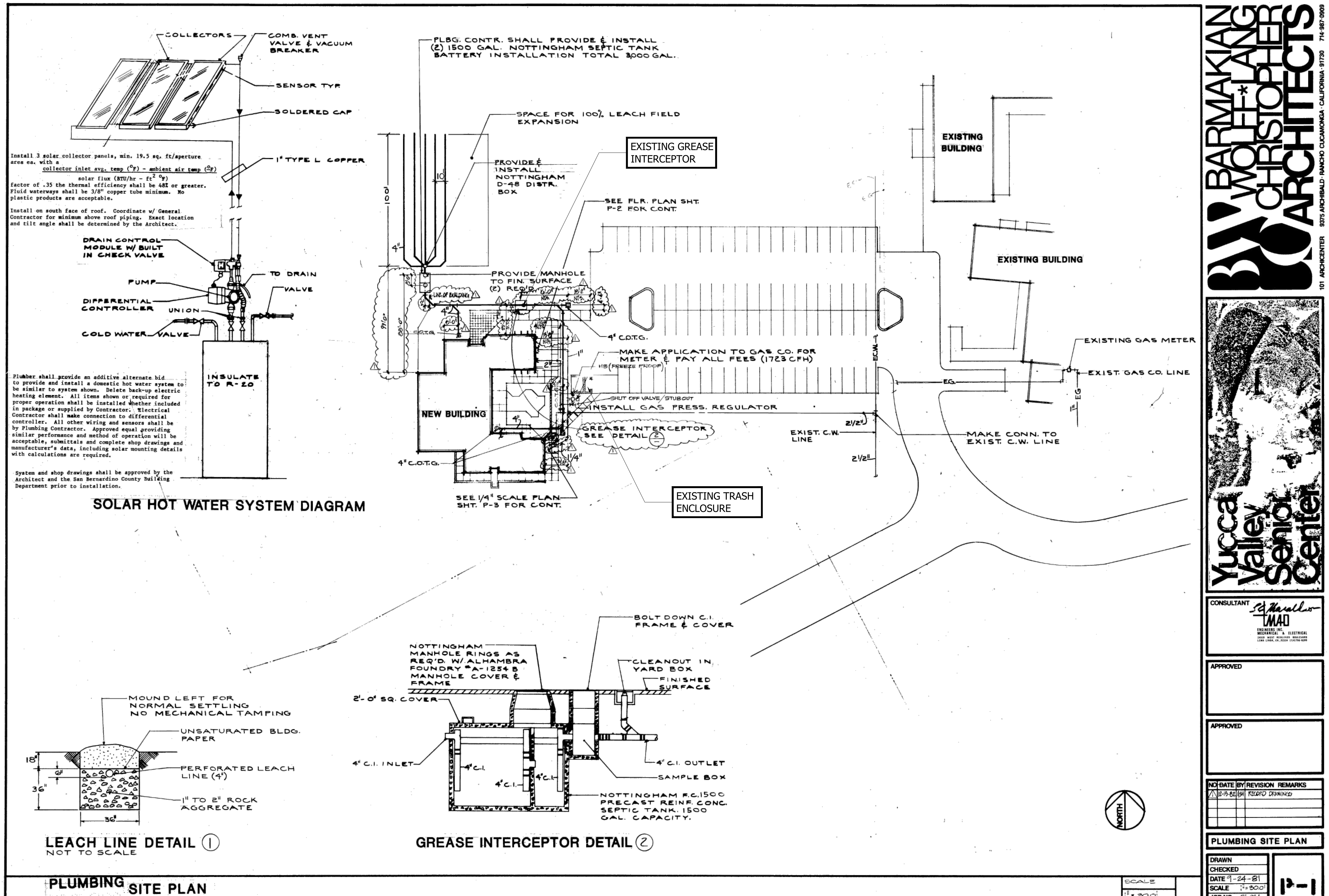
DATE: 12/08/21

JOB NO.: 4107
DRAWN BY: STAFF
CHECKED BY: LP
SCALE:

TITLE SHEET

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

T-1



FOR REFERENCE ONLY

CONSTRUCTION SET

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DRAWN BY: STAFF	
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SCALE: N.T.S.	

SITE PLAN

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-1.1

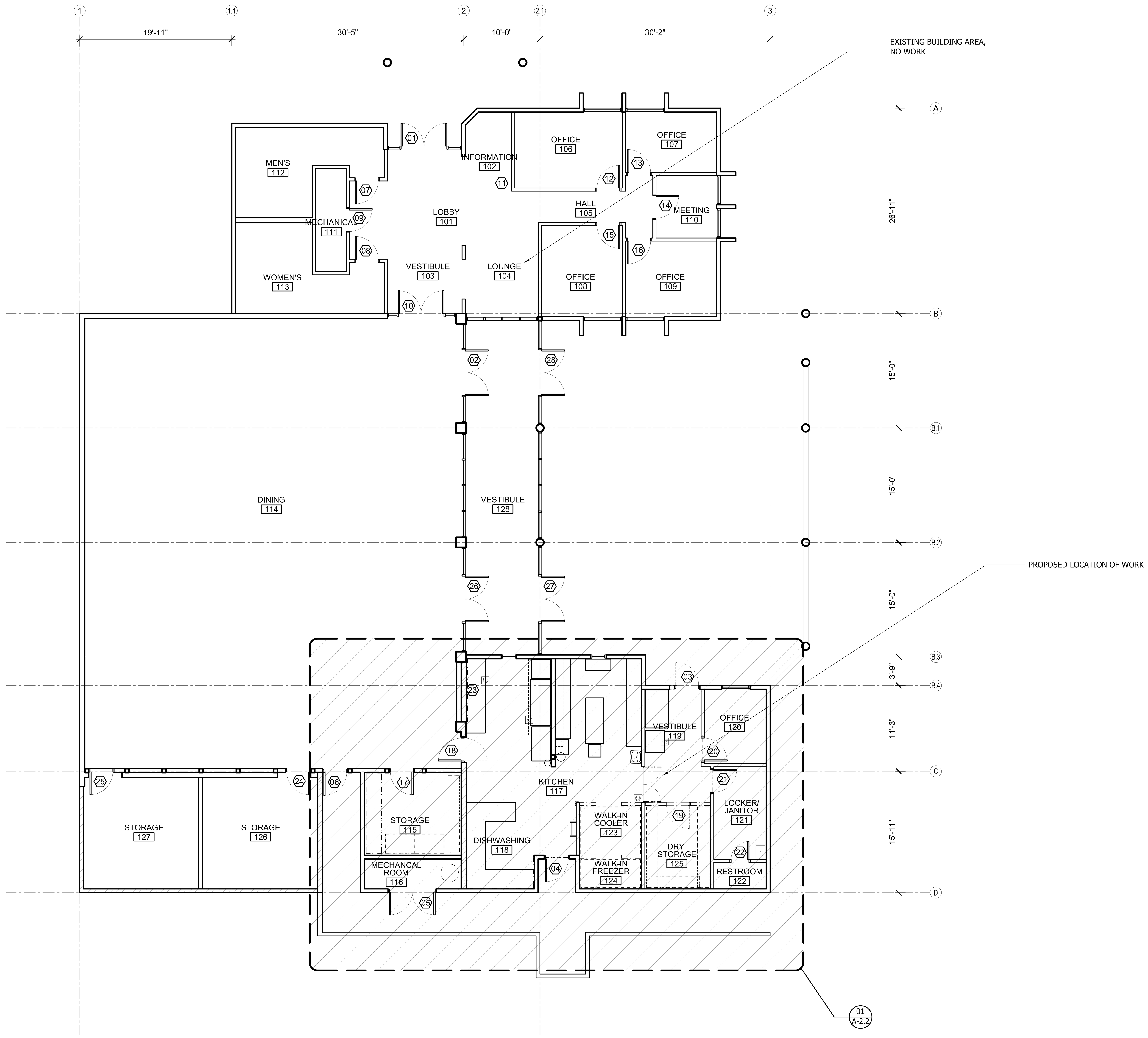
LEGEND:

EXISTING WALL TO REMAIN

EXISTING WALL/DOOR TO BE REMOVED

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED



01 A-2.1 FLOOR PLAN - OVERALL EXISTING
Scale : 1/8" = 1'-0"

LICENSED ARCHITECT LONGKANYACH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

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CONSTRUCTION SET

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CHECKED BY: LP
SCALE: 1/8" = 1'-0"
DATE: 12/08/21

FLOOR PLAN - OVERALL EXISTING

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-2.1

KEYNOTES:

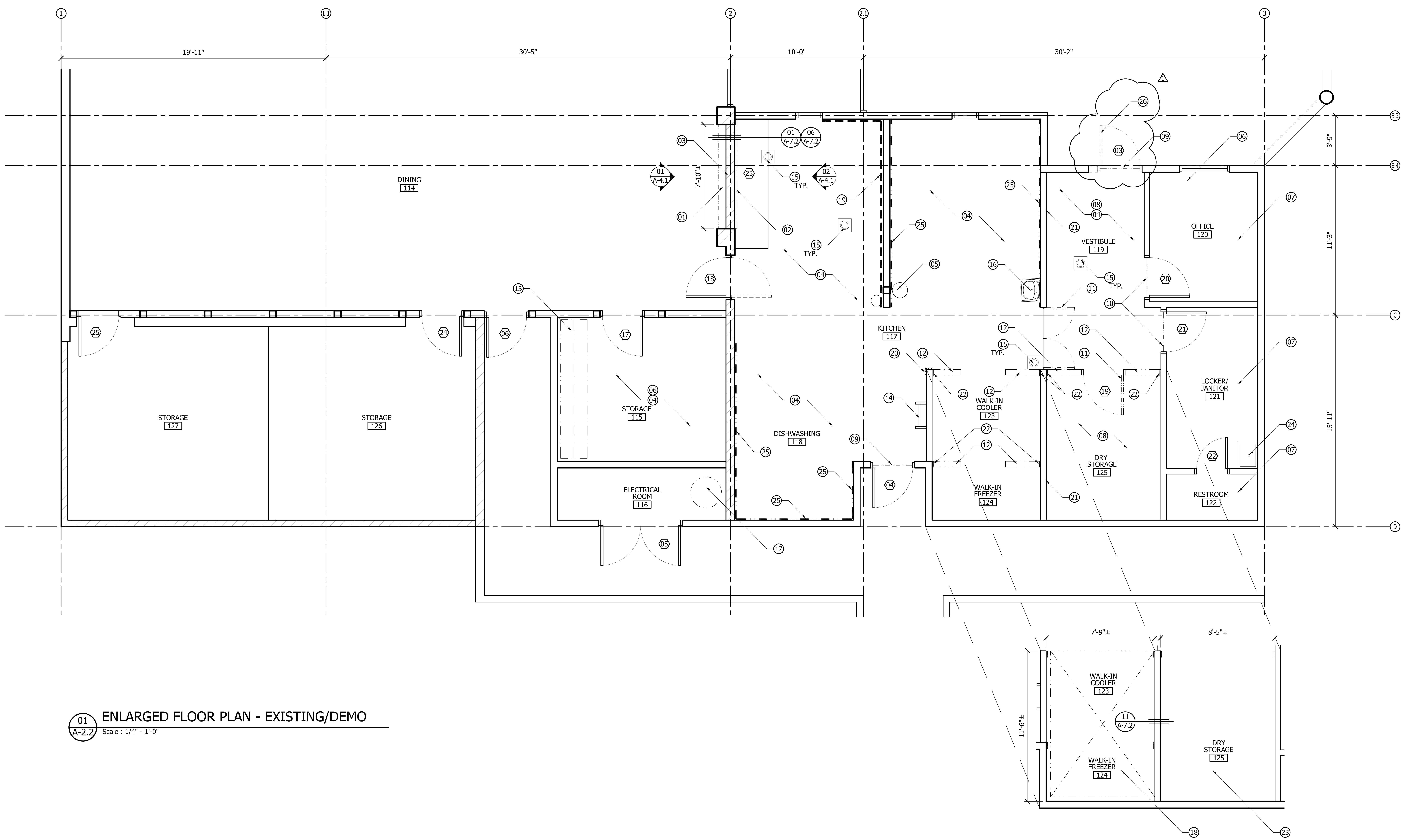
01 REMOVE EXISTING STAINLESS STEEL COUNTERTOP
02 REMOVE EXISTING OVERHEAD COILING DOOR
03 REMOVE (1) ONE COURSE OF 8" CMU BLOCK @ PASS-THROUGH
04 CLEAN EXISTING CONCRETE FLOOR. PREP, ABRADE, GRIND AS REQUIRED BY NEW FLOORING MANUFACTURER
05 FIRE SUPPRESSION SYSTEM TO REMAIN, PROTECT IN-PLACE
06 REMOVE EXISTING BASE, TYPICAL
07 EXISTING FINISH TO REMAIN, PROTECT IN-PLACE
08 REMOVE ALL FLOOR FINISHES/BASE
09 REMOVE AND REPLACE ALUMINUM THRESHOLD
10 REMOVE AND REPLACE THRESHOLD
11 EXISTING DOOR AND FRAME TO BE REMOVED
12 EXISTING GYPSUM BOARD WALL TO BE REMOVED
13 EXISTING CASEWORK AND SHELF TO BE REMOVED. PATCH AND REPAIR WALL
14 EXISTING ROOF ACCESS LADDER TO REMAIN, PROTECT IN-PLACE
15 EXISTING FLOOR SINK TO REMAIN, PROTECT IN-PLACE, TYPICAL
16 EXISTING LAVATORY SINK TO REMAIN, PROTECT IN-PLACE
17 EXISTING WATER HEATER TO BE REMOVED AND REPLACED
18 EXISTING TOPPING SLAB AND RIGID INSULATION TO BE REMOVED, SEE DETAIL 11 & 13 ON SHEET A-7.2
19 EXISTING S.S. WALL PANEL TO REMAIN, PROTECT IN-PLACE
20 EXISTING METAL GATE TO BE REMOVED, PATCH AND REPAIR WALL
21 EXISTING BEARING/SHEAR WALL AND FOOTING TO REMAIN, PROTECT IN-PLACE
22 PATCH & REPAIR WALL. INSTALL GYPSUM BOARD, PRIME AND PAINT
23 CLEAN, PATCH, GRIND & REPAIR EXISTING CONCRETE FLOOR TO RECEIVE NEW WALK-IN EQUIPMENT AND FLOOR FINISH.
24 EXISTING SERVICE SINK TO REMAIN, PROTECT IN-PLACE
25 REMOVE EXISTING WALL COVERING (TILE/FRP), PREP AND PRIME WALLS PRIOR TO INSTALLING NEW FRP SYSTEM
26 TEMPORARILY AND CAREFULLY REMOVE EXISTING DOOR AND FRAME. STORE IN PROTECTED LOCATION PRIOR TO RE-INSTALLATION

LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING CMU WALL TO REMAIN
- EXISTING WALL/DOOR TO BE REMOVED
- DOOR TO REMAIN/TO BE ALTERED, SEE SHEET A-5.1 FOR ADDITIONAL INFO
- EXISTING DOOR TO BE REMOVED

NOTE:

SEE SHEET A-2.4 FOR EXISTING FURNITURE TO BE TEMPORARILY REMOVED/RE-INSTALLED



01 A-2.2 ENLARGED FLOOR PLAN - EXISTING/DEMO
Scale : 1/4" - 1'-0"

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CONSTRUCTION SET

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SCALE: 1/4" = 1'-0"	

ENLARGED FLOOR PLAN - EX./DEMO

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-2.2

KEYNOTES:

01 NEW FLOOR SINK, SEE PLUMBING DRAWINGS. COORDINATE LOCATION WITH EXISTING SINKS AND DRAINS (AND NEW WASTE LINES @ EACH PLUMBING FIXTURES)

02 NEW WATER HEATER, SEE MECHANICAL DRAWINGS

03 PROVIDE AND INSTALL NEW DRAIN PIPE INSULATION (TRUBRO, MOLDED VINYL TRAP/P-TRAP, AND VALVE COVERS OR APPROVED EQUAL)

04 NEW FULL HEIGHT FRP PANEL (TYPICAL)

05 NEW COVED BASE, SEE FINISH FLOOR PLANS A-5.1

06 NEW 1/2" RIGID POLYISO INSULATION Z-CHANNELS AND NEW 5/8" GYPSUM BOARD @ EXISTING EXPOSED CMU WALL (PRIME NEW GYPSUM BOARD TO RECEIVE FRP SYSTEM)

07 NEW 2" X 2" X 18 GA. (48") STAINLESS STEEL CORNER GUARDS

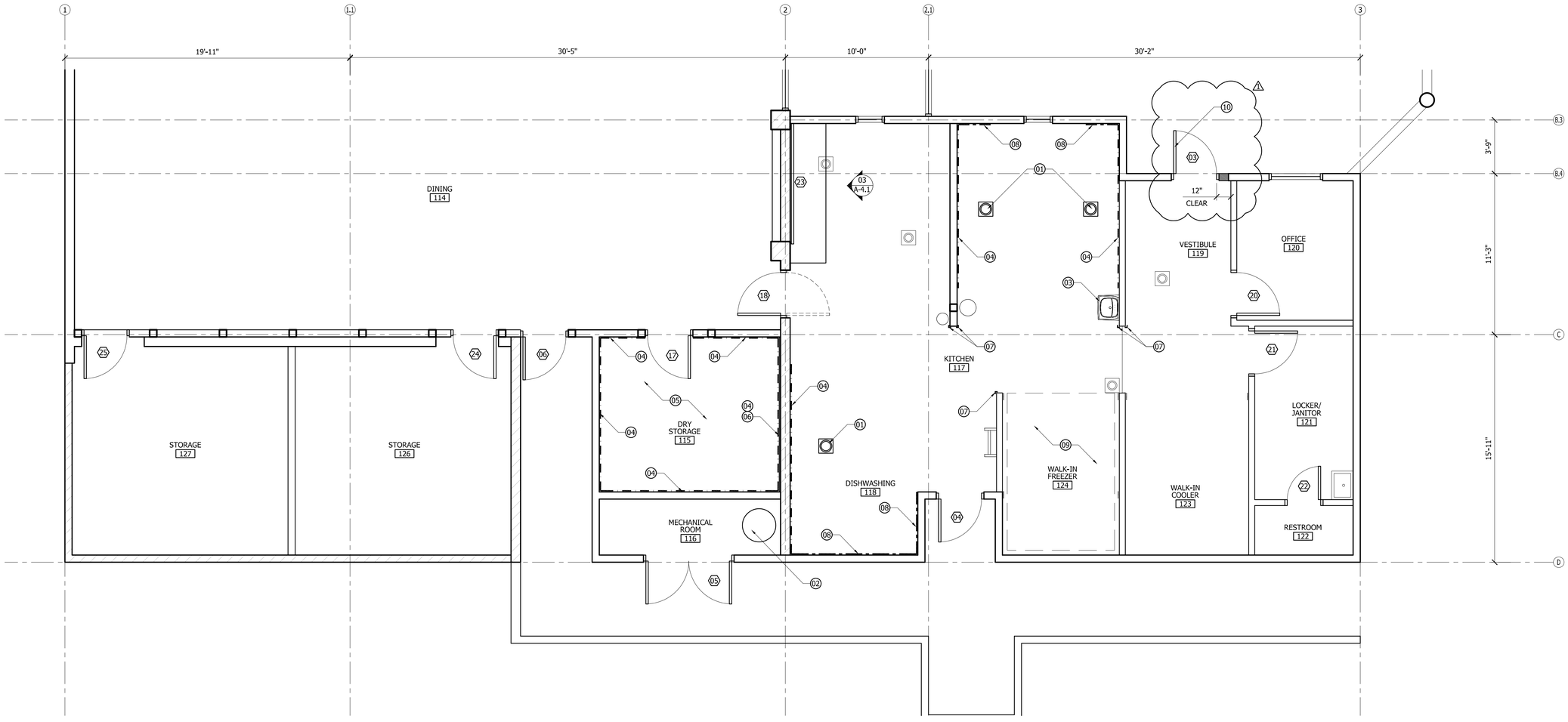
08 NEW FRP PANELING FROM TOP OF COVED BASE TO 4'-6" A.F.F.

09 NEW INFILL RECESSED CONCRETE TOPPING SLAB, SEE DETAIL 13/A-7.2

10 RE-INSTALL EXISTING DOOR (SHIFT TO WEST APPROXIMATELY 8")

LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING CMU WALL TO REMAIN
- NEW GYPSUM BOARD FURRED WALL
- SEE SHEET A-5.1 FOR DOOR SCHEDULE
- NEW FULL HEIGHT FRP PANELS
- NEW FRP PANELS, 4'-6" A.F.F.



01 ENLARGED FLOOR PLAN - PROPOSED
A-2.3 Scale : 1/4" - 1'-0"

LONGKAMA PANICHAPAN REGISTERED ARCHITECT NO. C-29344 EXP. 1-31-23 STATE OF CALIFORNIA

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CONSTRUCTION SET

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DATE: 12/08/21
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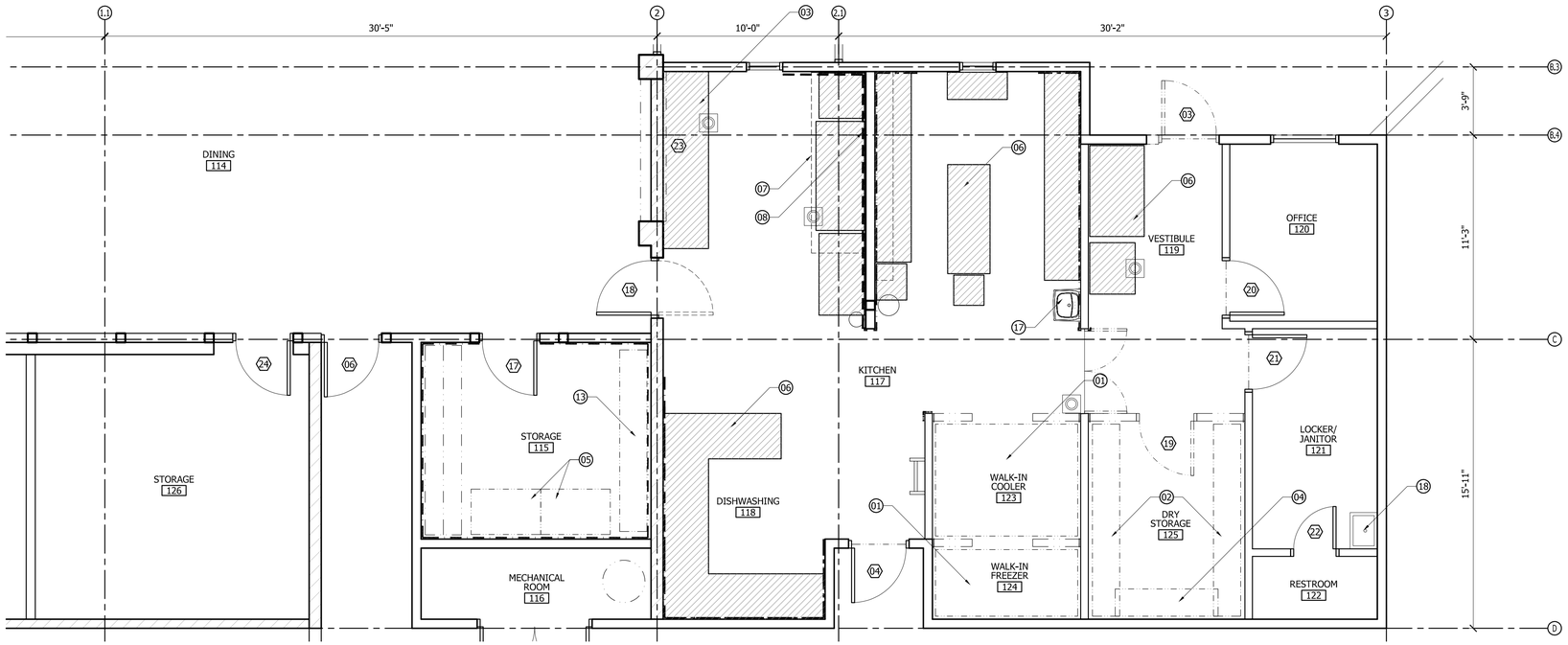
CHECKED BY: LP
SCALE: 1/4" = 1'-0"

ENLARGED FLOOR PLAN - PROPOSED

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-2.3



01 A-2.4 ENLARGED EQUIPMENT PLAN - EXISTING/DEMO

Scale : 1/4" - 1'-0"

EXISTING FURNITURE/EQUIPMENT:

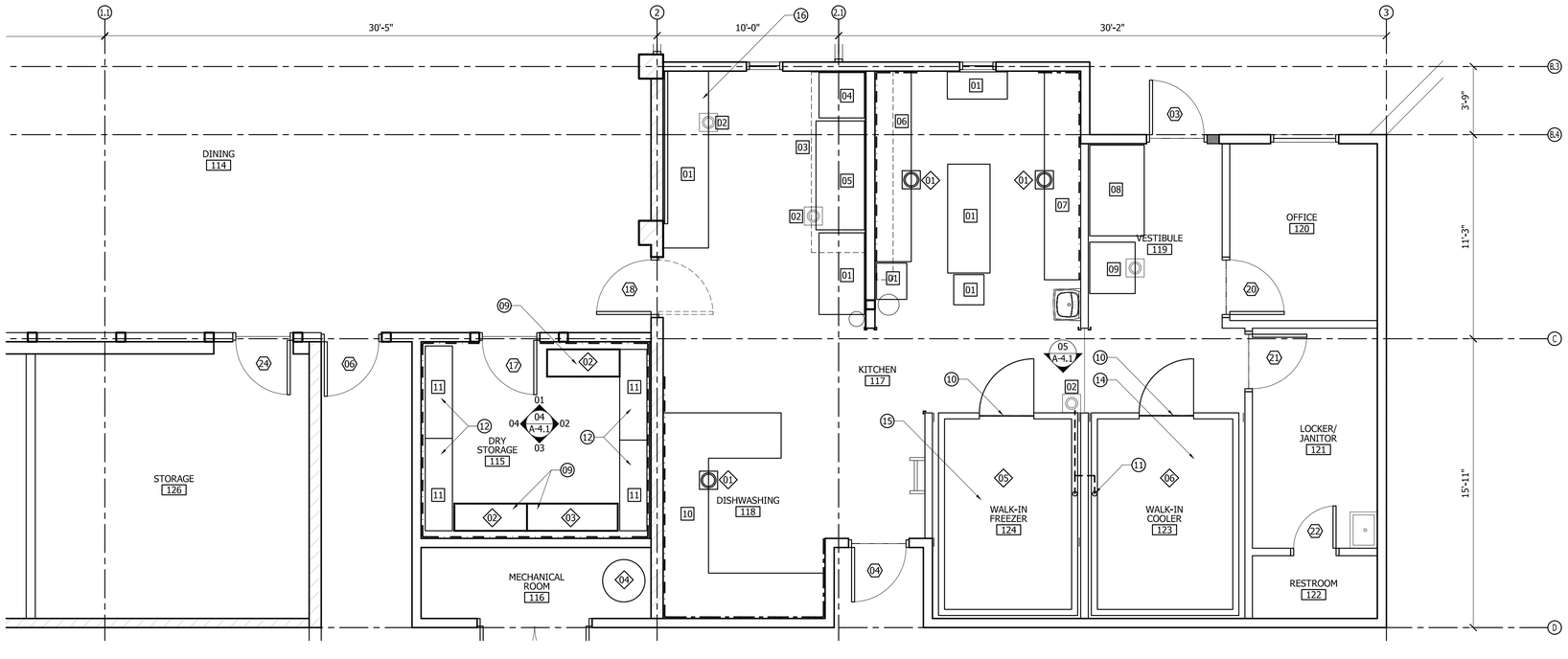
1. PRIOR TO REMOVING ANY EQUIPMENT, CONTRACTOR IS TO PHOTOGRAPH EXACT LOCATION AND LAYOUT OF EQUIPMENT.
2. CAREFULLY AND TEMPORARILY REMOVE THE EXISTING EQUIPMENT AS SHOWN AND AS NEEDED TO FACILITATE THE INSTALLATION OF THE NEW FLOORING AND COVED BASE.
3. PROTECT WHILE STORED. LOCATION OF TEMPORARY STORAGE TO BE COORDINATED WITH OWNER.
4. AFTER ALL FINISHES ARE INSTALLED AND DRY/CURED, INSTALL/REPLACE EQUIPMENT BACK TO ORIGINAL LOCATION.

KEYNOTES:

01 EXISTING EQUIPMENT TO BE REMOVED
02 EXISTING SHELVING RACKS TO BE REMOVED, RELOCATED TO NEW DRY STORAGE ROOM 115
03 EXISTING S.S. COUNTER TO BE REMOVED, MODIFIED/ADJUSTED
04 EXISTING WOOD SHELVING TO BE REMOVED
05 REMOVE AND RELOCATE EXISTING EQUIPMENT (PER OWNER)
06 TEMPORARILY REMOVE AND RE-INSTALL EQUIPMENT (TYP.)
07 EXISTING HOOD TO REMAIN, PROTECT IN-PLACE (CLEAN OUTSIDE)
08 EXISTING STAINLESS STEEL PANEL WALL TO REMAIN (CLEAN)
09 NEW STAINLESS STEEL RACK SHELVING (BY OTHERS)
10 PROVIDE AND INSTALL NEW STAINLESS STEEL THRESHOLD PLATE @ EACH DOOR
11 NEW COPPER/INSULATED CONDENSATE DRAIN TO AIR GAP AT FLOOR DRAIN
12 RELOCATED STORAGE RACKS
13 EXISTING SHELVING RACKS TO BE REMOVED, RELOCATION TO BE DETERMINED BY OWNER
14 NEW WALK-IN REFRIGERATOR
15 NEW WALK-IN FREEZER
16 RE-INSTALL MODIFIED S.S. COUNTER
17 EXISTING LAVATORY SINK
18 EXISTING SERVICE SINK

LEGEND:

EXISTING WALL TO REMAIN
EXISTING CMU WALL TO REMAIN
NEW GYPSUM BOARD FURRED WALL
SEE SHEET A-5.1 FOR DOOR SCHEDULE



02 A-2.4 ENLARGED EQUIPMENT PLAN - PROPOSED

Scale : 1/4" - 1'-0"

*** CONTRACTOR TO REPLACE EXISTING SINK WASTE DRAIN LINE AND PROVIDE NEW AND RE-ROUTE TO AIR GAP AT NEW FLOOR SINK. SEE DETAIL 3/P-0.2. CAP WALL SEWER LINE

EXISTING EQUIPMENT:

01 STAINLESS STEEL TABLE/COUNTER
02 FLOOR SINK
03 HOOD
04 OVEN
05 OVEN/RANGE
06 2 COMPARTMENT SINK ***
07 3 COMPARTMENT SINK ***
08 DRINK COOLER
09 ICE MAKER
10 COMMERCIAL DISHWASHER MACHINE ***
11 STAINLESS STEEL STORAGE RACK

NEW EQUIPMENT:

01 FLOOR SINK - ZURN #1900-25 SANI-FLOOR RECEPTOR
02 4' STAINLESS STEEL STORAGE RACK - REGENCY MODEL NO. 460SW1848KIT
03 5' STAINLESS STEEL STORAGE RACK - REGENCY MODEL NO. 460SW1860KIT
04 WATER HEATER - A.O. SMITH BTH-199
05 WALK-IN FREEZER - U.S. COOLER,
06 WALK-IN COOLER - U.S. COOLER,

FINISHES:

DRY STORAGE 115:
- WALLS - FRP (NEW)
  CEILING - DRYWALL (EXISTING W/ NEW SEMI-GLOSS PAINT)
- FLOOR - EPOXY COATING SYSTEM AND COVED BASE (NEW)

KITCHEN 117, DISHWASHING 118, & VESTIBULE 119:
- WALLS - TILE (EXISTING)
  - STAINLESS STEEL (EXISTING)
  - DRYWALL (EXISTING W/ NEW SEMI-GLOSS PAINT)
- CEILING - DRYWALL (EXISTING W/ NEW SEMI-GLOSS PAINT)

FLOOR - EPOXY COATING SYSTEM AND COVED BASE (NEW)

LONGARACRE PANICHAPAN REGISTERED ARCHITECT NO. C-28744 EXP. 11-30-23 STATE OF CALIFORNIA

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SUITE G-205 TEL (714) 668-4260
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CONSTRUCTION SET

DATE: 01/13/2022
DATE: 12/08/21
BLDG. DEPT. CORRECT.
JOB NO.: 4107
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SCALE: 1/4" = 1'-0"

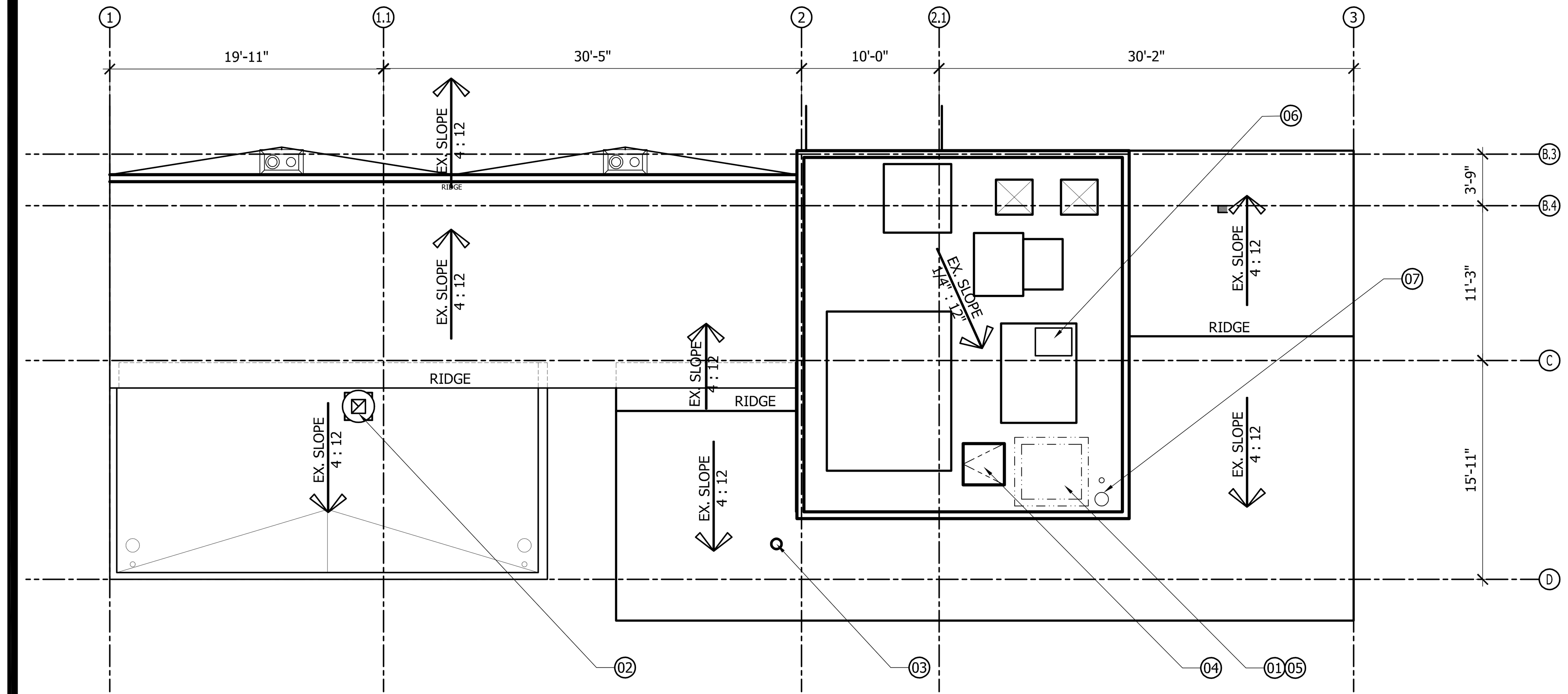
ENLARGED EQUIP. PLAN - EX./DEMO & PROPOSED

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

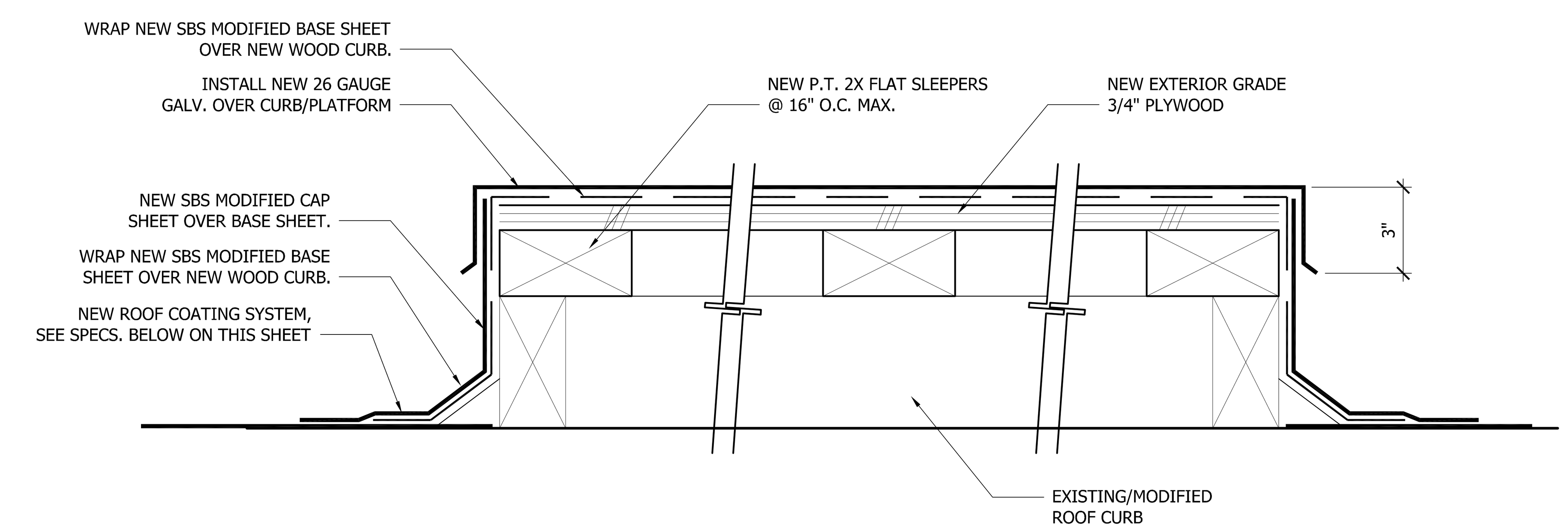
A-2.4

KEYNOTES:

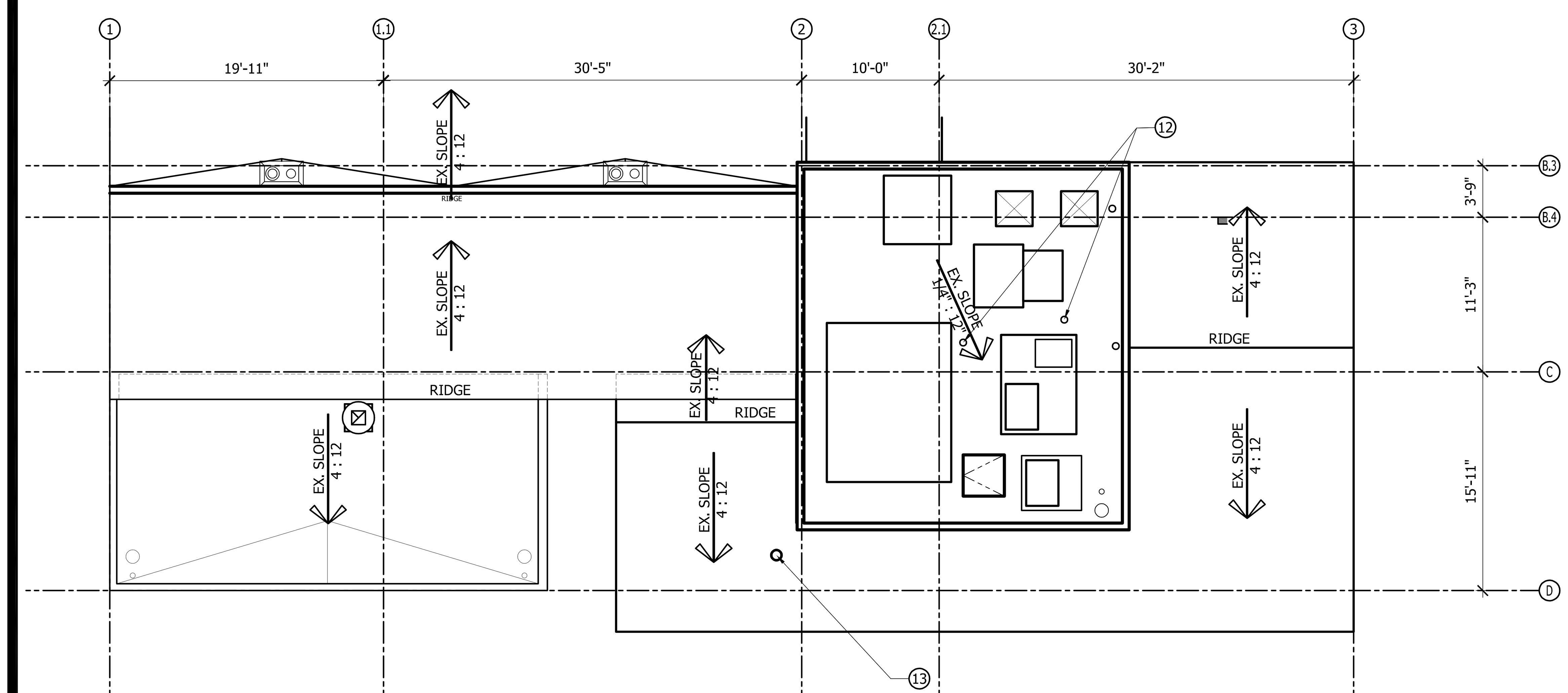
1. (01) EXISTING METAL CORRUGATED AWNING AND SUPPORTS TO BE REMOVED
2. (02) EXISTING EXHAUST FAN TO REMAIN, PROTECT IN-PLACE
3. (03) EXISTING VENT PIPE TO BE REPLACED
4. (04) EXISTING ROOF HATCH TO REMAIN, PROTECT IN-PLACE
5. (05) EXISTING FREEZER/COOLER EQUIPMENT TO BE REMOVED. REMOVE EXISTING SHEET METAL CURB FLASHING
6. (06) EXISTING CONDENSER TO REMAIN, PROTECT IN-PLACE
7. (07) EXISTING ROOF DRAIN TO REMAIN. CLEAN AND INSTALL NEW FIBERGLASS GRATE
8. (08) NEW FREEZER CONDENSER, SET ON NEW ISOLATION PADS. SEAL ALL NEW FASTENER/PENETRATIONS
9. (09) CLEAN AND RE-COAT EXISTING CURB FLASHING
10. (10) INSTALL NEW 26 GAUGE GALV. OVER CURB/PLATFORM
11. (11) NEW COOLER CONDENSER, SET ON NEW ISOLATION PADS. SEAL ALL NEW FASTENER/PENETRATIONS.
12. (12) NEW GAS HOSE PER CALIFORNIA PLUMBING CODE (C.P.C.)
13. (13) NEW/REPLACED ROOF VENT AND JACK FOR HOT WATER HEATER (NEW CONCENTRIC VENT PIPE)
14. (14) APPROXIMATE AREA WITH NEW ROOF COATING SYSTEM



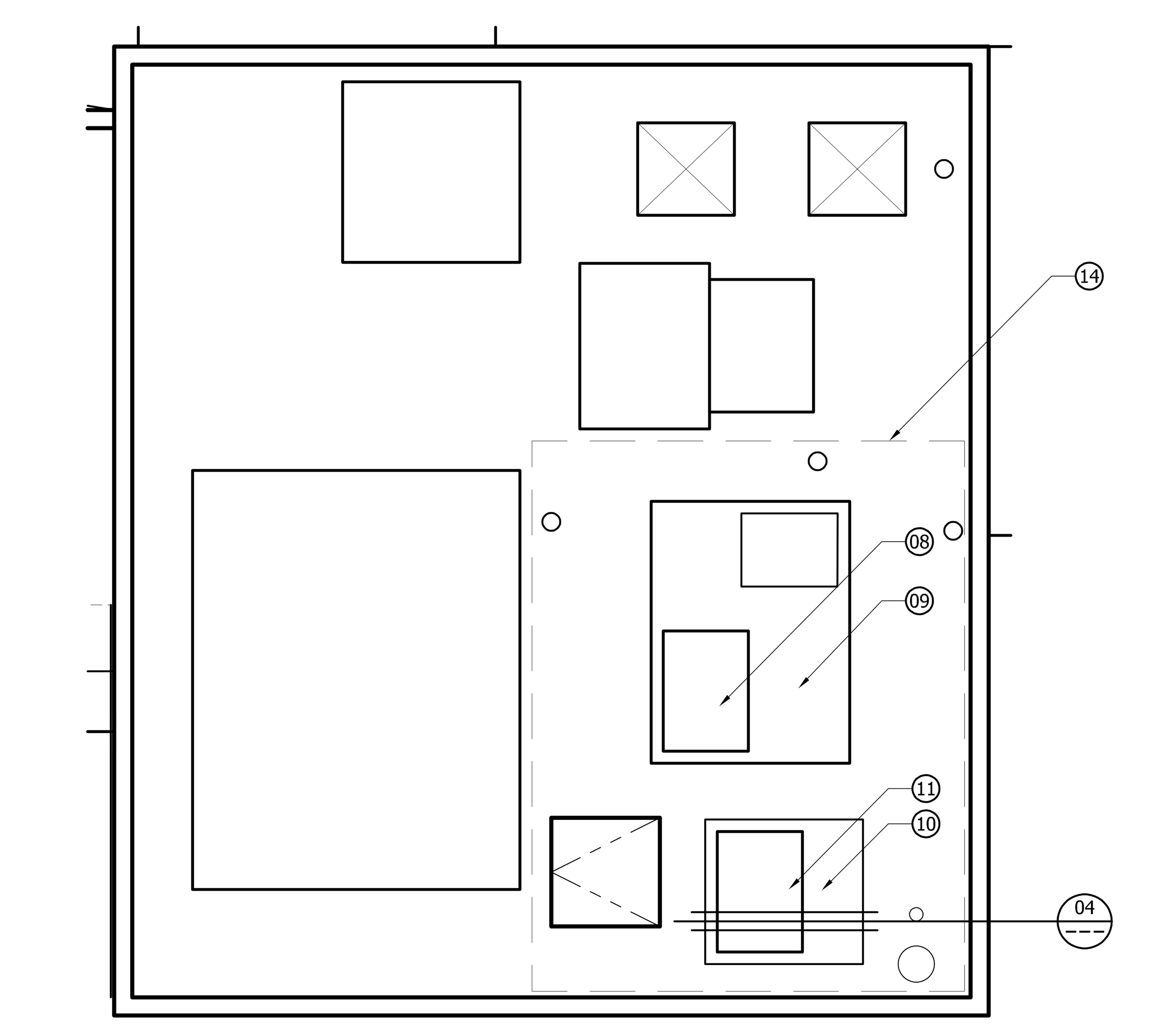
01 / A-3.1 ENLARGED PARTIAL ROOF PLAN - EXISTING/DEMO
Scale : 1/8" - 1'-0"



04 / A-3.1 EX./MODIFIED ROOF CURB
Scale : N.T.S.



02 / A-3.1 ENLARGED PARTIAL ROOF PLAN - PROPOSED
Scale : 1/8" - 1'-0"



ROOF COATING SYSTEM:

-HENRY, 100% SILICONE
-WHITE (TROPI-COOL)
-INSTALLED OVER NEW/MODIFIED BUILT-UP ROOF SYSTEM

03 / A-3.1 ENLARGED PARTIAL ROOF PLAN - PROPOSED EQUIPMENT
Scale : 1/4" - 1'-0"

LICENSED ARCHITECT LONGKAVACH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

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CONSTRUCTION SET

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JOB NO.: 4107
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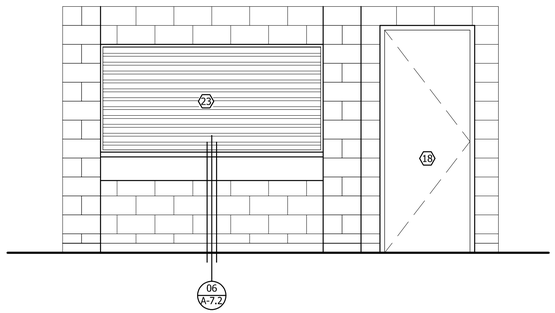
CHECKED BY: LP
SCALE: AS NOTED
DATE: 12/08/21

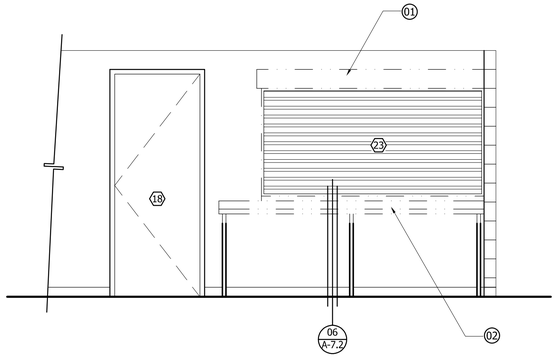
ENLRGD. PARTIAL ROOF PLAN - EX./DEMO & PROPOSED

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

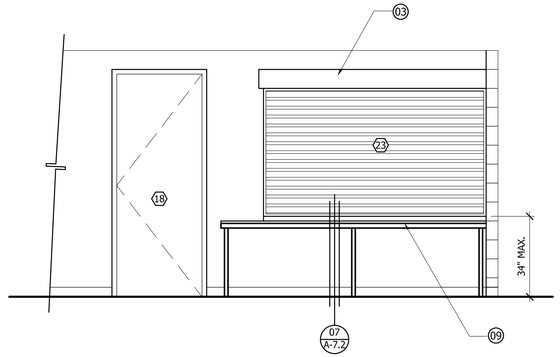
A-3.1



01 A-4.1 INTERIOR ELEVATION - EX./DEMO
Scale : 3/8" = 1'-0"



02 A-4.1 INTERIOR ELEVATION - EX./DEMO
Scale : 3/8" = 1'-0"



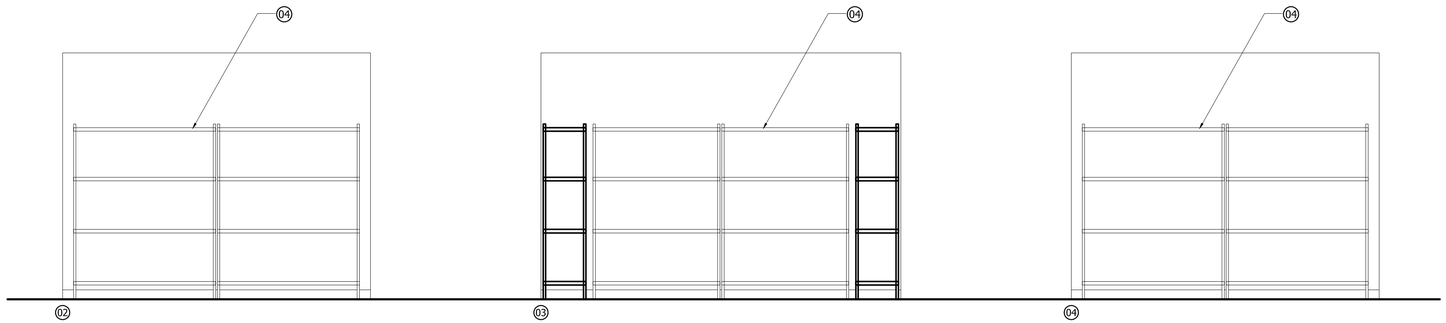
03 A-4.1 INTERIOR ELEVATION - PROPOSED
Scale : 3/8" = 1'-0"

KEYNOTES:

- 01 DEMO EXISTING COILING DOOR
- 02 EXISTING STAINLESS STEEL COUNTER TO BE MODIFIED
- 03 NEW RATED COILING COUNTER DOOR
- 04 RELOCATED/NEW WIRE RACK DRY DRY STORAGE SHELVING SYSTEM
- 05 REMOVABLE STAINLESS STEEL PANEL TO ACCESS A.C. EQUIPMENT
- 06 NEW FREEZER/REFRIGERATOR EQUIPMENT
- 07 22 GAUGE MIN. INFILL STAINLESS STEEL PANEL TYPICAL. PROVIDE SHOP DRAWINGS SHOWING DETAILS/INFO FOR PROPOSED LAYOUT AND METHOD OF ATTACHMENT (S.S. FASTENERS)
- 08 REMOVABLE STAINLESS STEEL PANEL TO ACCESS A.C. EQUIPMENT
- 09 MODIFIED AND RE-INSTALL STAINLESS STEEL COUNTER TOP

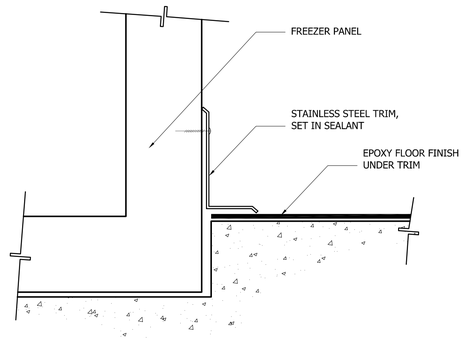
LEGEND:

XX SEE SHEET A-5.1 FOR DOOR SCHEDULE

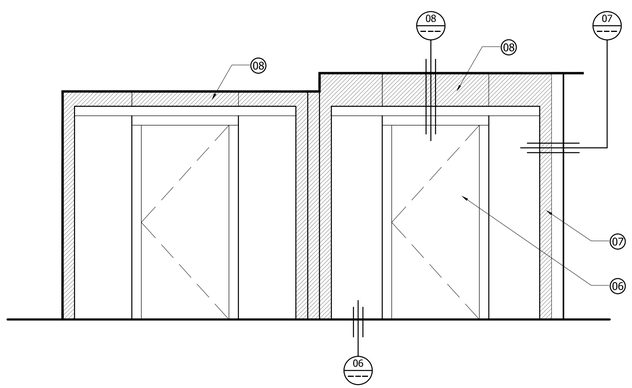


04 A-4.1 INTERIOR ELEVATION - DRY STORAGE 2 - #115
Scale : 3/8" = 1'-0"

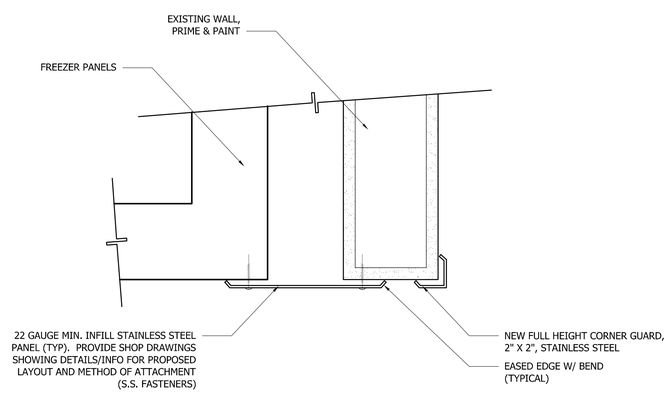
DRY STORAGE SHELVING RACKS:
NEW - 13 LINEAR FEET MINIMUM
EXISTING/RELOCATED - 20 LINEAR FEET MINIMUM
MANUFACTURER (NEW) - REGENCY MODEL NO. 460SW1848KIT & 460SW1860KIT



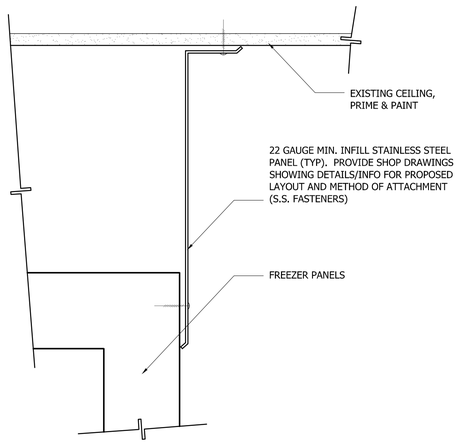
06 A-4.1 ENCLOSURE TRIM & FLASHING
Scale : 3" = 1'-0"



05 A-4.1 INTERIOR ELEVATION - WALK-IN COOLER 123 & WALK-IN FREEZER 124
Scale : 3/8" = 1'-0"



07 A-4.1 ENCLOSURE TRIM & FLASHING
Scale : 3" = 1'-0"



08 A-4.1 ENCLOSURE TRIM & FLASHING
Scale : 3" = 1'-0"

LICENSED ARCHITECT LONGARACE PANICHAPAN NO. C-28744 EXP. 11-30-23 STATE OF CALIFORNIA

architecture planning interior

GPI Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

CONSTRUCTION SET

DATE: 01/13/2022
DATE: 12/08/21
BLDG. DEPT. CORRECT.
JOB NO.: 4107
DRAWN BY: STAFF
CHECKED BY: LP
SCALE: AS NOTED

INTERIOR ELEVATIONS

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-4.1

DOOR SCHEDULE

DOOR NUMBER	LOCATION (ROOM NUMBER)	SIZE	TYPE	HARDWARE	THICKNESS	CORE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	DOOR/RM. SIGNS	DETAILS HEAD	DETAILS JAMB	DETAILS THRESHOLD	CLOSER	HINGES	SEALS	DOOR STOP	DOOR BOTTOM	10" S.S. KICK PLATE	THRESHOLD	RATING (MINUTES)	NOTES: REMARKS ⚠1
03	119	EXISTING																					SEE DOOR NOTES BELOW
04	118	EXISTING																					
05	116	EXISTING																					
06	114	EXISTING																					
17	115	3'-0"W X 7'-0"H	B		1 3/4"	HM																	PROVIDE AND INSTALL NEW 12" X 12" S.S. LOUVER
18	117	EXISTING	A	⚠1		WD																	PATCH, FILL, PRIME, AND PAINT (REMOVE HARDWARE PRIOR TO PAINTING)
19	125																						
20	120	EXISTING																					
21	121	EXISTING																					
22	122	EXISTING																					
23	117																						
24	126	3'-0"W X 7'-0"H																					
25	127	EXISTING																					

DOOR NO. 03 NOTES:

1. RECONFIGURE EXISTING 2X4 STUD WALL AT EXISTING OPENING (P.T. SILL WITH POWER DRIVEN ANCHORS).
2. PROVIDE NEW 4X8 HEADER SPANNING BETWEEN EXISTING FULL HEIGHT STUDS (HEADER SPAN ~48"+). INSTALL NEW JACK STUDS AT JAMBS.
3. INTERIOR: INSTALL NEW GYPSUM BOARD TO MATCH EXISTING.
4. EXTERIOR: INSTALL PLYWOOD, WATERPROOF MEMBRANE (2 LAYERS OF NEW BUILDING PAPER) AND NEW PLASTER TO MATCH EXISTING TEXTURE.
5. PROVIDE AND INSTALL NEW ALUMINUM DRIP AT H.M. DOOR FRAME.
6. RE-INSTALL ALL EXISTING DOOR SYSTEMS TO EXISTING FUNCTION.

⚠1

FINISH SCHEDULE

LEGEND

GENERAL NOTE:
1. ALL WALL AND CEILING SURFACES TO BE PAINTED EXCEPT WHEN NOTED. (REFER TO SPECIFICATIONS FOR EXCEPTIONS)
2. ● INDICATES APPLICABLE FINISH, SEE REMARKS FOR ADDITIONAL COMMENTS

ROOM NUMBER	ROOM NAME	FLOOR: EPOXY/COATING SYSTEM	FLOOR: EXISTING TO REMAIN	BASE: RESILIENT WALL BASE	BASE: EPOXY COVED BASE	BASE: EXISTING TO REMAIN	WALLS: GYPSUM BOARD	WALLS: FRP	WALLS: EXISTING TO REMAIN	CEILING: ACOUSTICAL TILE	CEILING: GYPSUM BOARD	CEILING: EXISTING TO REMAIN	REMARKS
114	DINING		●						●			●	
115	DRY STORAGE	●		●				●				●	SKIM COAT/PAINT
116	MECHANICAL ROOM		●						●			●	
117	KITCHEN	●			●				●			●	
118	DISHWASHING	●			●				●			●	
119	VESTIBULE	●			●				●			●	
120	OFFICE		●						●			●	
121	LOCKER/JANITOR		●						●			●	
122	RESTROOM		●						●			●	
123	WALK-IN COOLER	●			●		●					●	
124	WALK-IN FREEZER	●			●		●					●	
126	STORAGE		●			●			●			●	
127	STORAGE		●			●			●			●	

NOTES

GENERAL NOTES: (ALL DOORS)

A. MAXIMUM EFFORT TO OPERATE DOORS APPLIED AT RIGHT ANGLES TO HINGED DOORS OR AT CENTER PLANE, PER CBC SECTION 404.2.9 WILL BE:
   a.) ≤ 5 LB. AT EXTERIOR DOORS
   b.) ≤ 5 LB. AT INTERIOR DOORS
   c.) ≤ 15 LB. WHERE FIRE DOORS ARE REQUIRED.
B. ALL DOORS SHALL COMPLY WITH CBC CHAPTER 10 DOORS
C. DOORS SHALL BE EQUIPPED ONLY WITH NO-KNOWLEDGE, SINGLE-ACTION HARDWARE. LOCKS THAT REQUIRE KEYS OR ADDITIONAL ACTIONS TO OPERATER (SUCH AS MANUAL BOLTS) ARE NOT PERMITTED. CBC 1010.1.9. ALL DOOR HARDWARE SHALL BE LEVER TYPE, PUSH-PULL ACTIVATING BARS OR PANIC HARDWARE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. (PER CBC 11B-309.4)
D. DOORS WITH GLAZING SHALL BE PROVIDED WITH 10" HIGH SMOOTH METAL PANEL AT THE BOTTOM. (PER CBC 11B-404.2.10)
E. BOTTOM OF DOOR TO BE SMOOTH AND UNINTERUPTED, TO ALLOW DOOR TO BE OPENED BY WHEELCHAIR FOOTREST. SEC. 11B-404.2.10.
F. PROVIDE SIGN AT MAIN EXIT DOORS INDICATING: "THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" PER CBC 1010.1.9.3. ALL OTHER DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
G. ALL HOLLOW METAL DOORS STILES AND TOP RAILS SHALL BE 5" MINIMUM. (U.N.O.)
H. ALL ALUMINUM DOORS STILS AND TOP RAILS SHALL BE 5" U.N.O. ALL GLASS TYPES AND THICKNESS SHALL COMPLY WITH UBC TABLE 24-A AND GRAPH 24.1
I. SEE SPECIFICATIONS FOR ADDITIONAL DOOR HARDWARE INFORMATION. REFER TO FLOOR PLANS FOR DOOR HARDWARE FUNCTION FOR REQUIREMENTS.
J. COMPLY WITH SEC. 2406 FOR REQUIRED SAFETY GLAZING.
K. DOOR, GATES, AND SIDE LIGHTS ADJACENT TO DOORS OR GATES, CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE OF THE GLAZED PANEL LOCATED 43 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. (PER CBC 11B-404.2.11)

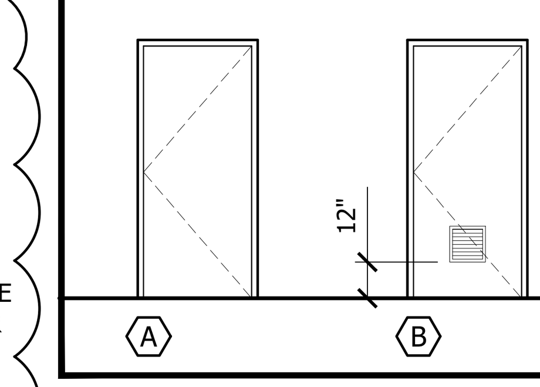
DOOR SIGNAGE LEGEND:

S1 - VERIFY ROOM NAME WITH OWNER
S2 - TOILET ROOM SIGNAGE "MEN"
S3 - TOILET ROOM SIGNAGE "WOMEN"
S4 - ACCESSIBLE ENTRANCE SIGN
S5 - TOILET ROOM SIGNAGE "ALL GENDER"

DOOR ABBREVIATIONS:

HM HOLLOW METAL
PL PLASTIC LAMINATE
PT PAINT
AL ALUMINUM
SC SOLID CORE
MT METAL
WD WOOD

DOOR TYPES



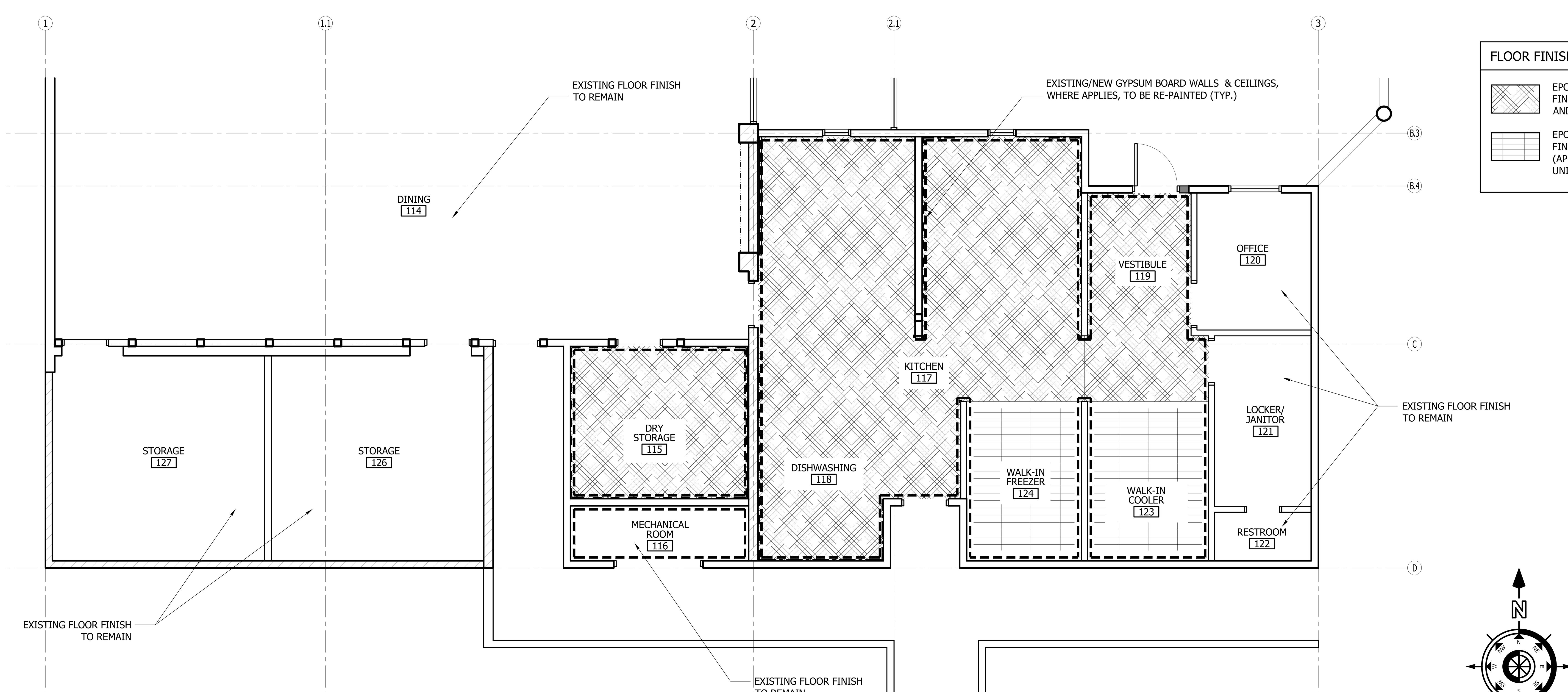
5. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. (CBC 11B-404.2.7 AND 11B-309.4)

6. SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. (CBC 11B-404.2.10)

7. DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH 32 INCHES MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. (CBC 11B-404.2.3)

8. CHANGES IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT (CBC 11B-303.2)

9. CHANGES IN LEVEL BETWEEN 1/4 INCH HIGH MINIMUM AND 1/2 INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.



FLOOR FINISH LEGEND

- EPOXY FLOOR FINISH/COATING SYSTEM AND COVED BASE
- EPOXY FLOOR/BASE FINISH/COATING SYSTEM (APPLIED AFTER WALK-IN UNIT INSTALLATION)

01 / A-5.1 FINISH FLOOR PLAN
Scale : 3/16" - 1'-0"

LICENSED ARCHITECT LONGKAVACH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

architecture planning interior
Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

CONSTRUCTION SET

⚠1 BLDG. DEPT. CORRECT.	DATE: 01/13/2022
JOB NO.: 4107	DATE: 12/08/21
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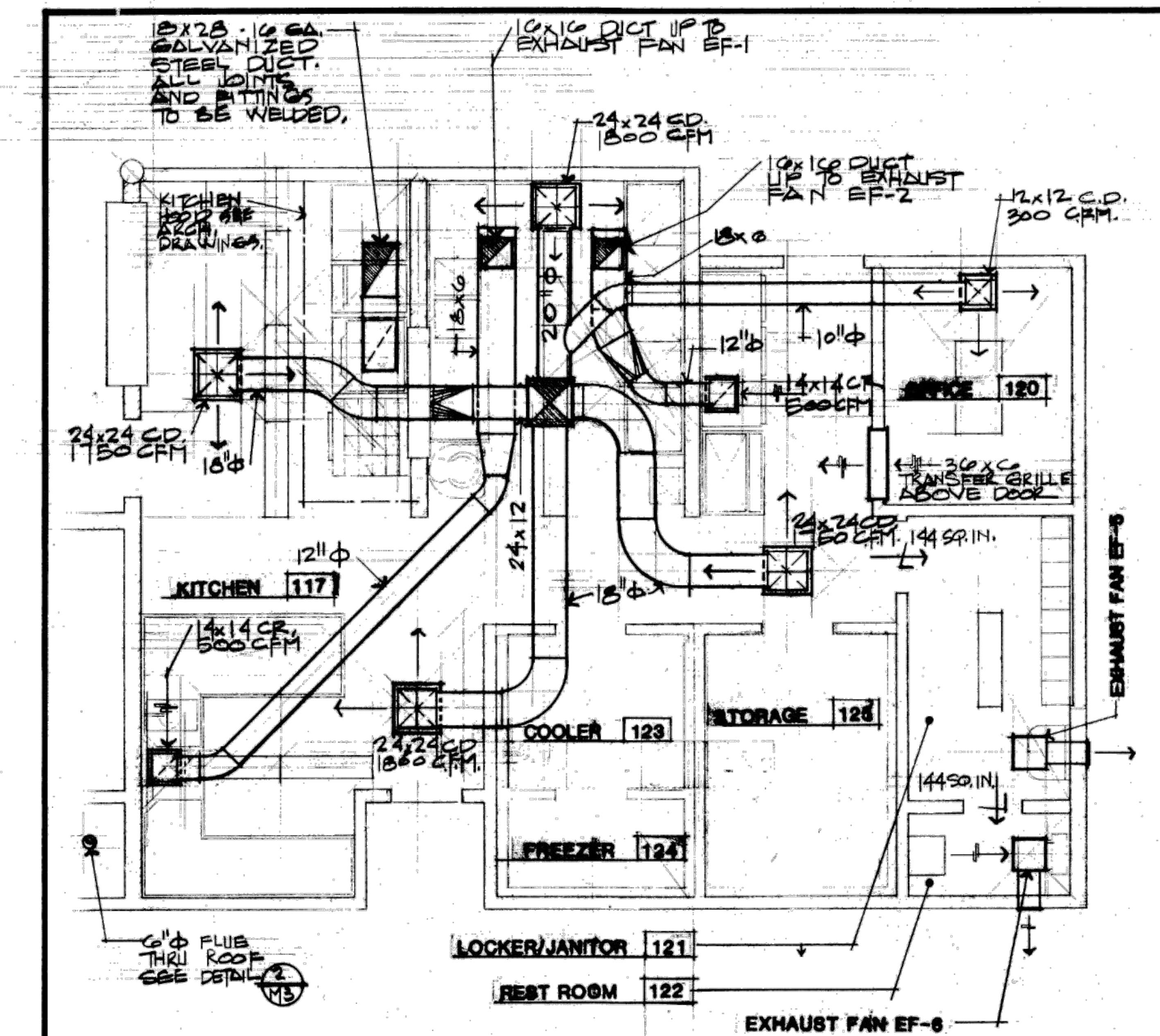
SCALE: AS NOTED	

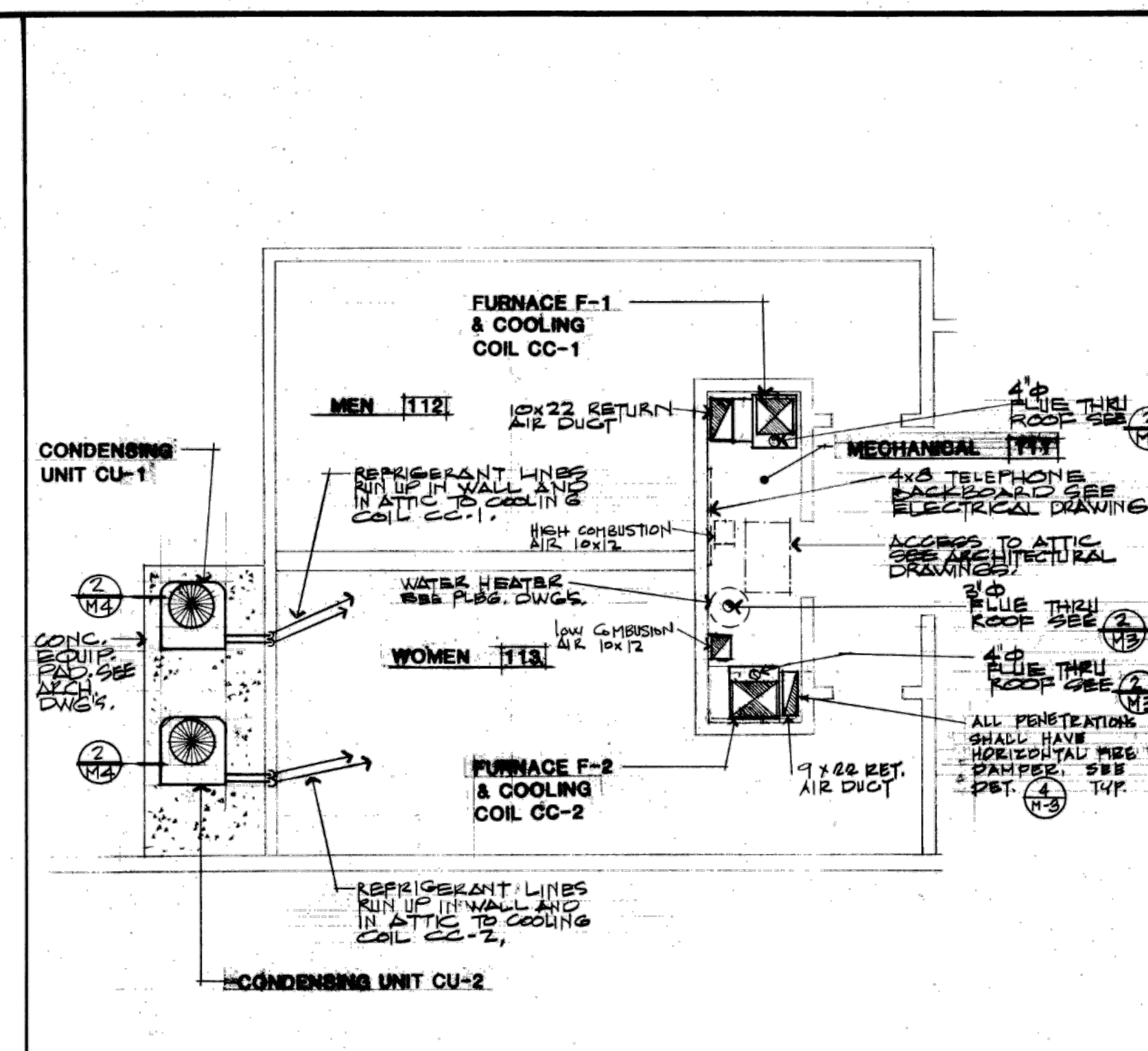
DOOR & FINISH FLOOR SCHEDULES - F.S. 53

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

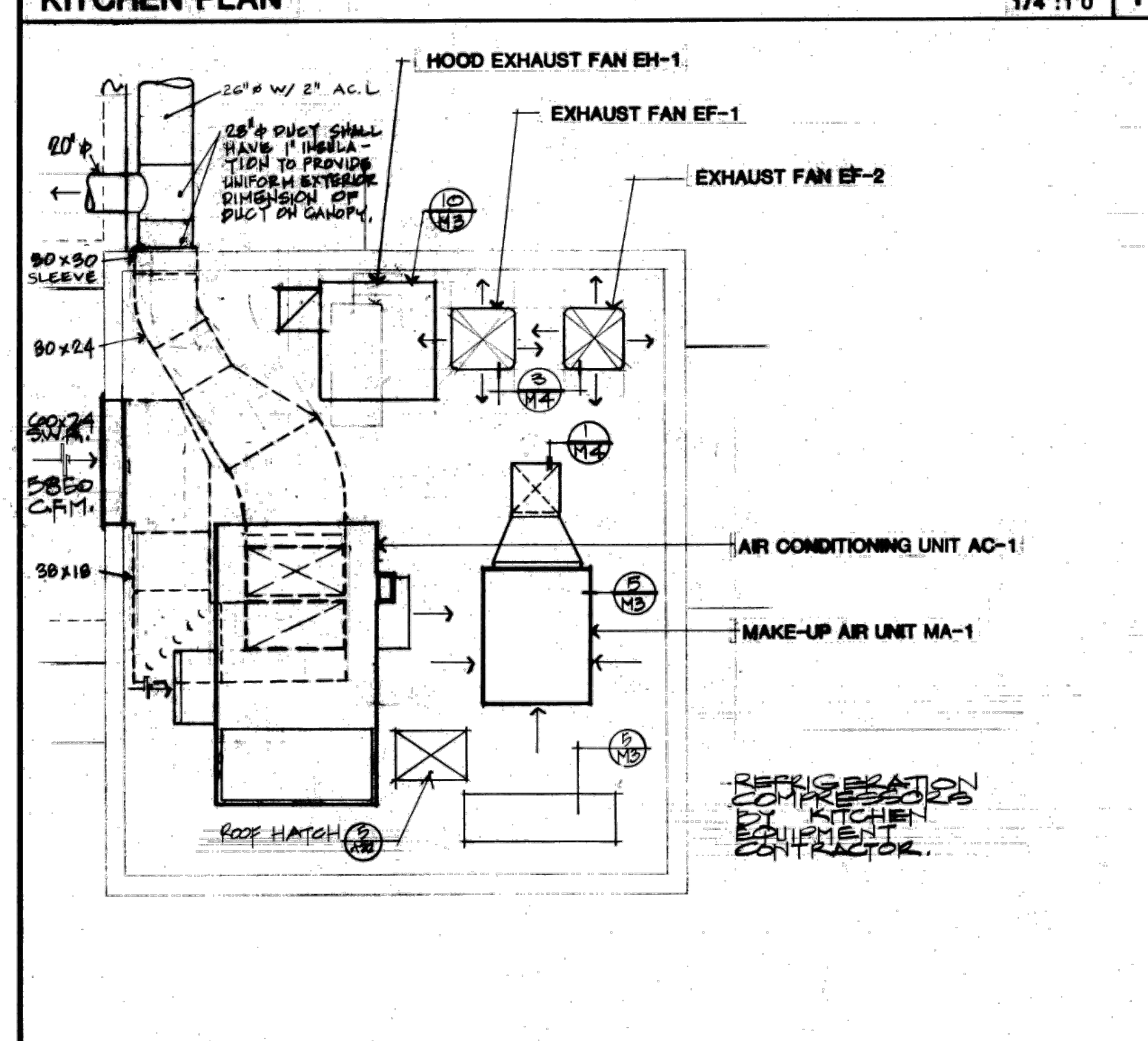
A-5.1



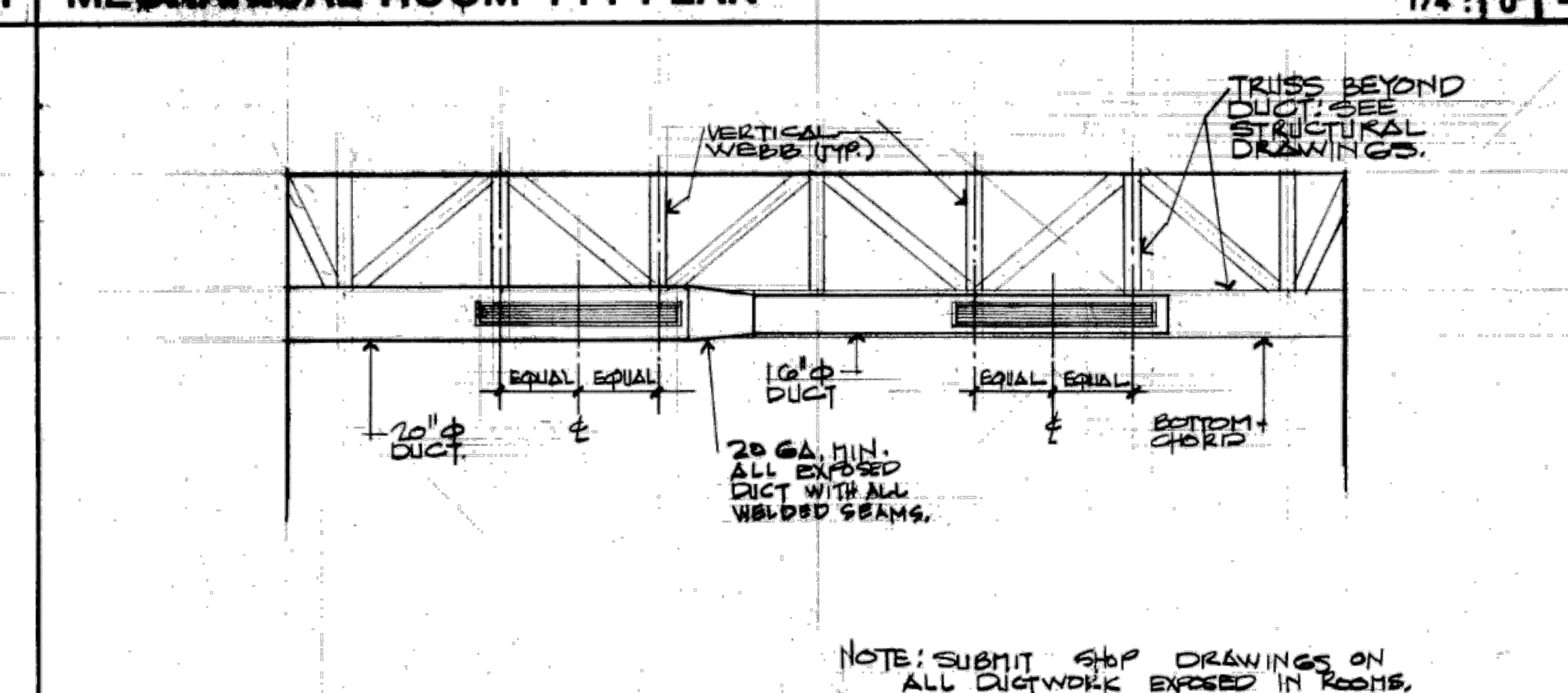
KITCHEN PLAN 1/4":1'0" 1



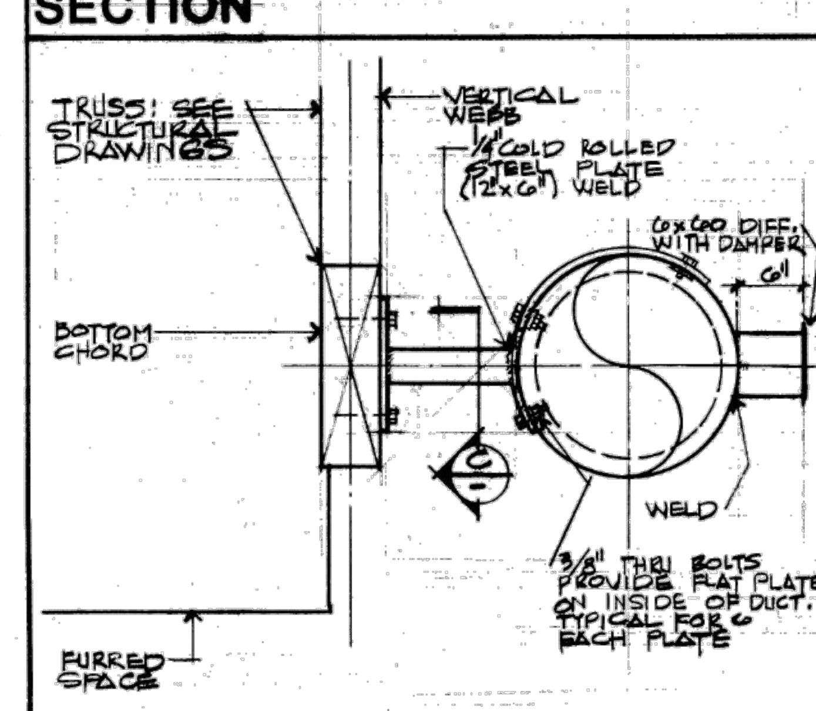
MECHANICAL ROOM 111 PLAN 1/4":1'0" 2



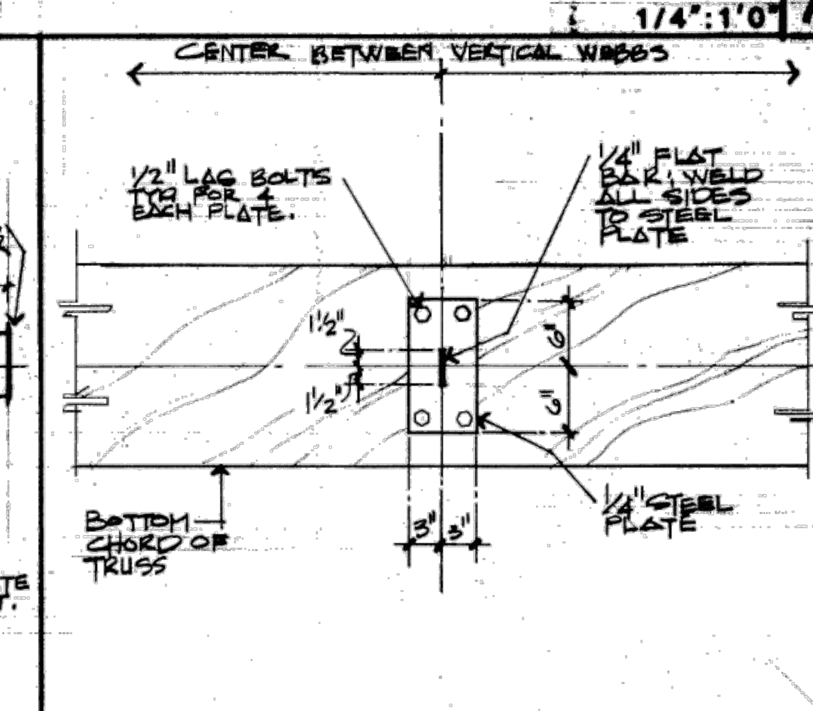
ROOF PLAN 1/4":1'0" 3



SECTION 1/4":1'0" A



SECTION 1":1'0" B



SECTION 1":1'0" C

EQUIPMENT SCHEDULE

SYSTEM 1

AIR CONDITIONING UNIT AC-1

"LENNOX" GCS3-1853-275, 275,000 BTU/HR INPUT, 206,250 BTU/HR OUTPUT HEATING CAPACITY. 176,300 BTU/HR COOLING CAPACITY @115°F. ENTERING CONDENSER COIL AND 67°F. W.B./80°F. D.B. ENTERING EVAPORATOR COIL. 208 VOLT - 3 PHASE - 60 CYCLE 89.9 FULL LOAD AMPS AND 5 HORSEPOWER BLOWER MOTOR TO DELIVER 6500 CFM OF AIR AT 780 R.P.M. AND .5 INCH STATIC PRESSURE UNIT COMPLETE WITH POWER SAVER. 3200 LBS. OPERATING WEIGHT.

SYSTEM 2

FURNACE F-1

"LENNOX" #612 Q4E-50, 50,000 BTU/HR INPUT - 40,000 BTU/HR OUTPUT HEATING CAPACITY, 1/2 HORSEPOWER, 120 VOLT - 1 PHASE - 60 CYCLE BLOWER MOTOR TO DELIVER 1265 C.F.M. OF AIR AT .40 INCH STATIC PRESSURE.

COOLING COIL CC-1

"LENNOX" #C5-620FF

CONDENSING UNIT CU-1

"LENNOX" #HS14-413V, 9.6 EER, 3690 TOTAL UNIT WATTS, 35,400 BTU/HR COOLING CAPACITY AT HIGH SPEED. 208 VOLT - 3 PHASE - 60 CYCLE 11.8 FULL LOAD AMPS.

SYSTEM 3

FURNACE F-2

"LENNOX" #G12Q4E-50, 1000 C.F.M. (TYPICAL TO F-1)

COOLING COIL CC-2

"LENNOX" #C5-620FF

CONDENSING UNIT CU-2

"LENNOX" #HS14-413V, (TYPICAL TO CU-1)

KITCHEN EXHAUST SYSTEM

HOOD EXHAUST EH-1

"BRIEDERT" LO-SET LO-3055 6200 C.F.M. @ .5" EXTERNAL STATIC PRESSURE. R.P.M. 14450 TIP SPEED. 1-1/2" MOTOR HORSEPOWER 1.51 MAX B.H.P. COMPLETE WITH PRE-FAB CURB, VERTICAL DISCHARGE ELBOW AND BIRD SCREEN.

MAKE-UP AIR UNIT MA-1

"ESSICK" #400, 7400 C.F.M. OF AIR AT .4 INCH STATIC PRESSURE, 625 R.P.M. AND 40°F. TEMPERATURE RISE. 3 HORSEPOWER 208 VOLT 3 - PHASE - 60 CYCLE BLOWER MOTOR 9.4 FULL LOAD AMPS. 1000 LBS OPERATING WEIGHT. BTU/HR INPUT.

EXHAUST FAN EF-1

"PACE" #CRE-8F (SKYCAP), 500 C.F.M. OF AIR AT .375 EXTERNAL STATIC PRESSURE, 1286 R.P.M. 1600 F.P.M., 1/3 HORSEPOWER 120 VOLT - 1 PHASE - 60 CYCLE BLOWER MOTOR COMPLETE WITH STANDARD CURB AND BIRD SCREENS.

EXHAUST FAN EF-2

"PACE" #CRE-8F (SKYCAP) (TYPICAL TO EF-1)

TOILET ROOM EXHAUST FANS

EXHAUST FAN EF-3

"PACE" DD-450G, 400 C.F.M. OF AIR AT .20 INCH STATIC PRESSURE 1/10 HORSEPOWER 120 VOLT - 1 PHASE - 60 CYCLE BLOWER MOTOR, WITH STYLE RO FACE PLATE.

EXHAUST FAN EF-4

"PACE" #DD-450G, (TYPICAL TO EF-3)

EXHAUST FAN EF-5

"PACE" #DD-200G, 130 C.F.M. OF AIR AT .20 INCH STATIC PRESSURE 1/50 HORSEPOWER 120 VOLT - 1 PHASE - 60 CYCLE BLOWER MOTOR, WITH STYLE RO FACE PLATE.

EXHAUST FAN EF-6 & EF-7

"PACE" #DD-200G, (TYPICAL TO EF-5)

BARMAKIAN WOLFF-LANG CHRISTOPHER ARCHITECTS

181 ARCHICENTER 9375 ARCHIBALD RANCHO CUCAMONGA CALIFORNIA 91730 714-987-0909

CONSULTANT

APPROVED

APPROVED

NO	DATE	BY	REVISION REMARKS

SCHEDULE, 1/4" PLANS

DRAWN:
CHECKED:
DATE:
SCALE: AS NOTED
JOB NO 81-02

M-2

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architecture planning interior
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
SUITE G-205 TEL (714) 668-4260 FAX (714) 668-4265

LICENSED ARCHITECT LONGKAWEECH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

BLDG. DEPT. CORRECT. DATE: 01/13/2022

JOB NO.: 4107
DRAWN BY: STAFF
CHECKED BY: LP
SCALE: N.T.S.
DATE: 12/08/21

REFERENCE SHEET

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-6.1

SHEAR WALL SCHEDULE

WALL	DESCRIPTION	ANCHORAGE	HOLDOWN
1	5/8" PLYWOOD SHT'G ON ONE W/ 6d @ 4" OC EN & 6d @ 12" OC FN BLOCK ALL EDGES	3/4" Φ x 10" A.B. @ 48" OC	"SIMPSON" HD-5 @ EA. END
2	5/8" PLYWOOD SHT'G ON ONE SIDE W/ 8d @ [illegible] OC EN & 8d @ 12" OC FN BLOCK ALL EDGES	3/4" Φ x 10" A.B. @ 48" OC	"SIMPSON" HD-12 @ EA. END
3	5/8" PLYWOOD SHT'G ON ONE SIDE W/ 8d @ 2 1/2" OC EN & 8d @ 12" OC FN BLOCK ALL EDGES	3/4" Φ x 10" A.B. @ 32" OC	"SIMPSON" HD-6 @ EA. END
4	5/8" PLYWD SHT'G ON ONE SIDE W/ 6d @ 4" OC EN & 6d @ 12" OC FN BLOCK ALL EDGES	5/8" Φ x 10" A.B. @ 48" OC	NONE

FOOTING SCHEDULE

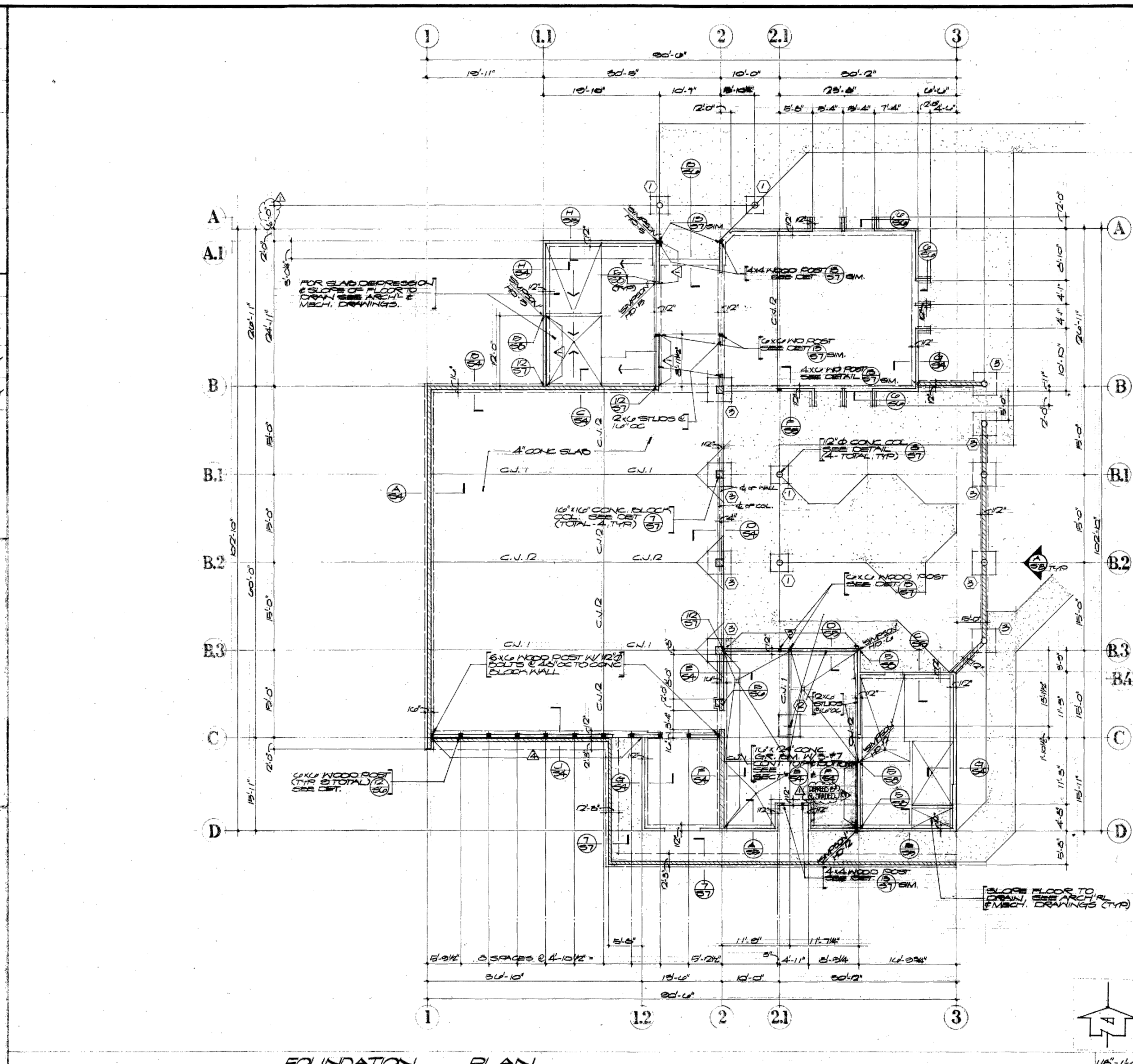
FTG	SIZE	THICKNESS	REINF.
1	3'-0" x 3'-0"	18"	3-#4 EA. WAY
2	3'-6" x 3'-6"	18"	4-#4 EA. WAY
3	4'-0" x 4'-0"	18"	4-#4 EA. WAY

FOUNDATION NOTES

1. PRIOR TO POURING CONCRETE, THE FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY THE BUILDING DEPARTMENT INSPECTOR.
2. SEE ARCHITECTURAL DRAWINGS FOR ALL SITE WORK.
3. ALL SLEEVES BELOW FOOTINGS MUST BE POURED-IN-PLACE PRIOR TO POURING FOOTINGS.
4. ALL ELECTRICAL AND PLUMBING LOCATIONS MUST BE VERIFIED WITH THE OWNER PRIOR TO POURING SLAB.
5. FOR INTERIOR FLOOR SLAB DEPRESSIONS, FLOOR DRAINS, ETC. SEE ARCHITECTURAL DRAWINGS PRIOR TO POURING SLAB.
6. ALL ELECTRICAL, PLUMBING AND OTHER UNDERGROUND WORK SHALL CONFORM TO DETAIL 6/S1
7. STEP FOOTINGS AS REQUIRED AS PER DETAIL 12/S1
8. PROVIDE INTERIOR SLAB CONTROL JOINTS AS PER DETAIL 5/S1
9. NO WOOD OR STEEL STAKES SHALL BE PERMITTED IN FOOTINGS.
10. ⬡ INDICATES FOOTING PAD; FOR SIZE AND REINFORCING REQUIRED, SEE FOOTING SCHEDULE ON THIS SHEET.
11. ALL SITE PREPARATION, EXCAVATION AND COMPACTION SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.

FRAMING NOTES

1. FOR SIZE AND LOCATION OF ROOF OPENINGS, SEE ARCHTECTIAL AND MECANICAL DRAWINGS.
2. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION.
3. ROOF TRUSS FABRICATOR SHALL SUBMIT FRAMING LAYOUT, DETAILS AND CALCULATIONS OF THE PROPOSED SYSTEM TO THE STRUCTUAL ENGINEER FOR REVIEW, AND TO THE BUILDING DEPARTMENT FOR APPROVAL, PRIOR TO THE FABRICATION. THE FRAMING LAYOUT, DETAILS AND CALCULATIONS SHALL BE SIGNED BY A CALIFORNIA REGISTERED CIVIL OR STRUCTUAL ENGINEER.
4. ROOF TRUSS FABRICATOR SHALL VERIFY THE EXACT SIZE, WEIGHT, AND LOCATION OF ALL MECHANICAL EQUIPMENT. DETAILS SHALL BE SU SUBMITTED FOR THE METHOD OF SUPPORT FOR THE ADDITIONAL LOAD.
5. FOR ROOF TRUSS DESIGN: ROOF DEAD LOAD IS __PSF AND LIVE LOAD IS . PSF
6. FOR ROOF OPENING SEE DETAIL. 3/S8
7. FOR TOP PLATES SPLICE, SEE DETAIL 10/S6



FOUNDATION PLAN 1/8" = 1'-0"

BARMAKIAN WOLFF*LANG CHRISTOPHER ARCHITECTS

101 ARCHCENTER 9375 ARCHIBALD RANCHO CUCAMONGA CALIFORNIA 91730 714-987-0909

Yucca Valley Senior Center

Structural Engineer, Inc.
9375 ARCHIBALD AVE., SUITE 209
RANCHO CUCAMONGA, CA 91730
(714) 980-2744

APPROVED

APPROVED

NO	DATE	BY	REVISION REMARKS
1	12-15-82	RGH	RECORD DRAWINGS

FOUNDATION PLAN

DRAWN RGH
CHECKED
DATE 9-24-81
SCALE AS NOTED
JOB NO

S-2

FOR REFERENCE ONLY

LICENSED ARCHITECT LONGKAVACH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

architecture planning interior

Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

CONSTRUCTION SET

1 BLDG. DEPT. CORRECT. DATE: 01/13/2022

JOB NO.: 4107
DRAWN BY: STAFF
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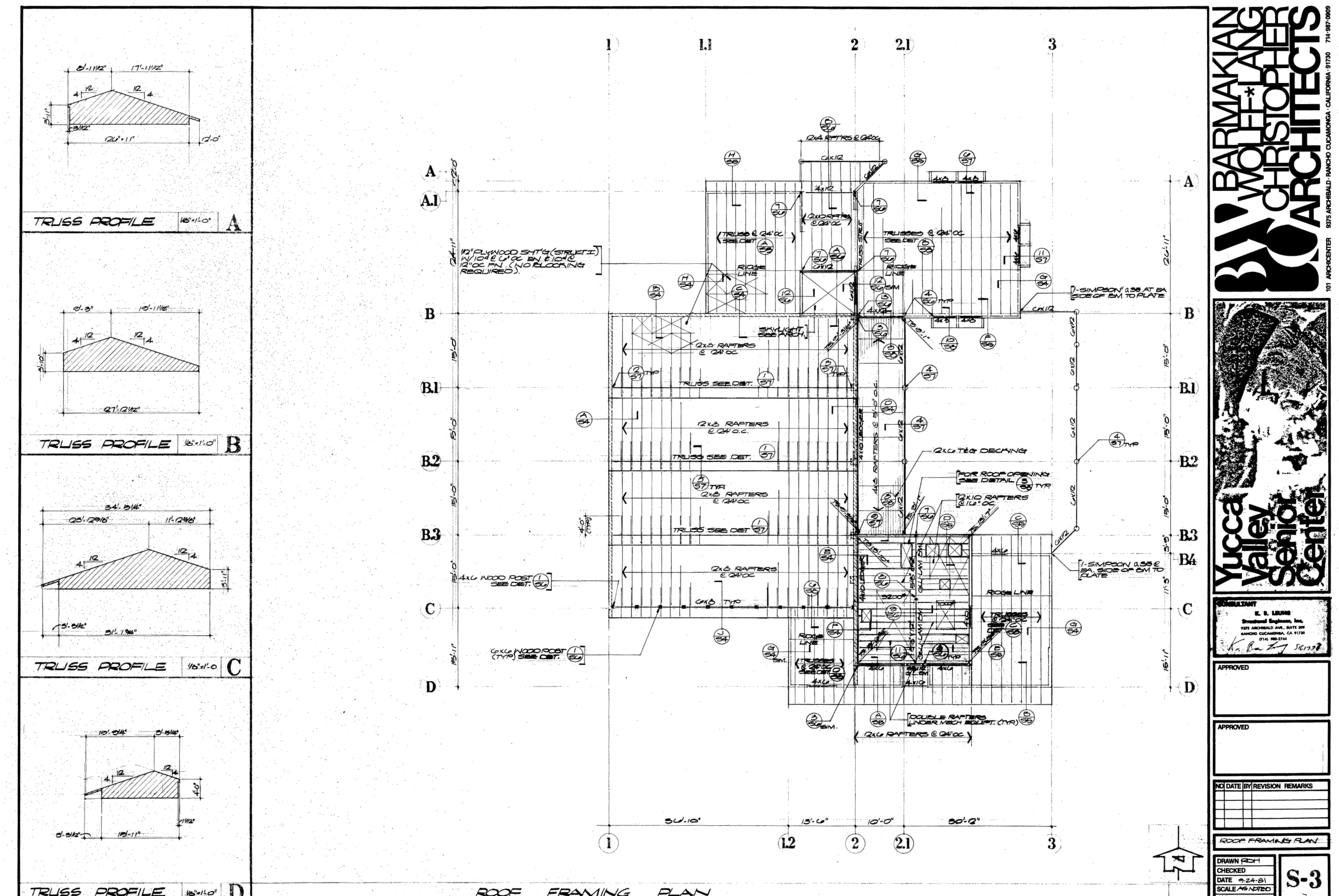
SCALE: N.T.S.
DATE: 12/08/21

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

REFERENCE SHEET

A-6.2



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CONSTRUCTION SET

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Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET SUITE G-205
COSTA MESA CALIFORNIA 92626
TEL (714) 668-4260
FAX (714) 668-4265

LICENSED ARCHITECT LONGKAMVANICH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

BLDG. DEPT. CORRECT. DATE: 01/13/2022

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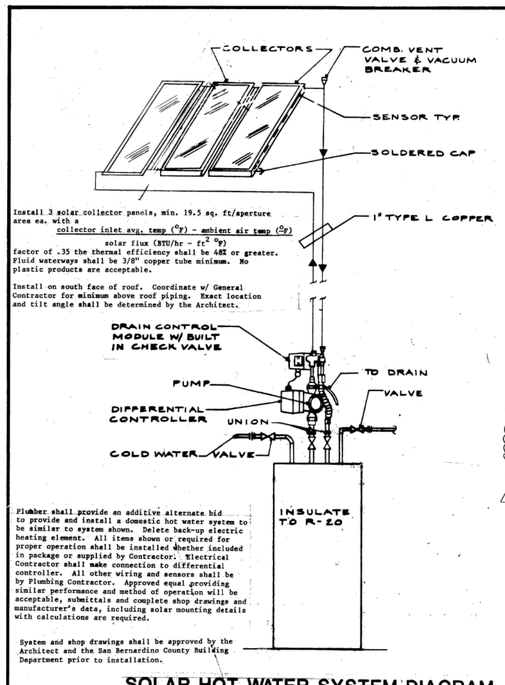
DRAWN BY: STAFF
CHECKED BY: LP
SCALE: N.T.S.
DATE: 12/08/21

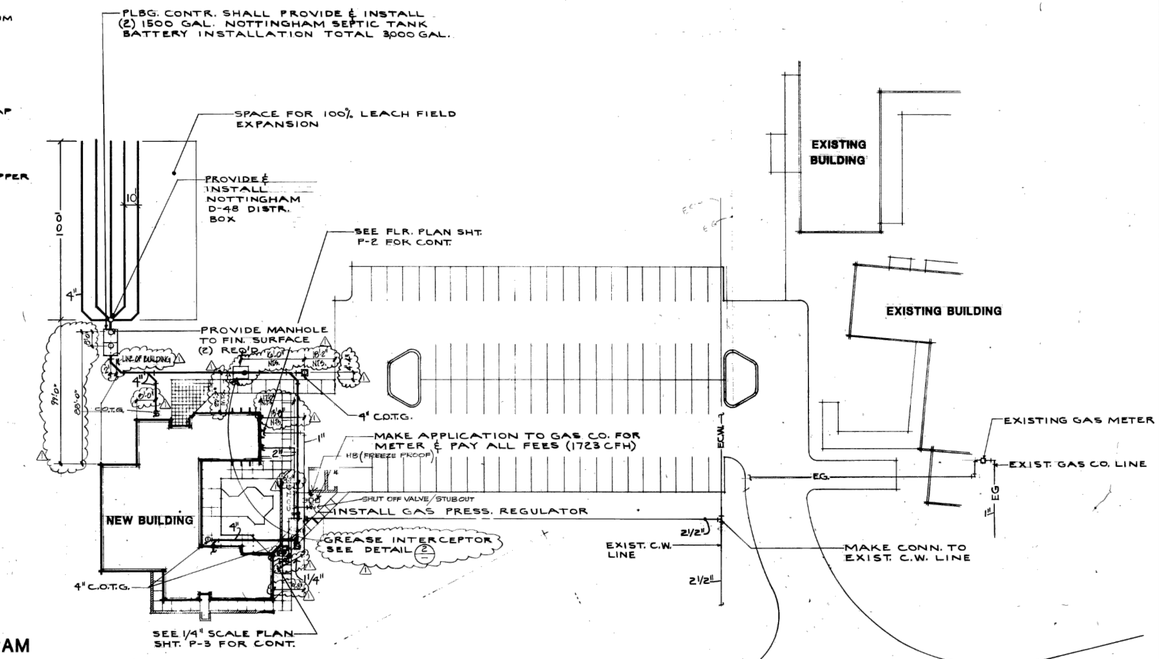
REFERENCE SHEET

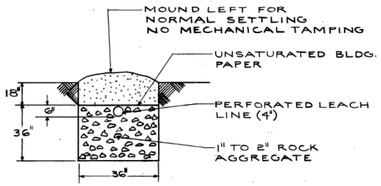
TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-6.3

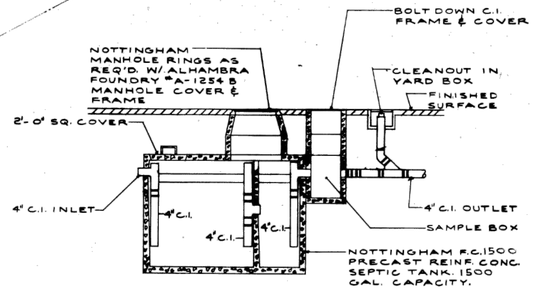


SOLAR HOT WATER SYSTEM DIAGRAM





LEACH LINE DETAIL (1)
NOT TO SCALE



GREASE INTERCEPTOR DETAIL (2)

PLUMBING SITE PLAN

SCALE 1" = 30'-0"

BARMAKIAN WOLFE*LANG CHRISTOPHER ARCHITECTS
9275 ARCHIBALD RANCHO CUCAMONGA CALIFORNIA 91730 714-987-0909
101 ARCHICENTER

CONSULTANT
LMAD ENGINEERS, INC. MECHANICAL & ELECTRICAL

APPROVED

APPROVED

NO	DATE	BY	REVISION REMARKS
1	2-9-82	LW	ROOFD DRAWINGS

PLUMBING SITE PLAN

DRAWN
CHECKED
DATE 1-24-81
SCALE 1"=30'
JOB NO 8025

P-1

FOR REFERENCE ONLY

Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

CONSTRUCTION SET

BLDG. DEPT. CORRECT.	DATE: 01/13/2022
	DATE: 12/08/21
JOB NO.: 4107	
DRAWN BY: STAFF	
CHECKED BY: LP	
SCALE: N.T.S.	

REFERENCE SHEET

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-6.4

PLUMBING LEGEND

[illegible]	[illegible]	[illegible]
———	S. or W.	SOIL OR WASTE
– – – –	V.	SANITARY VENT
———	C.W.	COLD WATER
———	H.W.	HOT WATER
—G—	G.	FUEL GAS
—ES—	E.S.	EXISTING SOIL OR WASTE
—ECW—	E.W.	EXISTING COLD WATER
—EG—	E.G.	EXISTING FUEL GAS
	G.V.	GATE VALVE
	S.O.V.	SHUT-OFF VALVE ON RISER OR DROP
	C.V.	CHECK VALVE
	U.	UNION
	H.B.	HOSE BIBB
	F.C.O.	FLOOR CLEANOUT
	C.O.T.G.	CLEANOUT TO GRADE
	W.C.O.	WALL CLEANOUT
	P.Y.	PLUGGED "WYE"
	F.D.	FLOOR DRAIN
	C.L.	CAPPED LINE
	P.T.	PLUGGED "TEE" (W/NIPPLE & CAP)
	UP	RISER
	DN.	DROP OR DOWN
	ABV.	ABOVE
	A.P.	ACCESS PANEL
	BEL.	BELOW
	C.I.	CAST IRON
	CLG.	CEILING
	CONN.	CONNECT OR CONNECTION
	CONT.	CONTINUATION
	CONTR.	CONTRACTOR
	ELEV.	ELEVATION
	FIN.	FINISH
	F.F.E.	FINISH FLOOR ELEVATION
	FLR.	FLOOR
	GR.	GRADE
	HDR.	HEADER
	HTG.	HEATING
	I.E.	INVERT ELEVATION
	LOC.	LOCATION
	N.I.P.C.	NOT IN PLUMBING CONTRACT
	TYP.	TYPICAL
	V.T.R.	VENT THROUGH ROOF
	V.C.P.	VITRIFIED CLAY PIPE
	Y.B.	YARD BOX
	HTR.	HEATER
	P.O.C.	POINT OF CONNECTION
	W.H.A.	WATER HAMMER ARRESTER
—D.S.—	D.S.	DOWNSPOUT
—O.D.—	O.D.	OVERFLOW DRAIN
—S.D.—	S.D.	STORM DRAIN
—MPG—	MPG	MEDIUM PRESSURE GAS

FIXTURE SCHEDULE

[illegible]	[illegible]	TRAP	VENT	[illegible]	[illegible]	[illegible]
WC 1	4"	INT.	2"	●	1/2"	FLOOR MTD. TANK TYPE WATER CLOSET
U 1	2"	INT.	1 1/2"	●	3/4"	FLOOR MTD. URINAL
L 1	2"	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER MTD. LAVATORY
L 2	2"	1 1/2"	1 1/2"	1/2"	1/2"	WALL HUNG LAVATORY
FS 1	3"	2"	1 1/2"	●	●	FLOOR SINK
FD 1	2"	2"	1 1/2"	●	●	FLOOR DRAIN W/ TRAP PRIMER
WC 2	4"	INT.	2"	●	[illegible]	FLR. MTD. FLUSH VALVE WATER CLOSET
RD 1	3"	●	●	●	●	ROOF DRAIN
RD 2	3"	●	●	●	●	ROOF DRAIN
SS 1	3"	2"	2"	3/4"	3/4"	SERVICE SINK

EQUIPMENT SCHEDULE

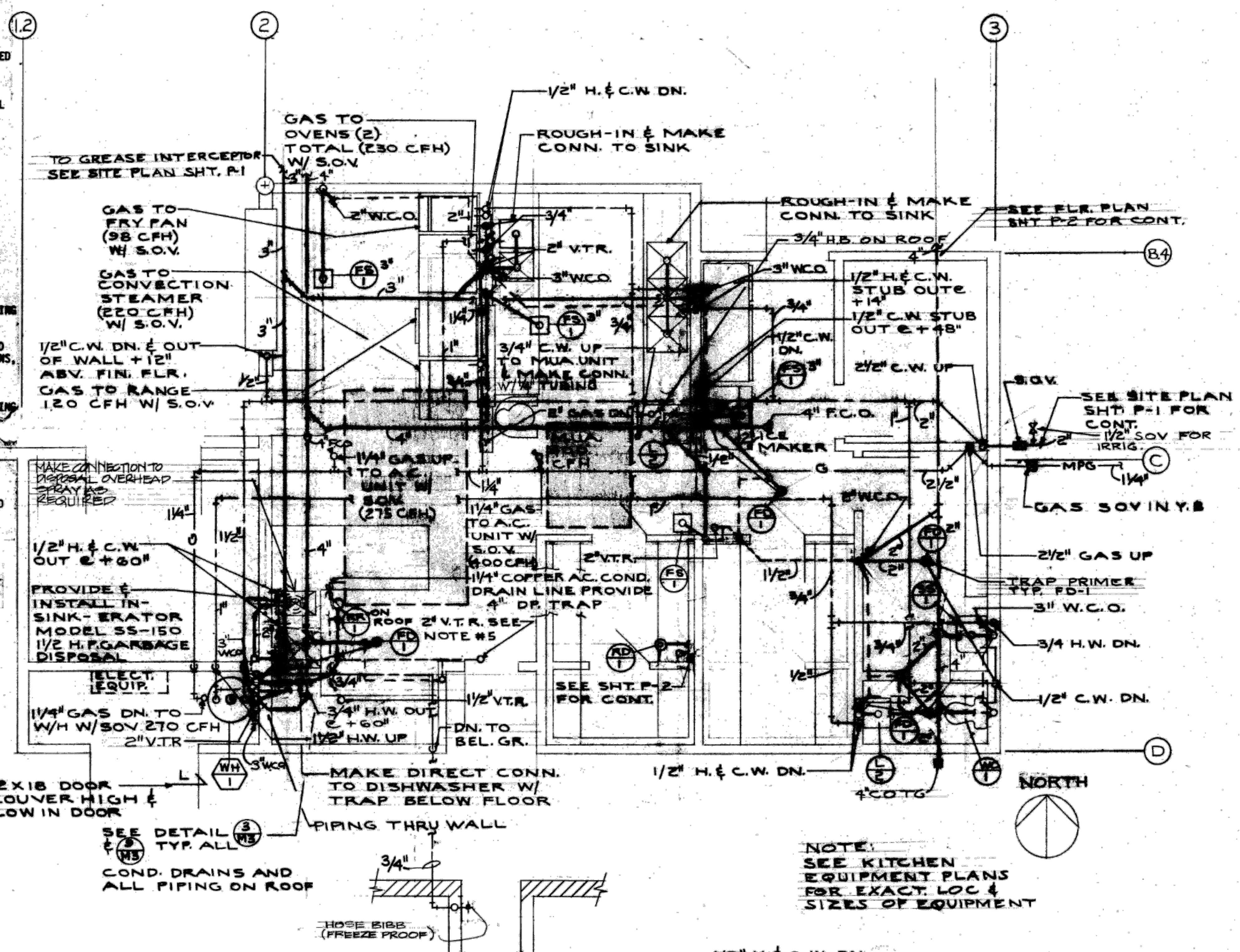
[illegible]	[illegible]					
WH 1	GAS WATER HTR. A.O. SMITH BT-270-A 100 GAL. CAP. 270,000 BTU/HR GAS INPUT TO RECOVER 227 GPH@ 100° F. TEMP. RISE OPERATING WEIGHT 1483 LB.					
WH 2	GAS WATER HTR. A.O. SMITH FSG-30 30 GAL. CAP. 30,000 BTU/HR GAS INPUT TO RECOVER 27 GPH@ 100° F. TEMP. RISE OPERATING WEIGHT 359 LB.					
RR 1	2"	1 1/2"	1 1/2"	●	●	A.C. CONDENSATE RECEPTOR
DF 1	2"	1 1/2"	1 1/2"	●	1/2"	ELECTRIC DRINKING FOUNTAIN

GENERAL NOTES

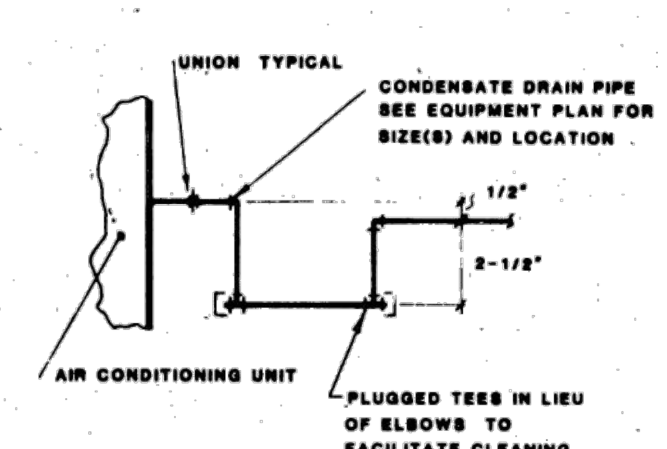
1. CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF EXISTING LINES, LATERALS AND WYES BEFORE STARTING TRENCHING. SHOULD IT BE NECESSARY TO REROUTE LINES DUE TO CONDITIONS FOUND ON THE SITE OR IF INDICATED P.O.C. CANNOT BE MADE TO THE LINES AS FOUND, THE CONTRACTOR SHALL BEFORE CONTINUING, NOTIFY THE ARCHITECT BEFORE INSTALLING ANY WORK WHICH MAY BE AFFECTED.
2. ALL SHUT-OFF VALVES AND GAS COCK STOPS BELOW GRADE SHALL BE INSTALLED IN CONCRETE YARD BOXES WITH NAME AND SERVICE CAST IN RAISED LETTERS ON TOP OF CAST IRON COVER.
3. OFFSET PIPES AS REQUIRED TO CLEAR MECHANICAL DUCTWORK AND STRUCTURAL FOOTINGS.
4. FURNISH AND INSTALL A GATE VALVE, PLUG COCK OR STOP AT EACH PIECE OF EQUIPMENT FURNISHED BY OTHERS REQUIRING DRAIN, WASTE, WATER, GAS, ETC.
5. EXTEND ALL VENTS A MINIMUM OF 10'-0" FROM FRESH AIR INTAKES.
6. SEAL AND FLASH ALL PENETRATIONS THROUGH ROOF WATERTIGHT.
7. PROVIDE AND INSTALL NEW TEES AND WYES AT EACH GAS, WATER OR SEWER POINT OF CONNECTION.
8. UNLESS OTHERWISE NOTED, ALL UNDERGROUND SEWER, WASTE AND STORM DRAIN LINES ARE TO BE CAST IRON.
9. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION OF ALL PLUMBING FIXTURES.
10. INTERRUPTION OF EXISTING SERVICES: CONTRACTOR'S ATTENTION IS CALLED TO THE PRESENCE OF EXISTING BUILDINGS, CONDUIT, PIPING, INSTALLATIONS, ETC. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER AND APPROVED REPAIR OF ANY AND ALL DAMAGE CAUSED BY HIM OR HIS WORK TO EXISTING BUILDINGS, PIPING, PLANTS, ETC. NEW WORK AND INSTALLATIONS SHALL BE MADE WITH MINIMAL INTERRUPTIONS OF SERVICES TO EXISTING BUILDINGS; ANY INTERRUPTIONS REQUIRED SHALL BE MADE TO MINIMIZE INCONVENIENCE TO THE OWNER AND AT TIMES AS APPROVED IN ADVANCE BY THE ARCHITECT. NEW WORK AND INSTALLATIONS SHALL NOT IMPAIR THE PROPER FUNCTIONING OF THE EXISTING FACILITY AND THE COMPLETED PROJECT SHALL BE A PROPERLY FUNCTIONING ENTITY THROUGHOUT. FURNISH ALL LABOR AND MATERIALS REQUIRED TO RELOCATE, REMOVE, REINSTALL, RECONNECT, REPLACE, ETC., ANY EXISTING PIPING TO ACCOMMODATE THE WORK. MATERIALS AS HEREINBEFORE SPECIFIED UNLESS OTHERWISE APPROVED IN WRITING BY THE ARCHITECT. CONTRACTOR SHOULD CONSIDER IN HIS BID FOR ANY EXTRA WORK REQUIRED TO MINIMIZE SHUTDOWN TIME.
11. PROVIDE AN INDIVIDUAL IRON PIPE CONDENSATE DRAIN FULL SIZE OF PAN TAPPING WITH A 4" DEEP TRAP FOR EACH COOLING COIL AT EACH UNIT, AND RUN TO ROOF RECEPTOR OR FLOOR SINK. USE PLUGGED TEES IN PLACE OF ELBOWS TO FACILITATE CLEANING.

ENERGY CONSERVATION NOTES

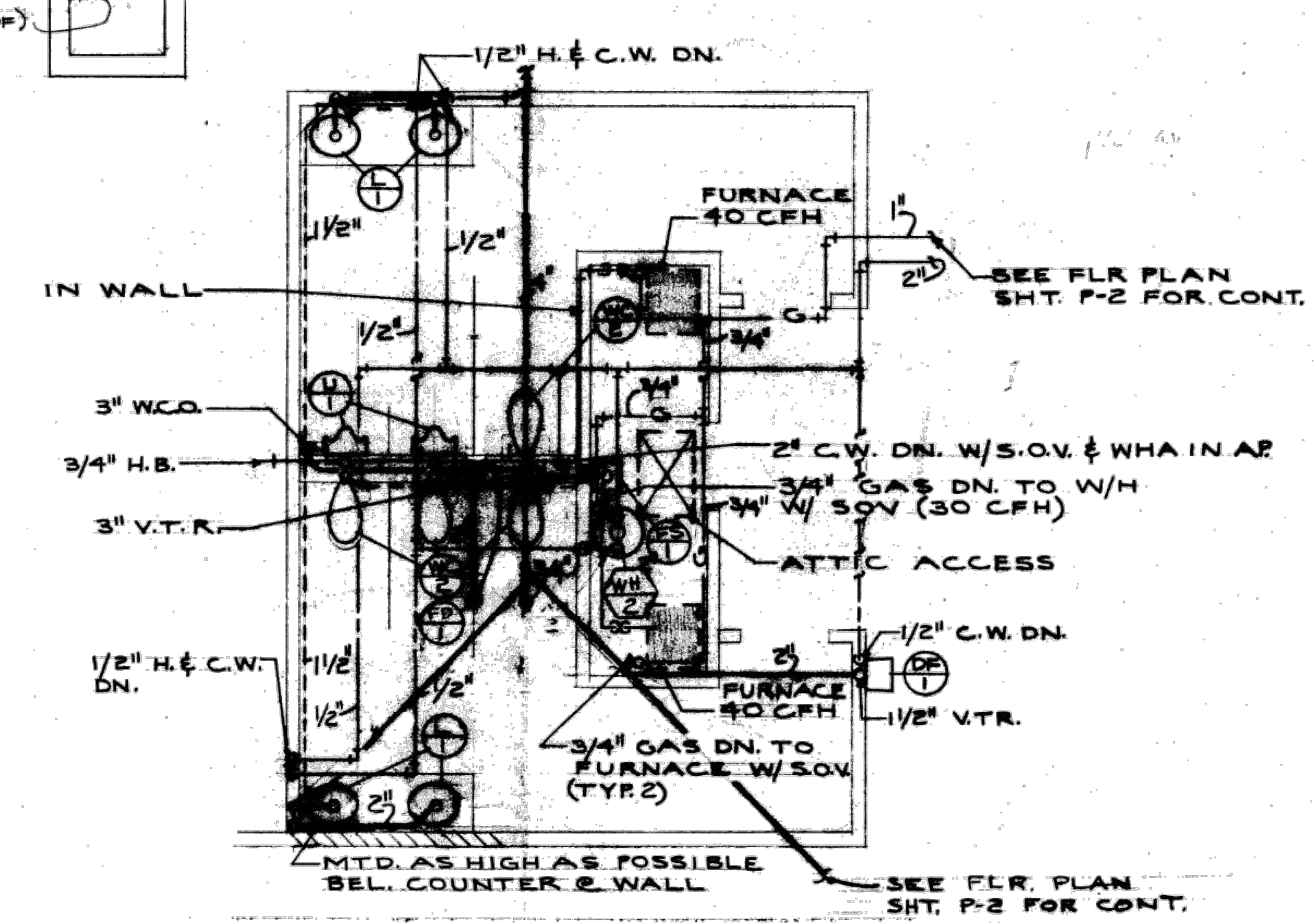
1. SERVICE WATER HEATING SHALL HAVE TEMPERATURE CONTROL CAPABLE TO BE SET AT A MINIMUM TEMPERATURE OF 105°F.
2. ALL SERVICE HOT WATER TO BE INSULATED WITH INSULATION RESISTANCE R=4.0 MINIMUM.
3. SHOWER HEADS, SINK AND LAVATORY FAUCET SHALL BE EQUIPPED WITH 3 G.P.M. MAXIMUM FLOW CONTROL DEVICE.
4. WATER HEATER PERFORMANCE AND EFFICIENCY TO COMPLY WITH T20-1521 OF ENERGY CONSERVATION STANDARDS.



KITCHEN PLUMBING PLAN



Condensate Drain Deep Trap



TOILET ROOM PLUMBING PLAN

1/4" = 1'-0"

[illegible]

1. ALL [illegible] DIMENSIONS [illegible] ARE [illegible] FROM FINISH FACE OF WALLS, OR FROM CENTERLINE OF OUTLET TO CENTERLINE OF OUTLET.
2. ALL SYMBOLS NOTED (+) STUB OUT OF WALL (MINIMUM OF 4") AT HEIGHT INDICATED. HEIGHT IS GIVEN FROM FINISHED FLOOR (NOT FINISHED BASE) AT LOCATION SHOWN.
3. ALL "STUB-UP" INDICATED, TO STUB-UP OF MAXIMUM OF 4" ABOVE FINISHED BASE OR FLOOR SO AS NOT TO INTERFERE WITH THE INSTALLATION OF FIXTURES.
4. ALL FLOOR SINKS INDICATED [illegible] OF [illegible] TO BE FLUSH WITH FINISHED FLOOR. ALL FULLY OR PARTIALLY [illegible] FLOOR SINKS TO BE PROVIDED WITH [illegible]. IN THE EVENT LOCAL CODES REQUIRE FLOOR SINKS TO BE ABOVE OR [illegible] FLOOR LINE, PLUMBER SHALL COMPLY WITH LOCAL CODES.
5. PLUMBER TO PROVIDE ANY ADDITIONAL FLOOR DRAINS AND/OR OTHER PLUMBING REQUIREMENTS AS INDICATED ON ARCHITECT'S DRAWINGS.
6. PLUMBER TO RUN INSULATED DRAIN LINES FROM ALL REFRIGERATED EQUIPMENT TO FLOOR SINKS.
7. ALL DRAIN LINES FOR SINKS, DISHWASHER, REFRIGERATED SECTIONS AND COIL DRAIN PANS EITHER TO DIRECT OR INDIRECT WASTE LINES TO BE NO SMALLER THAN STUB OUT OF FIXTURE ITSELF.
8. PLUMBER TO INSTALL GAS SHUT-OFF VALVE TO ALL COOKING EQUIPMENT. VALVE TO BE PROVIDED BY FOOD EQUIPMENT SUPPLIER.
9. STUB OUTS AND CONNECTIONS SHALL BE PROVIDED BY CONTRACTOR IN ACCORDANCE WITH EXACT EQUIPMENT THAT IS SUPPLIED. KITCHEN CONTRACTOR AND OWNER WILL PROVIDE CONTRACTOR WITH ALL NECESSARY PLUMBING INFORMATION FOR STUB OUTS AND CONNECTION OF KITCHEN EQUIPMENT. SLAB SHALL NOT BE POURED IN KITCHEN AREA [illegible] WRITTEN APPROVAL IS ACQUIRED FROM OWNER AND KITCHEN EQUIPMENT SUPPLIER.

BWC BARMAKIAN WOLFF-LANG CHRISTOPHER ARCHITECTS
101 ARCHCENTER 9375 ARCHIBALD · RANCHO CUCAMONGA · CALIFORNIA · 91730 714-987-0909

Yucca Valley Senior Center

CONSULTANT: TMAD ENGINEERS INC. MECHANICAL & ELECTRICAL

APPROVED

APPROVED

NO	DATE	BY	REVISION	REMARKS

1/4" PLUMBING PLAN

DRAWN
CHECKED
DATE 4-24-81
SCALE
JOB NO

P-3

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architecture planning interior
Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626 SUITE G-205 TEL (714) 668-4260 FAX (714) 668-4265
LICENSED ARCHITECT LONGKAWADI CH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

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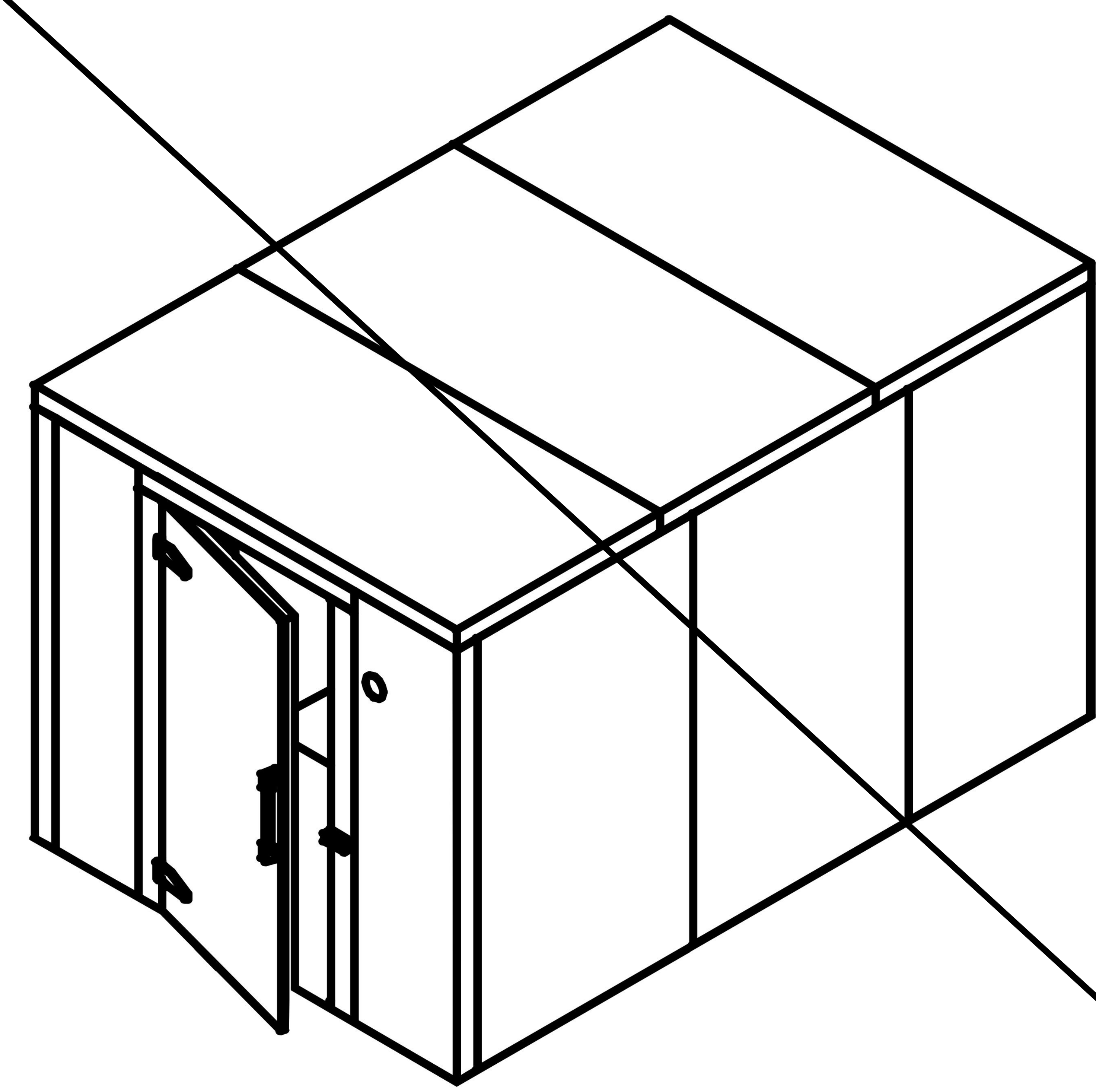
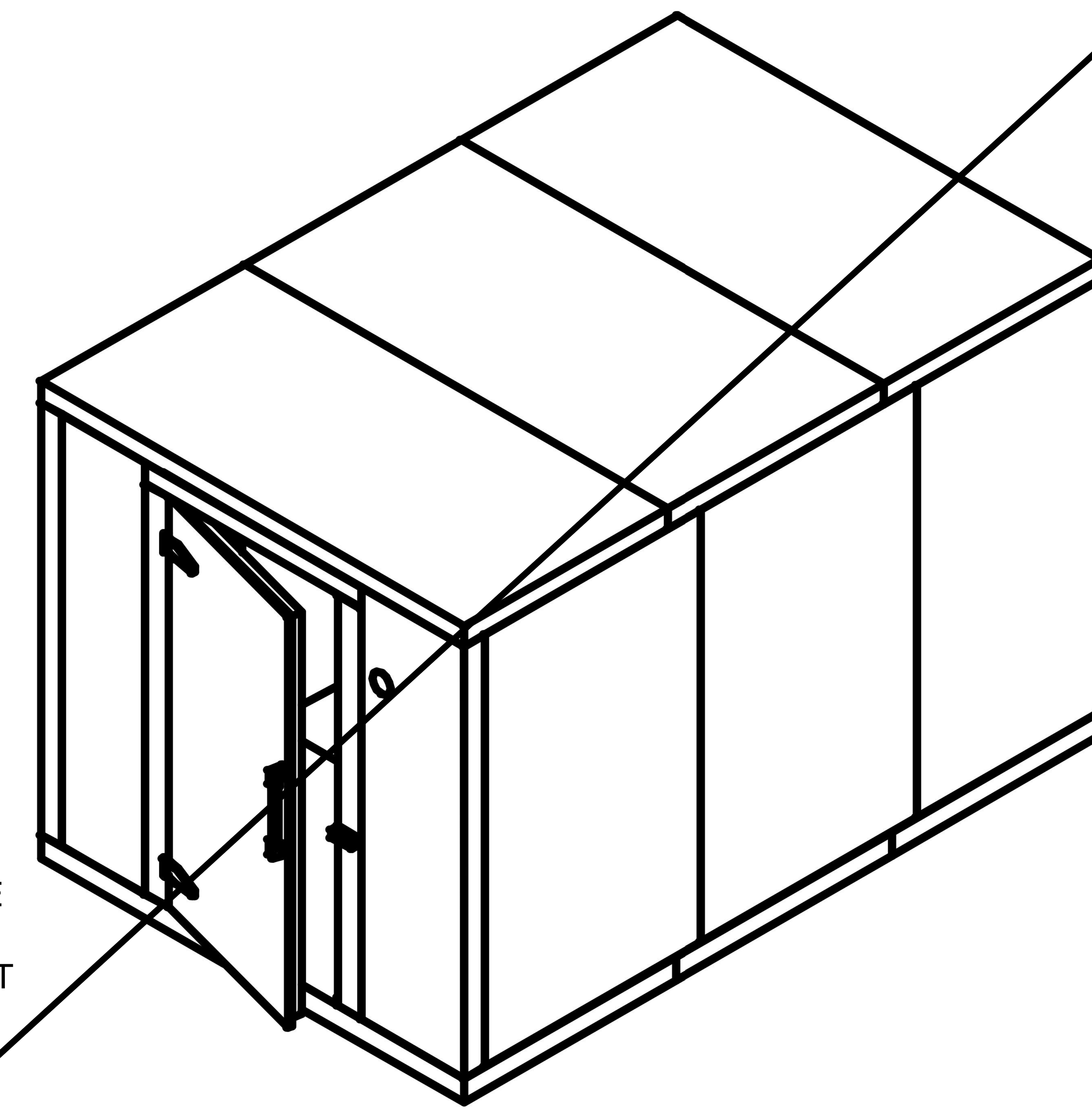
Senior Center - Kitchen Equipment Upgrades

A-6.5



01 WALK-IN COOLER
A-7.1 Scale : N.T.S.

NOT A PART - TO BE PURCHASED UNDER SEPARATE CONTRACT



02 WALK-IN FREEZER
A-7.1 Scale : N.T.S.

BASIS OF DESIGN: U.S. COOLER

SPECIFICATIONS:
-U.S. COOLER MODEL NO. 525627
-1 FASTCOOLER STD. NOM. WALK-IN COOLER: 4" EXTRUDED POLYSTYRENE, STUCCO EMBOSSED GALVALUME 26 GAUGE EXTERIOR, STUCCO EMBOSSED GALVALUME 26 GAUGE INTERIOR, NSF APPROVED.
-1 DOOR, GREY VINYL SCREENING AT THE DOOR, (1) 24"X 76" MED TEMP INSIDE, WITHOUT FLOOR, VERT-ERGO HANDLE, LED LIGHT, LED THERMOMETER, SWITCH, DOOR CLOSER AND ADJUSTABLE SPRING LOADED HINGES.
-1 REFRIGERATION
-1 CONDENSING UNIT:
- MANUFACTURER: RUSSELL
- DESCRIPTION: PRE-ASSEMBLED REMOTE MED TEMP R448A AIR COOLED OUTDOOR CONDENSING UNIT
- MODEL: RFH080E4SDA
- COMPRESSOR: 3/4 HP, HERMETIC
- EXTRAS: LIQUID LINE FILTER DRIER, SIGHT GLASS - INCLUDED
- ELECTRICAL: 208-230/1PHASE/60HZ RLA: 6.1 MOPD: 15 MCA: 15
- CONDITIONS: BTUH: 6170 ROOM TEMP: 35°F COND AMBIENT: 110°F
- SIZING BOX: 5493 BTUH NEEDED FOR MAX. 10'-9 1/4"D X 7'-10"W X 7'-6"H (APPROX.)
- ROOM CLEARANCE: DEPTH: 11'-6", WIDTH: 8'-5", HEIGHT: 8'-0"
- SIZING PRODUCT: 920LBS OF MISC PRODUCT ENTERING AT 55°F
- WARRANTY:
  -PARTS: 1-YEAR STANDARD MANUFACTURER

-1 EVAPORATOR (UNIT COOLER):
- MANUFACTURER: RUSSELL
- DESCRIPTION: PRE-ASSEMBLED AIR DEFROST LOW PROFILE COIL
- MODEL: RL6A052ADA
- EXTRAS: EXPANSION VALVE (ERVE-1/3-C), SOLENOID VALVE (E2S120) -MOUNTED
- ELECTRICAL: 115/1PHASE/60HZ FAN AMPS: 0.8 DEFROST AMPS: 0
- WARRANTY:
  - PARTS: 1-YEAR STANDARD MANUFACTURER

-1 EXTENDED 2ND-5TH YEAR REFRIGERATION WARRANTY 1/2 HP TO 1 HP COMPRESSOR ONLY
-1 EXTENDED REFRIGERATION WARRANTY; 1ST DAY - 1ST YEAR - 1/2 TO 1 HP LABOR ONLY

BASIS OF DESIGN: U.S. COOLER

SPECIFICATIONS:
-U.S. COOLER MODEL NO. 525662
-WALK-IN FREEZER: 4" EXTRUDED POLYSTYRENE, STUCCO EMBOSSED GALVALUME 26 GAUGE EXTERIOR, STUCCO EMBOSSED GALVALUME 26 GAUGE INTERIOR, NSF APPROVED.
-1 FLOOR: 4" EXTRUDED INSULATION, 22 GAUGE STAINLESS STEEL INTERIOR, STUCCO EMBOSSED GALVALUME 26 GAUGE EXTERIOR. U.S. COOLER FLOORS ARE NOT DESIGNED FOR THE USE OF FORKLIFTS, PALLET JACKS, OR HARD WHEELED CARTS. DAMAGE CAUSED BY THIS USAGE WILL VOID THE PANEL WARRANTY
-1 DOOR, 34 IN. X 76 IN.; LOW TEMP INSIDE, WITH FLOOR, THRESHOLD, VERT-ERGO HANDLE, LED LIGHT, LED THERMOMETER SWITCH, DOOR CLOSURE AND ADJUSTABLE SPRING-LOADED HINGES
-1 PRESSURE RELIEF INSTALLED
-1 REFRIGERATION
-1 CONDENSING UNIT:
- MANUFACTURER: RUSSELL
- DESCRIPTION: PRE-ASSEMBLED REMOTE LOW TEMP R448A AIR COOLED OUTDOOR CONDENSING UNIT
- MODEL: RFO250L4SDA
- COMPRESSOR: 2-1/2 HP, SCROLL
- EXTRAS: LIQUID LINE FILTER DRIER, SIGHT GLASS - INCLUDED
- ELECTRICAL: 208-230/1PHASE/60HZ RLA: 14.7 MOPD: 45 MCA: 32
- CONDITIONS: BTUH: 7210 ROOM TEMP: -10°F COND AMBIENT: 110°F
- SIZING BOX: 6558 BTUH NEEDED FOR MAX. 10'-9 1/4"D X 7'-6"W X 7'-6"H (APPROX.)
- ROOM CLEARANCE: DEPTH: 11'-6", WIDTH: 7'-9", HEIGHT: 8'-0"
- SIZING PRODUCT: 662LBS OF MISC PRODUCT ENTERING AT 20°F
- WARRANTY:
  - PARTS: 1-YEAR STANDARD MANUFACTURER (OPTIONAL EXTENDED PARTS
  -1 EVAPORATOR (UNIT COOLER):
- MANUFACTURER: RUSSELL
- DESCRIPTION: PRE-ASSEMBLED ELECTRIC DEFROST LOW PROFILE COIL
- MODEL: RL6E066DDAS
- EXTRAS: EXPANSION VALVE (ERVE-1-ZP), SOLENOID VALVE (E3S130) - MOUNTED
- ELECTRICAL: 208-230/1PHASE/60HZ FAN AMPS: 1 DEFROST AMPS: 9.8
- WARRANTY:
  - PARTS: 1-YEAR STANDARD MANUFACTURER

-EXTENDED WARRANTY:
- 1 EXTENDED 2ND-5TH YEAR REFRIGERATION WARRANTY 2 1/2 HP COMPRESSOR ONLY
- 1 EXTENDED REFRIGERATION WARRANTY: 1ST DAY - 1ST YEAR - 2 1/2 HP LABOR ONLY

GENERAL SCOPE OF WORK:

DEFERRED SCOPE OF WORK:

UNDER SEPARATE CONTRACT:

EPOXY FLOOR AND COVED BASE AT BOTH WALK-IN COOLER AND WALK-IN FREEZER

COUNTY HEALTH REQUIREMENTS:

1. EQUIPMENT MUST BE SPECIFICALLY CONSTRUCTED FOR COMMERCIAL USE, ANSI CERTIFIED FOR SANITATION (NSF, ITS, ETL, EPH, UL SANITATION OR CSA). DOMESTIC MODEL REFRIGERATION UNITS WILL NOT BE ACCEPTED.
2. MERCHANDISER UNITS (USUALLY DISPLAY REFRIGERATORS WITH GLASS DOORS) ARE NOT APPROVED FOR OPEN FOODS, AND ARE NOT PERMITTED IN FOOD PREP AREAS.
3. AN ACCURATE, READILY VISIBLE THERMOMETER LOCATED TO INDICATE THE AIR TEMPERATURE IN THE WARMEST PART OF THE UNIT (USUALLY BY THE DOOR) MUST BE PROVIDED.
4. SHELVING MUST BE NONABSORBENT AND EASILY CLEANABLE. (WOOD IS NOT ACCEPTABLE) USE ONLY SHELVING AS PROVIDED BY THE MANUFACTURER TO FACILITATE AIR CIRCULATION.
5. EQUIPMENT SURFACES MUST BE SMOOTH, NONABSORBENT AND EASILY CLEANABLE. ALL JOINTS MUST BE SEALED.
6. CONDENSATE WASTE FROM REFRIGERATION UNITS MUST DRAIN TO A FLOOR SINK VIA AN AIR GAP. IF DESIGNED BY THE MANUFACTURER, CONDENSATE MAY DRAIN TO A PROPERLY FUNCTIONING EVAPORATOR. RAPID COOL DOWN EQUIPMENT MAY BE REQUIRED DEPENDING ON THE FOOD OPERATION.
7. FLOOR SINKS, FLOOR DRAINS AND TRENCH DRAINS ARE NOT ALLOWED TO BE LOCATED INSIDE THE WALK-IN. TRENCH DRAINS CAN BE ALLOWED IMMEDIATELY OUTSIDE OF A WALK-IN COOLER DOOR.
8. ALL REFRIGERATION UNITS SHALL BE LOCATED WITHIN THE FOOD FACILITY. OUTDOOR REFRIGERATION UNITS ARE NOT ACCEPTABLE UNLESS THEY OPEN DIRECTLY INTO THE FOOD FACILITY.
9. A WALK-IN COOLER MAY BE REQUIRED IF THE PROPOSED MENU SUGGESTS THAT A MODERATE AMOUNT OF FOODS WILL BE COOKED AHEAD OF USE REQUIRE COOLING.
10. HAVE AN INTEGRAL COVED BASE WITH A RADIUS OF AT LEAST 3/8 INCH AT THE FLOOR/WALL JUNCTURE BOTH INSIDE AND OUTSIDE OF THE COOLER; THE FLOOR MATERIAL SHALL EXTEND UP TO A HEIGHT OF AT LEAST FOUR (4) INCHES ON THE WALLS. FOUR (4) INCH APPROVED METAL TOP SET COVING WITH A MINIMUM OF 3/8 INCH RADIUS IS ACCEPTABLE AGAINST METAL WALL SURFACES. (WOOD IS NOT AN ACCEPTABLE INTERIOR FINISH.)
11. HAVE SHELVING THAT IS AT LEAST SIX (6) INCHES OFF THE FLOOR WITH SMOOTH, ROUND, METAL LEGS OR CANTILEVERED, SUSPENDED DIRECTLY FROM THE WALL, FOR EASE OF CLEANING. WOOD SHELVING IS NOT ACCEPTABLE. SHELVING SHALL BE NON-CORROSIVE AND DESIGNED TO ALLOW FOR OPTIMUM FLOW OF REFRIGERATION AIR. SMALL, EASILY MOVABLE, CASTERED DOLLIES MAY BE USED IN PLACE OF A LOWER SHELF.
12. HAVE CONDENSATE WASTE DRAIN TO A FLOOR SINK VIA AN AIR GAP (BY GRAVITY FLOW). THE FLOOR SINK MUST BE LOCATED OUTSIDE THE WALK-IN REFRIGERATION UNIT AND WITHIN THE BUILDING.

LICENSED ARCHITECT LONGKAVACH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

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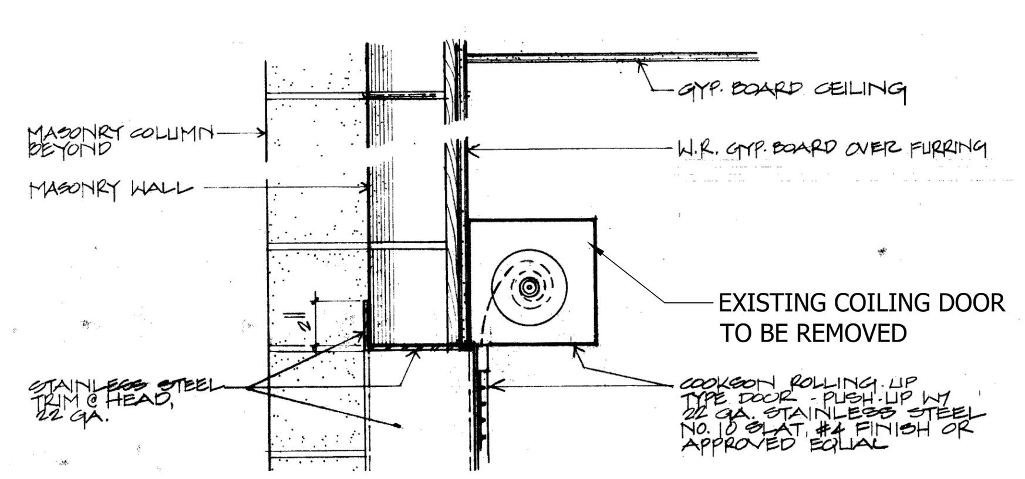
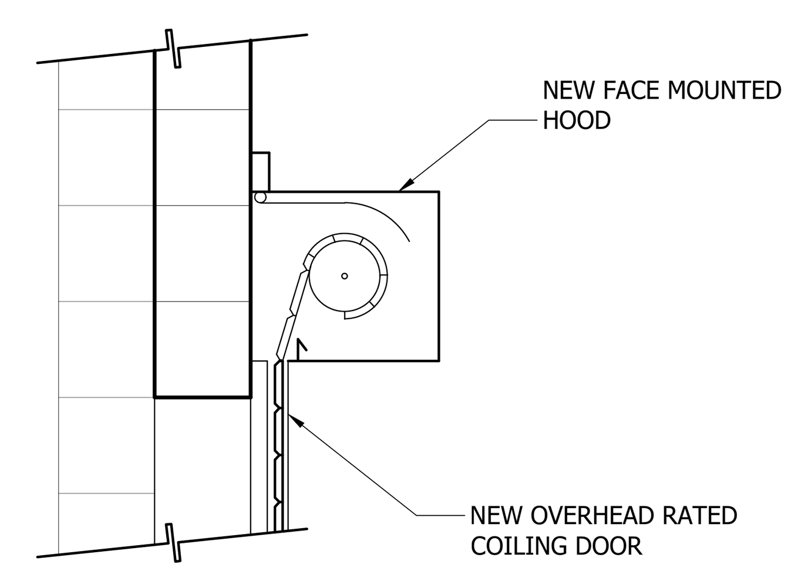
WALK-IN REFRIG. & FREEZER INFO

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-7.1



01 HEAD @ COUNTER - EXISTING
A-7.2 Scale : N.T.S.



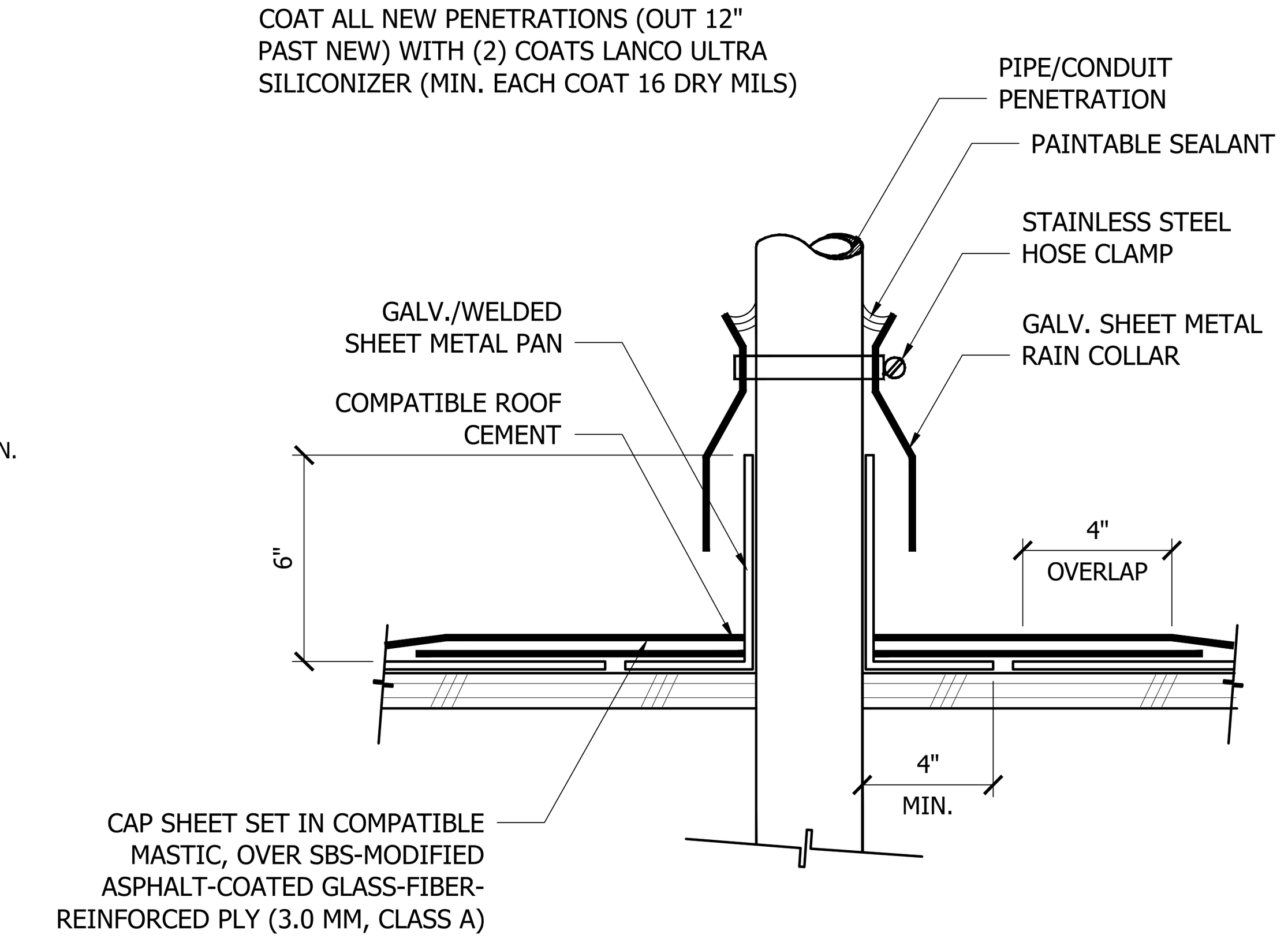
02 HEAD @ COUNTER - PROPOSED (RATED COILING DOOR)
A-7.2 Scale : N.T.S.

RATED COUNTER COILING DOOR (@ CMU WALL):

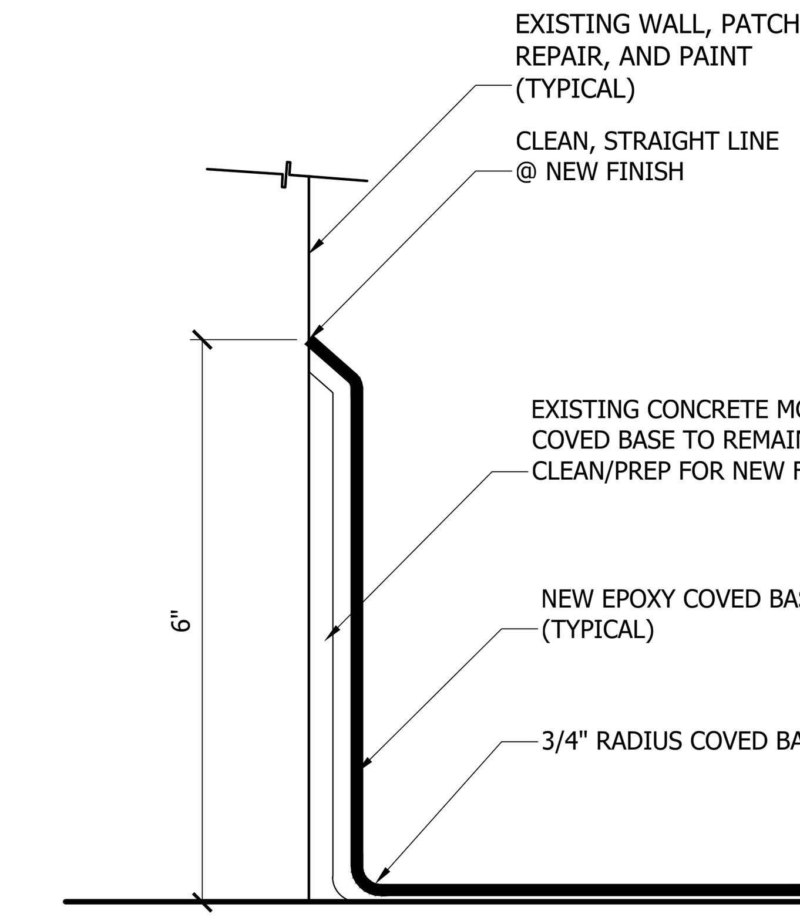
PROVIDE AND INSTALL RATED COUNTER COILING DOOR, 60 MINUTE RATING MIN.
1. MANUFACTURER: OVERHEAD DOOR, WWW.OVERHEADDOOR.COM
2. MODEL: 641, CLASS A, NFPA-80 COMPLIANT.
3. FUSIBLE LINK: 165 DEGREES FAHRENHEIT (TO AUTO CLOSE DOOR).
4. OPERATION: MANUAL CRANK.
5. FACE MOUNTED AT CMU OPENING
6. LOCKING (IN CLOSED POSITION ONLY): SLIDE BOLT ON SECURE SIDE
7. OPTIONS: CUSTOM SIZE TO MATCH PROPOSED OPENING
8. FINISH: STAINLESS STEEL SLAT, GUIDES AND HOOD

NOTE:

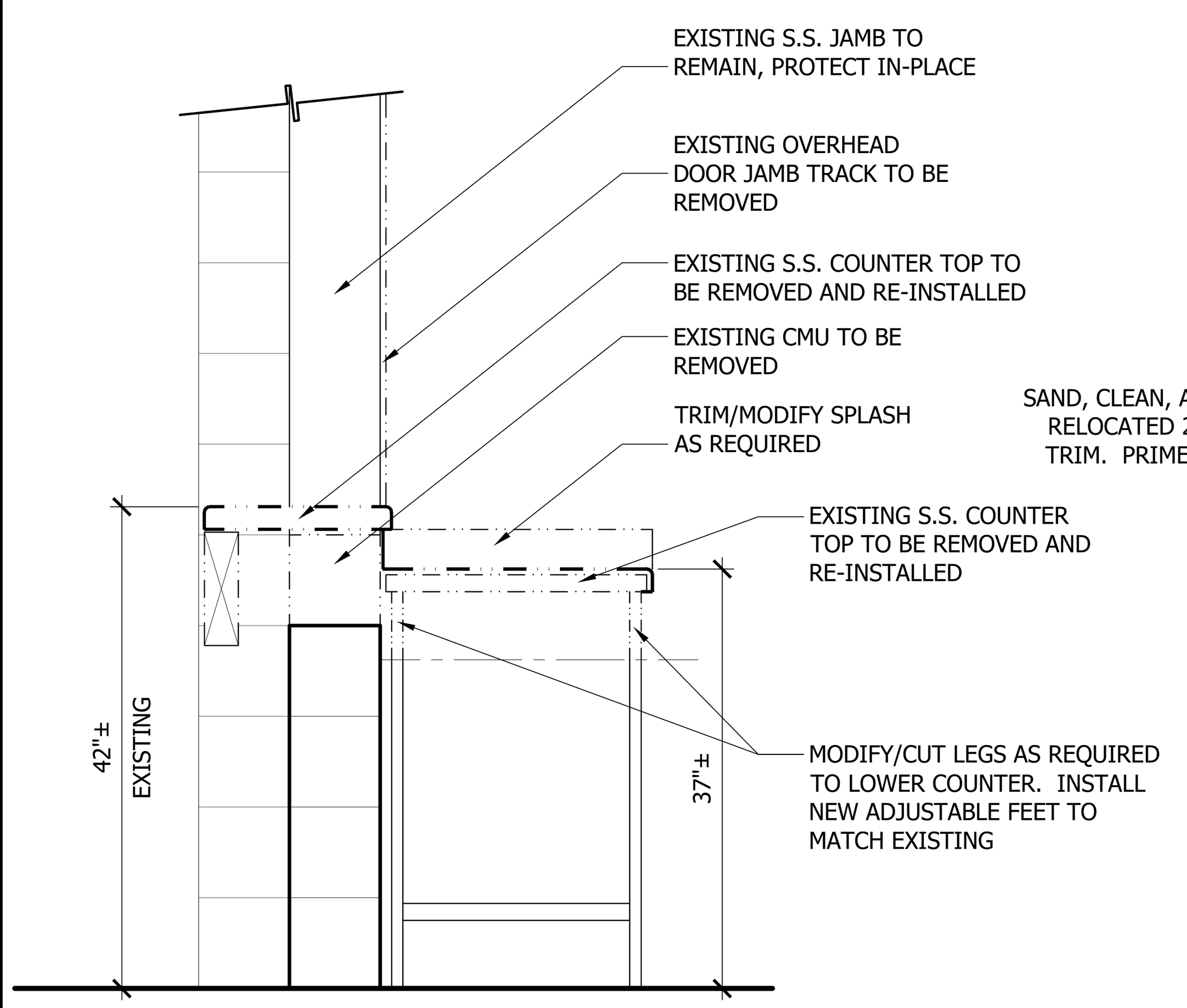
COAT ALL NEW PENETRATIONS (OUT 12" PAST NEW) WITH (2) COATS LANCO ULTRA SILICONIZER (MIN. EACH COAT 16 DRY MILS)



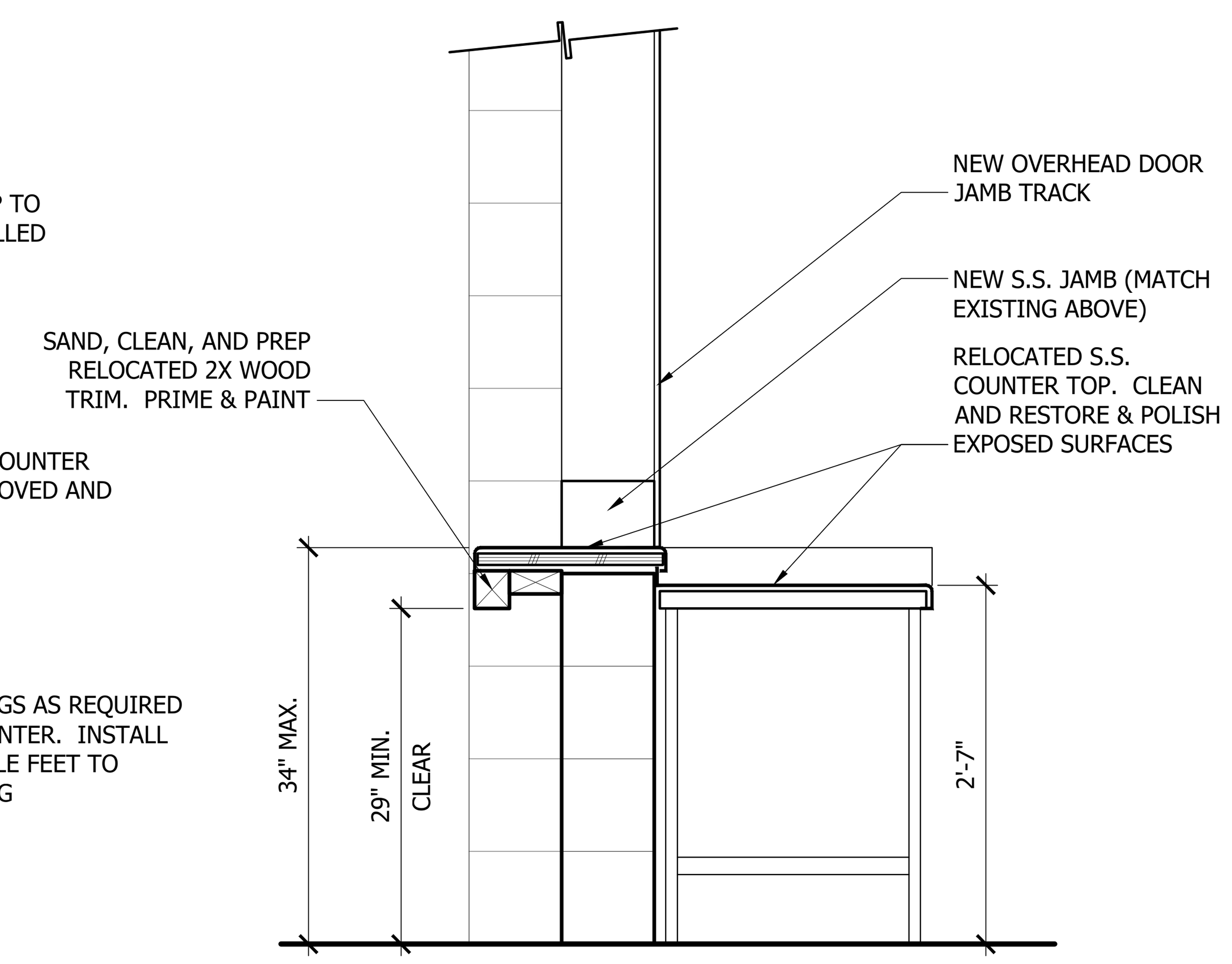
04 FLASHING AT PENETRATION
A-7.2 Scale : N.T.S.



05 PROPOSED NEW BASE/FINISH
A-7.2 Scale : 6" = 1'-0"



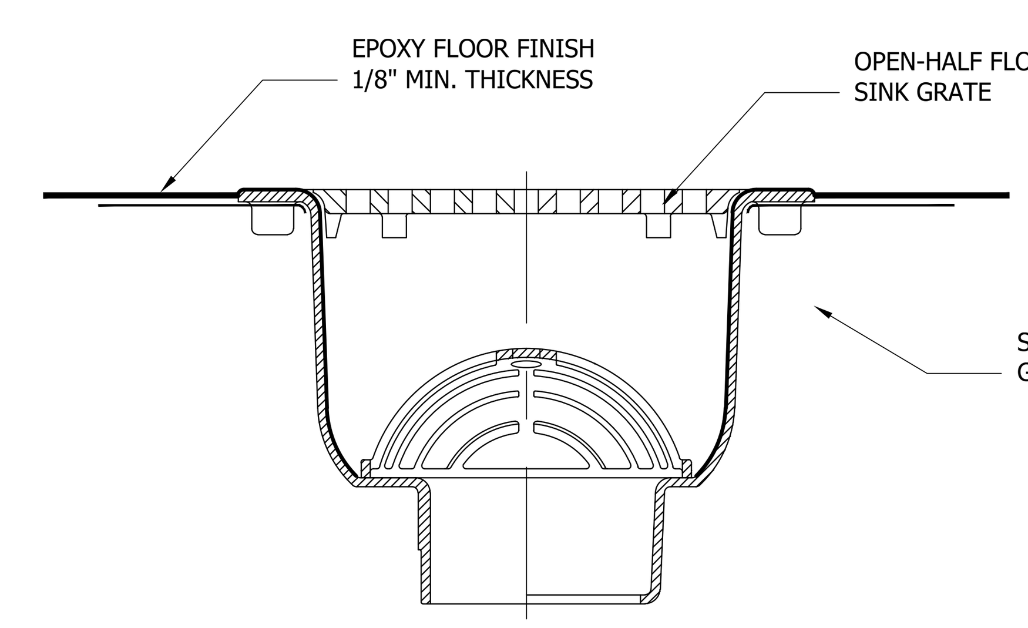
06 SILL @ COUNTER - EX./DEMO
A-7.2 Scale : N.T.S.



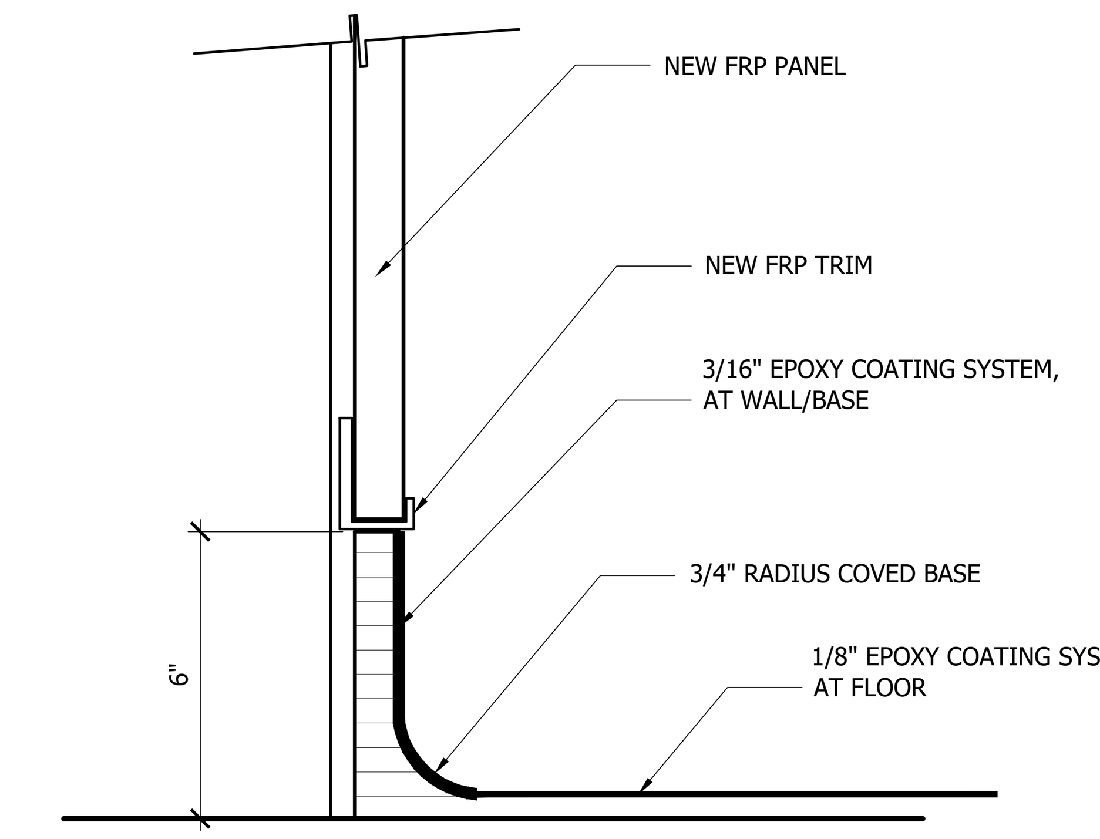
07 SILL @ COUNTER - PROPOSED
A-7.2 Scale : N.T.S.

NOTE:

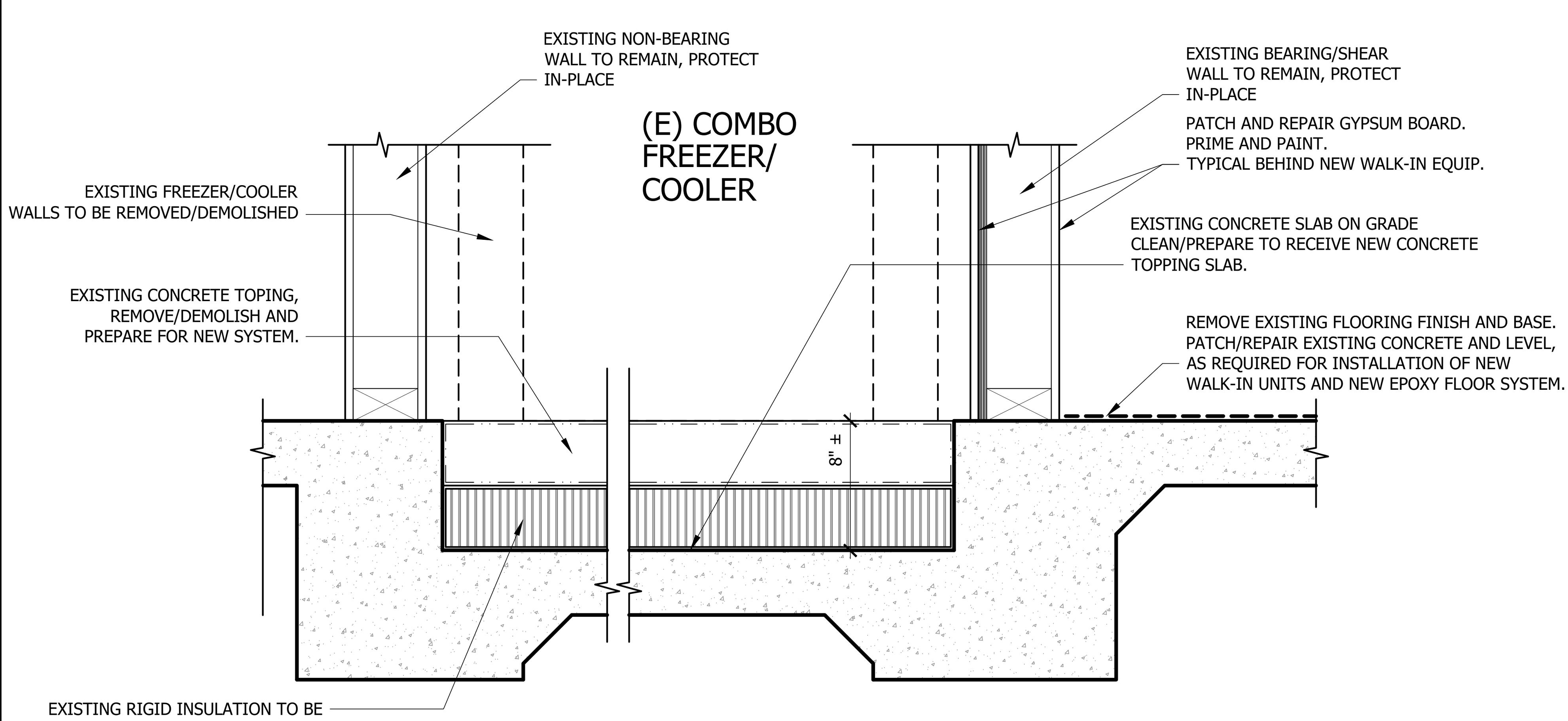
SEE DETAIL 3/P-0.2 FOR ADDITIONAL INFORMATION



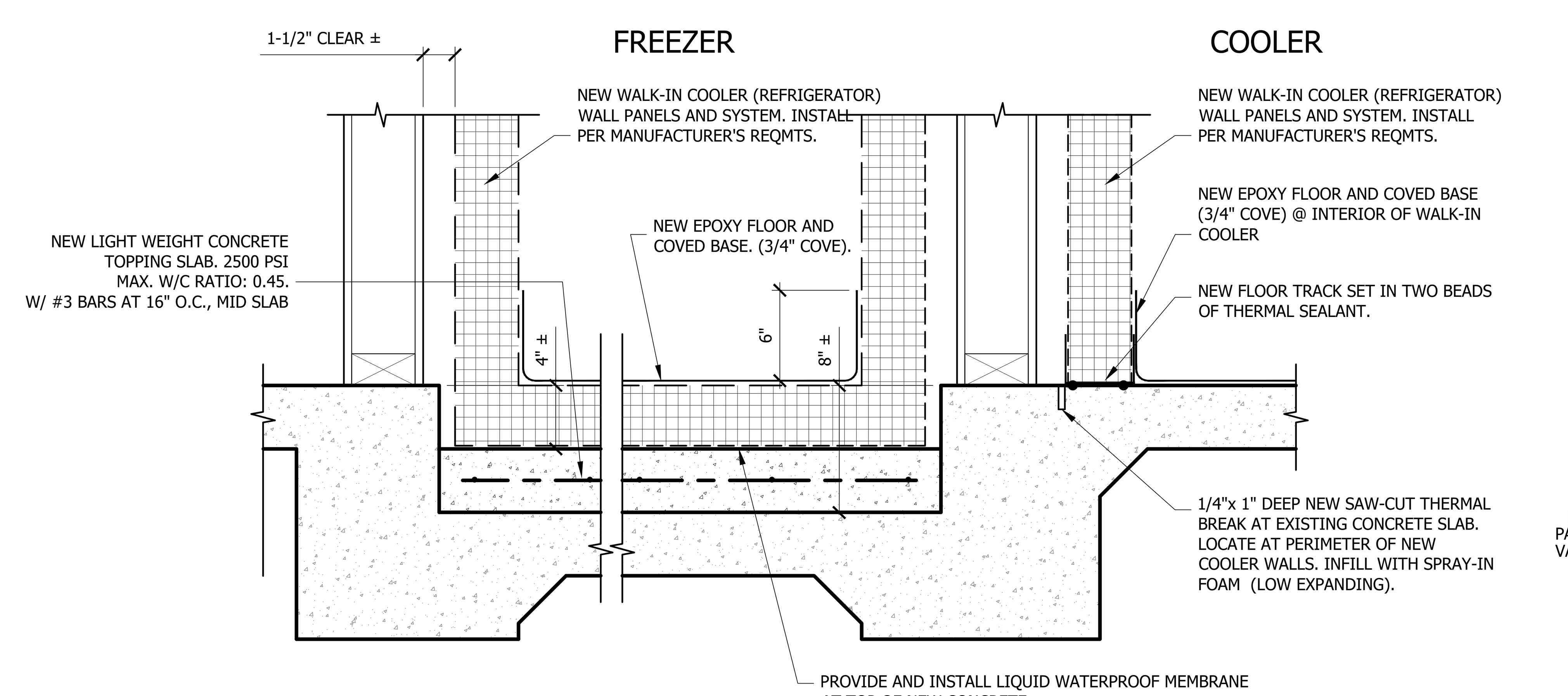
09 FLOOR SINK
A-7.2 Scale : N.T.S.



10 PROPOSED NEW BASE/FINISH
A-7.2 Scale : 6" = 1'-0"

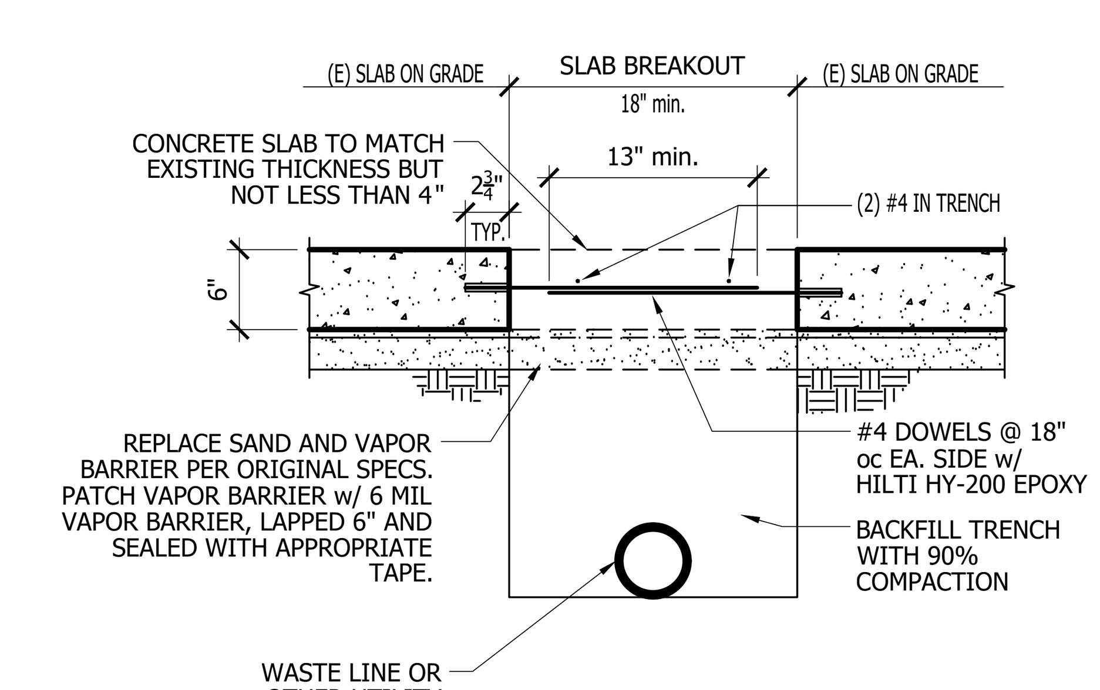


11 SLAB - EXISTING/DEMO
A-7.2 Scale : 1-1/2" = 1'-0"



13 SLAB - PROPOSED
A-7.2 Scale : 1-1/2" = 1'-0"

CONCRETE SLAB:
2500 PSI, 0.45 MAX W/C RATIO



15 SLAB REPLACEMENT @ UTILITY TRENCH
A-7.2 Scale : N.T.S.

LICENSED ARCHITECT LONGKANACH PANICHAPAN NO. C-29344 EXP. 11-30-23 STATE OF CALIFORNIA

architecture planning interior

Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET SUITE G-205 COSTA MESA CALIFORNIA 92626
TEL (714) 668-4260 FAX (714) 668-4265

CONSTRUCTION SET

BLDG. DEPT. CORRECT. DATE: 01/13/2022

JOB NO.: 4107
DRAWN BY: STAFF
CHECKED BY: LP
SCALE: AS NOTED
DATE: 12/08/21

DETAILS

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Equipment Upgrades

A-7.2

SYMBOLS LIST

Symbol	Description
F	FIRE ALARM PULL STATION. MOUNT AT +48 INCHES UNLESS OTHERWISE NOTED.
F	FIRE ALARM PULL STATION, VISUAL STROBE LIGHT AND HORN. MOUNT PULL STATION AT +48 INCHES. MOUNT HORN AND LIGHT AT +80 INCHES ABOVE HIGHEST FLOOR LEVEL IN ROOM OR 6 INCHES BELOW CEILING, WHICHEVER IS LOWER.VISUALS SHALL BE 30 CANDELA (75 CD ON AXIS) U.N.O. 15 CD OR 110 CD DEVICES SHALL BE PROVIDED AS PER NFPA 72.
FATC	FIRE ALARM TERMINAL CABINET.
FACP	FIRE ALARM CONTROL PANEL, "FACP". REFER TO SPECIFICATIONS.
SD	PHOTOELECTRIC TYPE SMOKE DETECTOR MOUNTED ON CEILING OR WALL PER DRAWINGS. ASTERISK (*) ADJACENT INDICATES RELAY BASED AND LISTED FOR DOOR CONTROL.
	CONDUIT RUN, CONCEALED IN CEILING, WALLS OR UNDER FLOORS.
	CONDUIT RUN EXPOSED.
	CONDUIT RUN UNDERGROUND.
	CONDUIT STUBBED OUT AND CAPPED. PULL LINE IN PLACE.
AIC	"AMPERES INTERRUPTING CAPACITY"
RMS	"ROOT MEAN SQUARED"
KW	"KILOWATT"
KVA	"KILOVOLT – AMPERES"
V	"VOLTS"
A	"AMPS"
WP	WEATHERPROOF, NEMA 3R
KWH	KILOWATT HOURS
AFF	ABOVE FINISHED FLOOR
O.C.	"ON CENTER"
UNO	UNLESS NOTED OTHERWISE
C.O.	"CONDUIT ONLY". PROVIDE PULL ROPE FOR ALL EMPTY CONDUIT.
C.	"CONDUIT", WITH CONDUCTORS AS REQUIRED BY DRAWINGS OR SPECIFICATIONS.
ø	PHASE
X / X.X	REFERENCE DETAIL NUMBER. "X" INDICATES DETAIL NUMBER AND "X.X" INDICATES SHEET NUMBER.
	CROSS LINES ON CONDUIT RUNS INDICATE NUMBER OF #10 CURRENT CARRYING CONDUCTORS CONTAINED THEREIN. TWO #10 AND ONE #10 GROUND WIRE ARE INDICATED WHEN CROSS LINES ARE NOT SHOWN. NUMERALS ADJACENT TO CROSS LINES ON CONDUIT RUNS INDICATE SIZE OF CONDUCTORS IN LIEU OF #10. ALL CONDUITS SHALL CONTAIN ONE GROUND WIRE SIZED PER C.E.C. TABLE 250-95, BUT NOT SMALLER THAN #10.
B-1,3	CONDUIT HOMERUN TO PANELBOARD. LETTER AND NUMERALS INDICATE ELECTRICAL PANEL AND CIRCUIT NUMBER.
	ISOLATED GROUND WIRE. RUN IN ADDITION TO REGULAR GROUND WIRE.
	SURFACE MOUNTED BRANCH CIRCUIT PANELBOARD.
	RECESSED BRANCH CIRCUIT PANELBOARD.
P1	PANEL DESIGNATION.
	RECESSED COMMUNICATION TERMINAL CABINET. REFER TO DRAWINGS AND SPECIFICATIONS.
	SURFACE MOUNTED COMMUNICATION TERMINAL CABINET. REFER TO DRAWINGS AND SPECIFICATIONS.
J	JUNCTION BOX IN ACCESSIBLE CEILING SPACE OR FLUSH IN WALL WITH BLANK COVER PLATE TO MATCH DEVICE PLATES.
	DUPLEX GROUNDING TYPE RECEPTACLE, 20 AMP, 125 VOLT
	DUPLEX GROUND FAULT INTERRUPTING TYPE RECEPTACLE, 20 AMP, 125 VOLT
	TWO DUPLEX GROUNDING TYPE RECEPTACLES IN 4S BOX, 20 AMP, 125 VOLT
	COMBINATION MAGNETIC MOTOR STARTER AND NON-FUSED DISCONNECT SWITCH.
F II	COMBINATION MAGNETIC MOTOR STARTER AND FUSED DISCONNECT SWITCH.
	SINGLE PHASE FRACTIONAL OR INTEGRAL HORSEPOWER MOTOR.
T	TRANSFORMER, PRIMARY & SECONDARY VOLTAGE AND KVA RATING AS NOTED. TYPE AND CONFIGURATION AS SPECIFIED. PROVIDE DRY TYPE, COPPER WOUND, WALL OR BOX MOUNTED UNLESS NOTED OTHERWISE.
E	EQUIPMENT WITH "E" ADJACENT IS EXISTING TO REMAIN.
R	EQUIPMENT WITH "R" ADJACENT IS EXISTING TO BE COMPLETELY DISCONNECTED AND REMOVED.
RR	EQUIPMENT WITH "RR" ADJACENT IS EXISTING TO BE DISCONNECTED, REMOVED AND RELOCATED TO NEW LOCATION AND RECONNECTED AS REQUIRED.
ER	RELOCATED EQUIPMENT SHOWN IN NEW LOCATION.
	FLOOR MOUNTED COMBINATION RECEPTACLE & TELE/DATA
	HALF-SWITCHED DUPLEX RECEPTACLE
J	JUNCTION BOX FLUSH IN FLOOR
100AS	NON-FUSED DISCONNECT SWITCH. "AS" INDICATES SWITCH AMPERE RATING.
100AS / 60AFU	FUSED DISCONNECT SWITCH. "AS" INDICATES SWITCH AMPERE RATING. "AFU" INDICATES FUSE AMPERE RATING.
VFD II	MAGNETIC MOTOR STARTER. ROMAN NUMERAL INDICATES NEMA STARTER SIZE. ADDITIONAL SUBSCRIPTS INDICATE STARTER TYPE AND SIZE. (TYPICAL FOR ALL MAGNETIC STARTER SYMBOLS.)

Subscript	Type
NO SUBSCRIPT	FULL VOLTAGE, NON REVERSING
PR	PRIMARY RESISTOR REDUCED VOLTAGE
AT	AUTOTRANSFORMER REDUCED VOLTAGE
WD	WYE-DELTA REDUCED VOLTAGE
PW	PART WINDING REDUCED VOLTAGE
SS	SOLID STATE REDUCED VOLTAGE
REV	REVERSING TYPE
2S	TWO SPEED
2W	TWO WINDINGS
CH	CONSTANT HORSEPOWER
CT	CONSTANT TORQUE
VT	VARIABLE TORQUE
VFD	VARIABLE FREQUENCY DRIVE

Symbol	Description
S	LOW VOLTAGE DIMMER SWITCH (SAME ABBREVIATIONS APPLY AS ABOVE)
100AF / 70AT / 3P	MOLDED CASE CIRCUIT BREAKER. "AF" INDICATES AMPERE FRAME, "AT" INDICATES AMPERE TRIP RATING AND NUMBER OF POLES AS INDICATED. SUBSCRIPT INDICATES TYPE.

Subscript	Type
NO SUBSCRIPT	THERMAL MAGNETIC
NA	NON-AUTOMATIC
MO	MAGNETIC ONLY
CL	CURRENT LIMITING
SS	SOLID STATE
EM	ELECTRONIC METERING PACKING

Symbol	Description
	DRAW-OUT TYPE CIRCUIT BREAKER.
100AS / 90FU / 3P	FUSED SWITCH. "AS" INDICATED AMPERE SWITCH RATING, "AFU" INDICATES AMPERE FUSE RATING, NUMBER OF POLES AS INDICATED.
	VOLTAGE TRANSFORMER. FLOOR MOUNTD, COPPER WOUND, DRY TYPE UNLESS SPECIFIED OTHERWISE.
	CURRENT TRANSFORMERS, "C.T.s"
	POTENTIAL TRANSFORMER, P.T.s".
M	UTILITY METER SOCKET, WITH C.T.s, CLIPS, ETC., PER SERVING UTILITY COMPANY.
	GROUND, "GRD".
GFI	"GROUND FAULT INTERRUPTER"
GFP	GROUND FAULT PROTECTION DEVICE.
GFS	GROUND FAULT SENSOR.
	TELEPHONE TERMINAL BACKBOARD "TTB". 3/4 INCH SANDED AND PAINTED CPX PLYWOOD, 4' X 8' UNLESS NOTED OTHERWISE.
	WALL MOUNTED COMBINATION VOICE/DATA OUTLET. SINGLE GANG MUD RING AND PLATE. ENGRAVE PLATE "VOICE" AND "DATA" OVER RESPECTIVE JACKS. VERIFY TYPE OF JACK WITH SCE IT. CONTRACTOR SHALL RUN 1-1/2"C.O MIN. FROM DATA JACK TO 6" ABOVE CEILING SPACE. COORDINATE CABLING REQUIREMENTS WITH SCE IT.
X	PANEL NAME.
FD-SD	FIRE AND SMOKE DAMPER
	SURFACE MOUNTED EMERGENCY LIGHTING UNIT WITH 90 MIN. EMERGENCY BATTERY PACK. REFER TO LIGHTING FIXTURE SCHEDULE.
OS	CEILING MOUNTED OCCUPANCY SENSOR
DL	CEILING MOUNTED DAYLIGHT SENSOR
RC	ROOM CONTROLLER
1a	CEILING LIGHT FIXTURE AND OUTLET, HID, FLUORESCENT, OR INCANDESCENT. LOWER CASE LETTER INDICATES CONTROLLING SWITCH, NUMERAL INDICATES CIRCUIT. SHADED SYMBOL INDICATES FIXTURE WITH EMERGENCY POWER PROVISIONS.
1a	FLUORESCENT LIGHT FIXTURE OUTLET. LOWER CASE LETTER INDICATES CONTROLLING SWITCH, NUMERAL INDICATES CIRCUIT. SHADED CIRCLE DENOTES FIXTURE WITH EMERGENCY POWER PROVISIONS.
	FLUORESCENT STRIP FIXTURE. LOWER CASE LETTER INDICATES CONTROLLING SWITCH. NUMERAL INDICATES CIRCUIT. SHADED CIRCLE DENOTES FIXTURE WITH EMERGENCY POWER PROVISIONS.
1a	BRACKET OR WALL MOUNTED LIGHT FIXTURE AND OUTLET, HID, FLUORESCENT OR INCANDESCENT. LOWER CASE LETTER INDICATES CONTROLLING SWITCH, NUMERAL INDICATES CIRCUIT. SHADED CIRCLE DENOTES FIXTURE WITH EMERGENCY POWER PROVISIONS.
	ILLUMINATED EXIT LIGHT FIXTURE. SIDE, BACK, CEILING, OR PENDANT MOUNTED, SINGLE OR DOUBLE FACED AS NOTED BY SHADED ARC, WITH OR WITHOUT DIRECTIONAL ARROW AS NOTED ON THE DRAWINGS. NOT TO BE USED AS JUNCTION BOX OR "THROUGH-WIRE" DEVICE.
LL	LOW LEVEL EXIT LIGHT FIXTURE, WALL MOUNTED WITH OR WITHOUT DIRECTIONAL ARROW AS NOTED ON THE DRAWINGS. BOTTOM OF FIXTURE AT +6 INCHES ABOVE FINISHED FLOOR AND WITHIN FOUR INCHES OF DOOR FRAME WHERE APPLICABLE.
Q / 106 / 21 / +9'-0"	LIGHTING FIXTURE IDENTIFICATION SYMBOL. LETTER INDICATES FIXTURE TYPE. NUMERALS IN LOWER HALF OF HEXAGON INDICATE FIXTURE WATTAGE (INCLUDING BALLAST WHERE APPLICABLE). NUMERAL OUTSIDE TOP OF HEXAGON INDICATES NUMBER OF FIXTURES REQUIRED. NUMERAL OUTSIDE BOTTOM OF HEXAGON INDICATES MOUNTING HEIGHT FROM FLOOR TO BOTTOM OF FIXTURE. OMISSION OF MOUNTING HEIGHT INDICATES CEILING MOUNTING.
S^M	HP RATED SWITCH
S_a^{3k}	SWITCH. LOWER CASE LETTER AT BOTTOM INDICATES OUTLETS CONTROLLED. CAPITAL SUPERSCRIPT INDICATES SWITCH TYPE.

Superscript	Type
NO SUPERSCRIPT	SINGLE POLE SWITCH
2	DOUBLE POLE
3	THREE WAY
4	FOUR WAY
I	ILLUMINATED HANDLE
K	KEYED SWITCH
LC	LOCKABLE COVER
M	MANUAL MOTOR STARTER WITH THERMAL OVERLOAD PROTECTION
MC	MOMENTARY CONTACT
P	PILOT LIGHT
PR	PRESS TYPE
TP	THREE POSITION
T	TIMER, 0-6 HR ROTARY OR AS NOTED

Symbol	Description
	HALF CONTROLLED DUPLEX GROUND FAULT INTERRUPTING TYPE RECEPTACLE, 20 AMP, 125 VOLT, 2 POLE, 3 WIRE.
	FLUSH FLOOR MOUNTED DUPLEX GROUNDING TYPE RECEPTACLE, 20 AMP, 125 VOLT
IG	ANY RECEPTACLE INDICATED WITH"IG" ADJACENT SHALL BY ISOLATED GROUND TYPE WITH INDIVIDUAL GROUND WIRE TO PANELBOARD.
IG	DEDICATED RECEPTACLE INDICATED WITH"IG" ADJACENT SHALL BY ISOLATED GROUND TYPE WITH INDIVIDUAL GROUND WIRE TO PANELBOARD.
	WALL POWER IN-FEED JUNCTION BOX FOR WORKSTATIONS FOR POWER AND TELEPHONE/DATA. SINGLE GANG TELEPHONE BOX. PROVIDE 1-1/2"CONDUIT AND STUB-UP AT +6" ABOVE CEILING WITH A SUPER FLEX CONDUIT., UNLESS OTHERWISE NOTED. VERIFY LOCATION WITH FURNITURE CONTRACTOR. PROVIDE MAX. 6' FLEX WHIP FOR CONNECTION.
	WALL MOUNTED OCCUPANCY SENSOR +42"AFF,U.O.N. (SINGLE MANUAL ON/OFF DIMMER SWITCH)
a,b	WALL MOUNTED OCCUPANCY SENSOR +42"AFF,U.O.N. (DOUBLE MANUAL ON/OFF DIMMER SWITCH)

APPLICABLE CODES

BUILDING OCCUPANCY CLASSIFICATION:

THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF:

- 2019 BUILDING STANDARD ADMINISTRATIVE CODE
- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE (CFC),

FIRE ALARM PERMIT NOTE

CONTRACTOR SHALL PROVIDE AND SUBMIT FIRE ALARM SAFETY CONSTRUCTION DOCUMENTS FOR ALL AGENCY PLAN CHECK REQUIREMENTS. APPROVAL SHALL BE OBTAINED PRIOR TO THE INSTALLATION OF THE SYSTEM.INTERCONNECTING WIRING AND CONDUIT SIZES ARE NOT INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING RACEWAY, WIRING PLANS, VOLTAGE DROP CALCULATION AND COMPLETE ONE LINE DIAGRAM OF THE SYSTEM.

CONTRACTOR SHALL PROVIDE AS PART OF FIRE ALARM SYSTEM:

- CONSTRUCTION DOCUMENT AND SHOP DRAWINGS.
- SUBMIT AND SECURE FIRE MARSHAL APPROVAL.
- FIELD TO VERIFY EXISTING FIRE ALARM DEVICES. ADD AND/OR RELOCATE EXISTING DEVICES TO COMPLY TO NEW SPACE CONFIGURATION.

ABBREVIATIONS

AF	AMPERE FRAME RATING OF CIRCUIT BREAKERS
AFF	ABOVE FINISHED FLOOR
AFU	AMPERE FUSE RATING
AIC	AMPS INTERRUPTING CAPACITY RATING (RMS SYMMETRICAL)
AM	AMMETER
AMP, A	AMPERES
AS	AMPERE SWITCH RATING
AT	AMPERE TRIP RATING OF BREAKER
AWG	AMERICAN WIRE GAUGE
BKR	BREAKER
C.	CONDUIT
CAB	CABINET
CC	CENTER TO CENTER
CKT	CIRCUIT
C.O.	CONDUIT ONLY
CU	COPPER
DWG	DRAWING
E	EXISTING
FF	FINISHED FLOOR
FLEX	FLEXIBLE
FLUOR	FLUORESCENT
FUT	FUTURE
GND	GROUND
HZ	HERTZ
J.B.	JUNCTION BOX
k	THOUSAND (KILO)
kV	KILOVOLTS
kW	KILOWATTS
kVA	KILOVOLT AMPERES
kWH	KILOWATT-HOURS
LT, LTS	LIGHT, LIGHTS
LTG	LIGHTING
MAX	MAXIMUM
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MCM	THOUSAND CIRCULAR MILS
MT, MTD, MTG	MOUNT, MOUNTED, MOUNTING
NO, NOS	NUMBER, NUMBERS
NTS	NOT TO SCALE
OC	ON CENTER
PNL	PANEL
PNLBD	PANELBOARD
PRI	PRIMARY
PWR	POWER
R	REMOVED
REC	RECEPTACLE
RECPTS	RECEPTACLES
REQD	REQUIRED
SW	SWITCH
SYS	SYSTEM
SYM	SYMMETRICAL
TEMP	TEMPERATURE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W	WIRE
WP	WEATHERPROOF
XFMR	TRANSFORMER
ZD	ZONE DAMPER

SHEET INDEX

H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

Gillis + Panichapan Architects,
architecture planning interior
3500 BRISTOL STREET SUITE G-205
COSTA MESA CALIFORNIA 92626
TEL (714) 668-4260 FAX (714) 668-4265

CONSTRUCTION SET

JOB NO.:	21122
DATE:	12/08/2021
DRAWN BY:	M.VERMA
CHECKED BY:	M.VERMA
SCALE:	AS NOTED

ELECTRICAL SYMBOL LIST & ABBRE.

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

E-0.1

PART 1 – GENERAL

A. SCOPE

1. FURNISH AND INSTALL A COMPLETELY WIRED AND OPERATIONAL ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO, THESE MAJOR ITEMS.
   a. LIGHTING FIXTURES AS INDICATED AND SPECIFIED ON THE PLANS.
   b. ELECTRICAL PANELS, CONTROLS, SERVICE, DISCONNECTS, CONDUIT WIRING, ETC., FOR ALL OUTLETS AND EQUIPMENT.
   c. TELEPHONE OUTLETS AND CONDUIT AS INDICATED.
   d. CONDUIT AND OUTLETS FOR ALARM, COMPUTER, AND SECURITY SYSTEMS AS INDICATED.
   e. CONTROL WIRING FOR ELECTRICAL SYSTEMS.
2. PROVIDE PERMITS AND INSPECTIONS AS REQUIRED.

B. CODES, REGULATIONS AND STANDARDS

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LOCAL AND STATE CODES AND ORDINANCES, WITH THE REGULATIONS OF THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES AND WITH THE REQUIREMENTS OF THE POWER AND TELEPHONE COMPANIES FURNISHING SERVICES TO THIS INSTALLATION.
2. THE FOLLOWING INDUSTRY STANDARDS, SPECIFICATIONS AND CODES ARE MINIMUM REQUIREMENTS:
   a. NEMA–NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION STANDARDS
   b. NEC–NATIONAL ELECTRICAL CODE
   c. UL–UNDERWRITER LABORATORIES INCORPORATED STANDARDS
   d. ANSI–AMERICAN NATIONAL STANDARDS INSTITUTE
   e. IEEE–INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
   f. NESC–NATIONAL ELECTRICAL SAFETY CODE
   g. TITLE 24–CALIFORNIA ENERGY COMMISSION

C. INSPECTION OF SITE

1. 1.PRIOR TO SUBMITTING A BID FOR ELECTRICAL WORK, THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED CONSTRUCTION AND SHALL THOROUGHLY ACQUAINT HIMSELF WITH EXISTING UTILITIES AND WORKING CONDITIONS TO BE ENCOUNTERED, ETC. ALLOWANCE WILL NOT BE MADE FOR NON–COMPLIANCE WITH THIS CONDITION AFTER BIDDING.

D. GENERAL WORKMANSHIP

1. ALL WORK SHALL BE EXECUTED AND FINISHED IN A PRACTICAL MANNER AND SHALL PRESENT A NEAT AND WORKMANLIKE APPEARANCE WHEN COMPLETED.
2. ALL WORK MUST BE ACCEPTABLE TO THE OWNER. WHERE A DETAILED METHOD OF INSTALLING THE WORK IS NOT SPECIFIED OR INDICATED, INSTALL WORK AS DIRECTED BY THE OWNER.

E. RELATED WORK BY OTHERS

1. 1.ELECTRICAL DRAWINGS IDENTIFY UTILITY SERVICE REQUIREMENTS FOR POWER, TELEPHONE, AND CABLE TV WITHIN AND UP TO FIVE FEET OUTSIDE THE BUILDING. UTILITY ELECTRICAL SERVICE TRANSFORMER(S), WHERE SHOWN ON THE SITE PLAN, ARE FOR INFORMATION ONLY AND INDICATE THE PREFERRED POINT OF SERVICE. UTILITY CONDUIT SYSTEMS, PULLBOXES, AND OTHER STRUCTURES, WHERE SHOWN ON THE SITE PLAN, ARE ALSO FOR INFORMATION ONLY AND INDICATE THE PREFERRED ROUTING. THE ELECTRICAL CONTRACTOR SHALL REFER TO UTILITY SERVICE DRAWINGS FOR ACTUAL UTILITY SERVICE REQUIREMENTS FOR THIS PROJECT. UTILITY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED UTILITY SERVICE DRAWINGS. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO CONTACT AND FOLLOW–UP WITH ALL UTILITY COMPANIES TO OBTAIN BOTH PRELIMINARY AND FINAL DESIGN DRAWINGS FOR THIS PROJECT.
   a. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE, MEET ALL POWER COMPANY REQUIREMENTS AND SHALL PAY ALL UTILITY COMPANY CHARGES.
   b. THE LOCAL TELEPHONE COMPANY WILL FURNISH AND INSTALL ALL TELEPHONE WIRING AND EQUIPMENT AND WILL MAKE ALL FINAL TELEPHONE CONNECTIONS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE TELEPHONE SERVICE ENTRANCE, MEET ALL TELEPHONE REQUIREMENTS AND SHALL PAY ALL UTILITY COMPANY CHARGES.
   c. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE CABLE SERVICE ENTRANCE, MEET ALL CABLE COMPANY REQUIREMENTS AND SHALL PAY ALL UTILITY COMPANY CHARGES.

F. COOPERATION WITH OTHER CONTRACTORS

1. COOPERATE WITH THE OTHER TRADES SO THAT THE INSTALLATION OF THE ELECTRICAL OUTLETS AND EQUIPMENT WILL BE PROPERLY COORDINATED. CONDUIT, FIXTURES, AND OTHER EQUIPMENT LOCATIONS SHALL BE CHECKED WITH THE OTHER TRADES TO AVOID CONFLICT WITH THE PIPING, DUCTWORK, STEEL, BEAMS, OR OTHER OBSTRUCTIONS.
2. CAREFULLY CHECK THE LOCATIONS OF THE OUTLET BOXES AND DETERMINE THAT THEY HAVE NOT BEEN DISTURBED DURING THE INSTALLATION OF MATERIALS OF OTHER TRADES.
3. COORDINATE THE LOCATION OF TRENCHES AND CONDUITS FOR UTILITY SERVICES AND OTHER DISCIPLINES WITH THE GENERAL CONTRACTOR.

G. MECHANICAL AND ELECTRICAL COORDINATION

1. 1.ANY DEVICE WHICH CARRIES THE FULL LOAD CURRENT OF THE ELECTRICALLY DRIVEN MACHINERY, AS OPPOSED TO THE CONTROL OF INSTRUMENTATION CURRENT IN THE HOLDING COIL, IS A POWER CIRCUIT AND IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. CONTROL OR INSTRUMENTATION CIRCUITS CONNECTING HOLDING COILS TO THE CONTROL SYSTEM AS SPECIFIED BY THE MECHANICAL ENGINEER ARE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
2. THE POWER CIRCUIT IS DEFINED AS ALL DEVICES NECESSARY TO OPERATE, AND AS REQUIRED BY CODE TO PROTECT AND SERVICE THE UNIT, INCLUDING BRANCH CIRCUIT PROTECTIVE DEVICES, DISCONNECTS, MAGNETIC MOTOR STARTERS WITH RUNNING OVERLOAD AND SINGLE PHASING PROTECTION, MAGNETIC CONTACTORS, ETC.
3. THE CONTROL OR INSTRUMENTATION CIRCUIT IS DEFINED AS ALL DEVICES NECESSARY TO INTERFACE THE ELECTRICAL POWER CIRCUIT WITH THE CONTROL SYSTEM AS SPECIFIED BY THE MECHANICAL ENGINEER INCLUDING CONDUIT, BOXES, CONDUIT FITTINGS, CONDUCTORS, ELECTRIC–PNEUMATIC SWITCHES, PNEUMATIC–ELECTRIC SWITCHES, ELECTRICAL AND PNEUMATIC RELAYS, PNEUMATIC TUBING, ETC.
4. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE 120V DUPLEX RECEPTACLES WITHIN 25 FEET OF ALL ROOF MOUNTED EQUIPMENT, PER NEC 210.63.

H. DRAWINGS

1. THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT AND LOCATIONS OF THE ELECTRICAL WORK. INFORMATION PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS PLANNING CAN DETERMINE, BUT FIELD VERIFICATION OF ALL DIMENSIONS, LOCATIONS, LEVELS, ETC., TO SUIT FIELD CONDITIONS IS REQUIRED. REVIEW ALL ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND ADJUST ALL WORK TO MEET THE REQUIREMENTS OF CONDITIONS SHOWN. THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ALL OTHER DRAWINGS. DISCREPANCIES BETWEEN DIFFERENT PLANS, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR REGULATIONS AND CODES GOVERNING THE INSTALLATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING BEFORE THE DATE OF BID OPENING. WHERE DISCREPANCIES OR CONFLICTS OCCUR, THE BID SHALL REFLECT THE MOST STRINGENT REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD MEASURE AND CONFIRM MOUNTING HEIGHTS AND LOCATION OF ELECTRICAL EQUIPMENT WITH RESPECT TO COUNTERS, ETC. DO NOT SCALE DISTANCES OFF THE ELECTRICAL DRAWINGS. USE ACTUAL BUILDING DIMENSIONS.
2. 2.UPON COMPLETION OF THE WORK UNDER THESE DRAWINGS AND SPECIFICATIONS, THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A COMPLETE SET OF MARKED–UP ELECTRICAL DRAWINGS SHOWING THE "AS–BUILT" CONDITION OF THE WORK. BOND PRINTS OF THE DRAWINGS REQUIRED WILL BE FURNISHED BY THE OWNER, FOR THIS PURPOSE.
3. ALL OPERATING INSTRUCTIONS, PARTS LISTS AND SPARE PARTS FOR MATERIAL AND EQUIPMENT FURNISHED AND/OR INSTALLED BY THE ELECTRICAL CONTRACTOR SHALL BE TURNED OVER TO THE OWNER (THREE COPIES).

I. SHOP DRAWINGS AND APPROVALS

1. SUBMITTALS SHALL CONSIST OF DETAILED SHOP DRAWINGS, SPECIFICATIONS, BLOCK WIRING DIAGRAMS, "CATALOG CUTS" AND DATA SHEETS CONTAINING PHYSICAL AND DIMENSIONAL INFORMATION, PERFORMANCE DATA, ELECTRICAL CHARACTERISTICS, MATERIALS USED IN FABRICATION, AND MATERIAL FINISH. CLEARLY INDICATE BY ARROWS OR BRACKETS PRECISELY WHAT IS BEING SUBMITTED ON AND THOSE OPTIONAL ACCESSORIES WHICH ARE INCLUDED AND THOSE WHICH ARE EXCLUDED.
2. EACH SUBMITTAL SHALL BE ACCOMPANIED SHALL BEAR A STAMP STATING THAT THE SUBMITTAL HAS BE THOROUGHLY REVIEWED BY THE CONTRACTOR AND IS IN FULL COMPLIANCE WITH THE REQUIREMENTS OF CONTRACT DOCUMENTS. COVER LETTERS SHALL LIST IN FULL THE ITEMS AND DATA SUBMITTED. FAILURE TO COMPLY WITH THIS REQUIREMENTS SHALL CONSTITUTE GROUNDS FOR REJECTION OR DATA.
3. THE CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS OF ALL ELECTRICAL EQUIPMENT AND GENERATOR ROOMS, YARDS, AND UTILITY AREAS. MINIMUM SCALE: 1/4"=1'–0".
4. AS PART OF THE EQUIPMENT SUBMITTALS, THE MANUFACTURER SHALL PROVIDE ANCHORAGE CALCULATIONS FOR FLOOR AND WALL MOUNTED ELECTRICAL EQUIPMENT. STRUCTURAL CALCULATIONS SHALL BE PREPARED AND SIGNED BY REGISTERED STRUCTURAL ENGINEER IN CALIFORNIA.
5. ALL RESUBMITTALS SHALL INCLUDE A COVER LETTER THAT LISTS THE ACTION TAKEN AND REVISIONS MADE TO EVERY DRAWING AND EQUIPMENT DATA SHEET IN RESPONSE TO SUBMITTAL REVIEW COMMENTS. FAILURE TO INCLUDE THIS COVER LETTER WILL CONSTITUTE REJECTION OF THE RESUBMITTAL PACKAGE.
6. CONTRACTOR SHALL SUBMIT SHORT CIRCUIT AND COORDINATION STUDIES SIGNED BY A REGISTERED ELECTRICAL ENGINEER. STUDIES SHALL BE PERFORMED IN ACCEPTANCE WITH IEEE GUIDELINES. CONTRACTOR SHALL BE SUBMITTED FOR ARCHITECT–ENGINEER REVIEW PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. CONTRACTOR SHALL ENSURE THAT THE ACTUAL FEEDER LENGTHS MATCH STUDIES (REVISE STUDIES IF NECESSARY). SERVICE EQUIPMENT MARKINGS AS REQUIRED PER NEC 110.24 SHALL BE BASED ON CONTRACTOR SUBMITTED STUDIES.
7. SUBMIT CONDUITS; FITTINGS; OUTLET PULL AND JUNCTION BOXES; WIRES; WIRING DEVICES; LIGHTING FIXTURES; LAMPS; BALLASTS; SAFETY SWITCHES; FUSES; TRANSFORMERS; PANELBOARDS; SWITCHBOARDS; CIRCUIT BREAKERS; LIGHTING CONTROL SYSTEM/DEVICES; AND FIRE ALARM SYSTEMS.

J. SUBSTITUTIONS

1. ALL REQUESTS FOR SUBSTITUTIONS SHALL CONFORM TO THE GENERAL REQUIREMENTS AND PROCEDURE OUTLINED IN DIVISION 1.
2. WHERE ITEMS ARE NOTED AS "OR EQUAL", A PRODUCT OF EQUAL DESIGN, CONSTRUCTION AND PERFORMANCE WILL BE CONSIDERED.
3. SUBSTITUTIONS SHALL BE EQUAL, IN THE OPINION OF THE OWNER'S REPRESENTATIVE, TO THE SPECIFIED PRODUCT.
4. THE BURDEN OF PROOF OF EQUALITY OF A PROPOSED SUBSTITUTION FOR A SPECIFIED ITEM SHALL BE UPON THE ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL SUPPORT ITS REQUEST WITH SUFFICIENT TEST DATA, PHOTOMETRIC ANALYSIS, DETAILED BREAKDOWN DEFINING COST SAVINGS, AND OTHER MEANS TO PERMIT THE ARCHITECT AND/OR ENGINEER TO MAKE A FAIR AND EQUITABLE DECISION ON THE MERITS OF THE PROPOSED SUBSTITUTION. ANY ITEM BY A MANUFACTURER OTHER THAN THOSE SPECIFIED, OR OF BRAND NAME OR MODEL NUMBER WILL BE CONSIDERED A SUBSTITUTION. THE ARCHITECT AND/OR ENGINEER WILL BE THE SOLE JUDGE OF WHETHER OR NOT THE SUBSTITUTION IS EQUAL IN QUALITY, UTILITY, AND ECONOMY TO THAT SPECIFIED.
5. APPROVAL OF A SUBSTITUTION SHALL NOT RELIEVE ELECTRICAL CONTRACTOR FROM RESPONSIBILITY FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. ELECTRICAL CONTRACTOR SHALL BEAR THE EXPENSE FOR ANY CHANGES IN OTHER PARTS OF THIS WORK OR OTHER WORK CAUSED BY THE PROPOSED SUBSTITUTION.
6. IF ARCHITECT AND/OR ENGINEER REJECTS ELECTRICAL CONTRACTOR'S SUBSTITUTE ITEM ON THE FIRST SUBMITTAL, ELECTRICAL CONTRACTOR MAY MAKE ONLY ONE ADDITIONAL REQUEST FOR SUBSTITUTION IN THE SAME CATEGORY.

K. GUARANTEE & TESTING

1. GUARANTEE ALL MATERIAL FURNISHED AND ALL WORKMANSHIP PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD, TRACEABLE TO MATERIAL FURNISHED AS A PART OF THIS SECTION OR WORKMANSHIP PERFORMED HEREUNDER, SHALL BE CORRECTED AS NECESSARY AT NO COST TO THE OWNER.
2. SYSTEM SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, ELECTRICAL CONTRACTOR SHALL MAKE CORRECTIONS AS NECESSARY AT NO COST TO THE OWNER.

L. LABELING

1. PROVIDE ENGRAVED NAME PLATES ON SWITCHBOARDS, PANEL BOARDS, DISCONNECT SWITCHES, MOTOR CONTROL CENTERS, TRANSFORMERS, ETC., INDICATING EQUIPMENT DESIGNATED (OR DESIGNATION OF EQUIPMENT SERVED) AND VOLTAGE.

M. HOUSEKEEPING PADS

1. PROVIDE 4 INCH HIGH CONCRETE EQUIPMENT PADS FOR ALL FLOOR–MOUNTED EQUIPMENT INCLUDING SWITCHBOARDS, MOTOR CONTROL CENTERS, TRANSFORMERS, ETC.

N. MATERIALS

1. ALL MATERIALS SHALL BE NEW AND OF QUALITY AS SPECIFIED ON THE PLANS OR SPECIFICATIONS AND MUST CARRY THE UNDERWRITER'S LABORATORIES APPROVAL COVERING THE PURPOSE FOR WHICH THEY ARE USED, IN ADDITION TO MEETING ALL REQUIREMENTS OF THE CURRENT APPLICABLE CODES AND REGULATIONS.
2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING EQUIPMENT WHICH IS DAMAGED DUE TO INCORRECT FIELD WIRING PROVIDED UNDER THIS SECTION OR FACTORY WIRING IN EQUIPMENT PROVIDED UNDER THIS SECTION.

O. STORAGE AND HANDLING OF MATERIAL

1. DELIVER MATERIALS AND EQUIPMENT TO THE PROJECT IN THE MANUFACTURER'S ORIGINAL, UNOPENED, LABELED CONTAINERS. PROTECT AGAINST MOISTURE, TAMPERING, OR DAMAGE FROM IMPROPER HANDLING OR STORAGE. ELECTRICAL CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR ANY DAMAGE TO WORK OR MATERIALS UNTIL FINAL ACCEPTANCE BY THE OWNER, AND SHALL MAKE GOOD WITHOUT COST TO THE OWNER, ANY DAMAGE OR LOSS THAT MAY OCCUR DURING THIS PERIOD.
2. ARRANGE FOR TIMELY DELIVERY OF MATERIALS AND EQUIPMENT TO THE JOBSITE IN ORDER TO MINIMIZE THE LENGTH OF TIME BETWEEN DELIVERY AND INSTALLATION.
3. ARRANGE FOR TIMELY DELIVERY OF OWNER SUPPLIED MATERIALS AND EQUIPMENT TO THE JOBSITE IN ORDER TO MINIMIZE THE LENGTH OF TIME BETWEEN DELIVERY AND INSTALLATION
4. COVER AND PROTECT ANY MATERIAL WHICH MAY BE AFFECTED BY THE WEATHER WHILE IN TRANSIT OR STORED AT THE PROJECT SITE. ANY MATERIAL FOUND DEFECTIVE OR NOT INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS MAY BE REJECTED BY THE ENGINEER.
5. NO ELECTRICAL WORK SHALL BE INSTALLED IN AREAS WHERE OTHER TRADE'S WORK MIGHT CAUSE PHYSICAL DAMAGE TO WIRES, CONDUIT, EQUIPMENT, BOXES OR FITTINGS UNTIL THE OTHER TRADE'S WORK HAS BEEN COMPLETED. ANY EQUIPMENT OR MATERIALS WHICH BECOME DAMAGED SHALL BE REMOVED AND REPLACED AT NO EXTRA COST TO THE OWNER.

P. CLEAN–UP

1. KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS, OR RUBBISH CAUSED BY EMPLOYEES OR WORK UNDER THIS DIVISION OF THE SPECIFICATIONS. AT THE COMPLETION OF THE WORK, REMOVE ALL SURPLUS MATERIALS, TOOLS, ETC., AND LEAVE THE PREMISES "BROOM–CLEAN".

Q. EXCAVATION, CUTTING AND FITTING

1. PERFORM THE EXCAVATION, CUTTING, FITTING, REPAIRING AND FINISHING OF THE WORK NECESSARY FOR THE INSTALLATION OF ELECTRICAL EQUIPMENT HOWEVER, NO CUTTING OF THE WORK OF OTHER TRADES OR OF ANY STRUCTURAL MEMBER SHALL BE DONE WITHOUT THE CONSENT OF THE ARCHITECT.

R. EXCAVATION AND BACKFILL

1. PERFORM ALL EXCAVATION AND BACKFILLING REQUIRED FOR WORK PERFORMED UNDER THIS DIVISION OF THE SPECIFICATIONS. TRENCH BOTTOMS SHALL BE GRADED TRUE AND FREE FROM STONES OR SOFT SPOTS. USE EXCAVATED MATERIALS FOR BACKFILL UNLESS OFF-SITE MATERIALS ARE DEEMED NECESSARY BY THE ARCHITECT. TRENCHING AND BACKFILLING FOR ELECTRICAL AND TELEPHONE UTILITY SERVICES TO BUILDING SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
2. VERIFY LOCATION OF EXISTING UNDER GROUND UTILITIES PRIOR TO TRENCHING.

PART 2 – PRODUCTS AND EXECUTION

A. CONDUIT

1. ALL WIRING SHALL BE INSTALLED IN LISTED METALLIC CONDUIT EXCEPT AS PERMITTED BELOW. GRC MAY BE USED IN ALL AREAS. IMC MAY BE USED IN INDOOR LOCATIONS NOT IN CONTACT WITH EARTH. EMT MAY BE USED IN INDOOR LOCATIONS NOT IN CONTACT WITH EARTH, NOT IN CONCRETE SLABS OR WALLS AND NOT SUBJECT TO DAMAGE. PVC MAY BE USED IN OR BELOW CONCRETE AND DIRECT BURIED IN EARTH. FLEXIBLE STEEL CONDUIT SHALL BE USED FOR INDOOR FINAL CONNECTIONS TO MECHANICAL EQUIPMENT NOT TO EXCEED 36", AND RECESSED REMOVABLE FLUORESCENT LIGHT FIXTURES NOT TO EXCEED 72". LIQUID–TIGHT FLEXIBLE STEEL CONDUIT SHALL BE FOR OUTDOOR FINAL CONNECTIONS TO EQUIPMENT NOT TO EXCEED 36".
2. WHERE THE CONDUIT ENTERS OUTLET BOXES, FIXTURES OR CABINETS, FIRMLY FASTEN BY DOUBLE LOCKNUTS AND BUSHINGS (GRC AND IMC ONLY). FIRMLY FASTEN CONDUIT TO THE BUILDING CONSTRUCTION. RUN EXPOSED CONDUIT PARALLEL TO THE BUILDING LINES, SUPPORTED BY APPROPRIATE HANGERS.
3. COVER METALLIC CONDUIT IN CONTACT WITH EARTH OR FILL WITH POLYETHYLENE TAPE SPIRAL WRAPPED, 1/2" LAPPED TO PROVIDE DOUBLE THICKNESS. TAPE SHALL BE SCOTCH NO. 50 TAPE. CONDUIT AND DUCTS NOT UNDER BUILDINGS AND FEEDER DUCTS SHALL BE INSTALLED PER NEC 300.5, EXCEPT THAT THE BENDS IN CONDUIT LARGER THAN 1" IN DIAMETER SHALL BE MADE WITH GALVANIZED STEEL CONDUIT TREATED AS NOTED ABOVE. MAKE JOINTS WITH COMPOUND TO BE WATERTIGHT.
4. CONDUIT SIZES SHALL BE AS REQUIRED BY CODE AND AS INDICATED OR SPECIFIED ON DRAWINGS. NO CONDUIT SMALLER THAN 3/4 INCH TRADE SIZE SHALL BE USED.
5. PENETRATION THROUGH FLOOR SLABS WHERE SUBJECT TO DAMAGE SHALL BE IN WRAPPED RIGID STEEL. SCHEDULE 40 PVC ELBOWS AND PENETRATIONS MAY BE USED IN SLAB ON GRADE WHERE PENETRATIONS OCCUR IN PROTECTED AREAS (WALLS, ELECTRICAL ROOMS, ETC.).
6. CONDUITS AND OUTLETS SHALL BE CONCEALED WITHIN THE BUILDING STRUCTURE, EXCEPT THAT CERTAIN MOTOR AND LIGHTING FEEDER CONDUITS MAY BE RUN EXPOSED IN CERTAIN AREAS AS INDICATED ON THE DRAWINGS. CONDUIT SHOWN TO BE INSTALLED IN CABINETS, COUNTERS, AND CASEWORK SHALL BE RUN AS DIRECTED BY THE ARCHITECT.
7. ALL CONDUIT SERVING ROOF MOUNTED EQUIPMENT AND DEVICES INCLUDING HVAC EQUIPMENT, GFCI MAINTENANCE RECEPTACLES AND DUCT TYPE SMOKE DETECTORS SHALL BE ROUTED IN THE CEILING SPACE. CONDUIT SHALL PENETRATE ROOF AT EQUIPMENT LOCATIONS ONLY. NO CONDUIT SHALL BE INSTALLED HORIZONTALLY ACROSS ROOF SURFACE.
8. FLEXIBLE METALLIC AND NON–METALLIC CONDUIT SYSTEMS SHALL HAVE A CODE SIZED COPPER GROUND CONDUCTOR. INCREASE CONDUIT SIZE AS REQUIRED.
9. FLEXIBLE METAL CONDUIT/CUT–IN BOXES FOR LOW VOLTAGE SYSTEMS (TEL/DATA) MAY BE USED IN WALL CAVITIES PROVIDED THE INSTALLATION COMPLIES WITH NEC ARTICLE 348. ALL CONDUIT FOR LOW VOLTAGE WIRING SYSTEMS IN NEW WALL PARTITIONS SHALL BE EMT. FLEXIBLE METAL CONDUIT FOR THESE SYSTEMS IS NOT ACCEPTABLE IN NEW WALLS.
10. ALL EMPTY CONDUIT SYSTEMS SHALL HAVE A 200 POUND TEST PULL CORD INSTALLED TO FACILITATE INSTALLATION OF FUTURE WIRE.

B. FITTINGS

1. EMT–FITTINGS AND CONDUIT BODIES SHALL BE STEEL, MALLEABLE IRON OR DIE CAST COMPRESSION OR SET SCREW TYPE.
2. IMC AND GRC–SHALL BE STEEL OR MALLEABLE IRON TYPE AND SHALL ENGAGE A MINIMUM OF FIVE (5) THREADS.

C. OUTLET, PULL AND JUNCTION BOXES

1. PULL AND/OR JUNCTION BOXES SHALL BE INSTALLED WHEREVER SHOWN ON THE DRAWINGS OR AS REQUIRED BY CODE.
2. EACH SWITCH, LIGHT, RECEPTACLE OR OTHER OUTLET SHALL BE PROVIDED WITH A CODE GAUGE, GALVANIZED STEEL OUTLET BOX. JUNCTION AND PULLBOXES SHALL BE CODE GAUGE, GALVANIZED STEEL. OUTLET BOXES SHALL BE OF THE ONE PIECE, KNOCKOUT TYPE, IN GENERAL 4–INCH SQUARE, 2 1/8–INCH WITH PLASTER RING. PLASTER RINGS SHALL BE SET TO PROVIDE NOT MORE THAN 1/8" FROM WALL SURFACE TO RING. IN NO CASE SHALL PLASTER RING PROJECT BEYOND SURFACE OF WALL. SINGLE GANG RINGS SIMILAR TO STEEL CITY 52050 SHALL BE USED FOR 4" BOXES IN UNFINISHED BRICK. NUMBER 180 BOXES MAY BE USED FOR UNFINISHED MASONRY FLUSH WALL OUTLETS. CENTER ALL OUTLET BOXES IN BLOCK COURSE.
3. BOXES INSTALLED IN POURED CEMENT FLOORS SHALL BE FLUSH TYPE CAST IRON WITH WATERTIGHT GASKETED COVERS, GRAY METALLIC FINISH. WHERE BOXES ARE INSTALLED IN FLOORS WITH TILE OR CARPET FLOOR COVERING, COVERS SHALL BE OF THE RECESSED TYPE TO ACCOMMODATE THE FLOOR COVERING.
4. BOXES INSTALLED FOR THE ALARM, COMPUTER AND SECURITY SYSTEM SHALL BE PROVIDED WITH APPROPRIATE COVERPLATES.
5. PULL BOXES SHALL BE THE TYPES, SIZE AND DESIGN AS APPROVED BY THE NEC FOR THE CLASS OF INSTALLATION REQUIRED.
6. PULL BOXES AND OUTLET BOXES SHALL BE SIZED BY THE ELECTRICAL CONTRACTOR AS REQUIRED BY THE NEC BASED ON NUMBER OF CONDUCTORS, YOKES, STRAPS, ETC., USED IN THE INSTALLATION.

D. WIRE

1. MATCH BUILDING STANDARDS IF APPLICABLE IN AN EXISTING BUILDING CONDITION, UNLESS OTHERWISE FOLLOW THE SPECIFICATIONS BELOW.
2. CONDUCTOR SIZES SHOWN ON THE DRAWINGS ARE BASED ON COPPER WIRE. UNLESS OTHERWISE SPECIFIED, ALL WIRE SHALL BE 75 DEGREE C TYPE THWN OR XHHW. ALL BRANCH CIRCUIT AND FEEDER WIRING SHALL BE COPPER.
3. WIRES SHALL BE MARKED WITH COLOR TO SIMPLIFY CIRCUIT IDENTIFICATION. UNLESS OTHERWISE REQUIRED BY LOCAL ORDINANCES, IDENTIFICATION SHALL BE AS FOLLOWS:
   a. 120/208V AND 120/240V
      - PHASE A: BLACK.
      - PHASE B: RED.
      - PHASE C: BLUE.
      - NEUTRAL: WHITE.
      - GROUND: GREEN
   b. 277/480V
      - PHASE A: BROWN.
      - PHASE B: ORANGE.
      - PHASE C: YELLOW
      - NEUTRAL: GRAY.
      - GROUND: GREEN
4. THE WIRE SHALL BE #12 AWG UNLESS OTHERWISE INDICATED.
5. NO WIRE SHALL BE INSTALLED IN THE CONDUIT SYSTEM UNTIL THE CONDUIT SYSTEM IS COMPLETE. USE U.L. APPROVED LUBRICANT TO FACILITATE THE INSTALLATION OF THE CONDUCTORS IN THE CONDUIT SYSTEM.
6. CONDUCTORS NO. 10 AWG AND SMALLER SHALL BE SOLID. CONDUCTORS LARGER THAN NO. 10 AWG SHALL BE STRANDED.
7. MC CABLE MAY BE UTILIZED FOR #10 AND #12 BRANCH CIRCUIT WIRING WITH THE FOLLOWING LIMITATIONS.
   a. THE INSTALLATION IS IN ACCORDANCE WITH NEC ARTICLE 330.
   b. MC CABLE USE IS LIMITED TO WIRING WITHIN PARTITIONS AND WALLS AND TO CONNECTIONS TO AND BETWEEN SWITCHES AND WIRING DEVICES.
   c. MC CABLE IS NOT TO BE USED FOR HOME RUN CIRCUITING. HOME RUN CIRCUITING SHALL BE INDIVIDUAL CONDUCTORS INSTALLED IN EMT CONDUIT.
8. HOME RUN SHALL BE DEFINED AS THE PORTION OF THE CIRCUIT FROM THE PANEL TO THE FIRST DEVICE.

E. WIRING DEVICES

1. SWITCHES: WALL SWITCHES SHALL BE SPECIFICATION GRADE AC SILENT TYPE SWITCHES 20A, 120 – 277 VOLT. HUBBELL 1221 (SP), 1222 (DP), 1223 (3–WAY) AND 1224 (4–WAY). DIMMERS SHALL BE SPECIFICATION GRADE WITH PRESET SLIDE CONTROL. COLOR SHALL BE AS APPROVED BY THE ARCHITECT/OWNER. MATCH BUILDING STANDARD (IF EXISTING).
2. RECEPTACLES: DUPLEX TYPE OUTLETS SHALL BE HEAVY DUTY, SPECIFICATION GRADE NEMA 5–20R, 20A, 120V GROUNDED TYPE EQUAL TO HUBBELL ISOLATED GROUND OUTLETS SHALL BE EQUAL TO HUBBELL IG5362. SPECIAL APPLICATION RECEPTACLES SHALL BE AS INDICATED ON PLANS AND VERIFIED WITH EQUIPMENT SUPPLIER. COLOR SHALL BE AS APPROVED BY THE ARCHITECT/OWNER. MATCH BUILDING STANDARD (IF EXISTING).
3. WEATHERPROOF RECEPTACLES: COVERS SHALL BE HUBBELL WPFS26 WITH 5362 DUPLEX OUTLET OR EQUAL.
4. GFCI RECEPTACLES: SHALL BE HUBBELL GF5362. GFCI RECEPTACLES SHALL BE USED IN ALL OUTDOOR APPLICATIONS AS WELL AS THOSE PLACED WITHIN 6' OF WATER SOURCE AND ALL OTHER NEC REQUIRED LOCATIONS.
5. MOUNTING HEIGHTS: SWITCHES – +48 INCHES. RECEPTACLES – +18 INCHES COMMUNICATION DEVICES – +18 INCHES. FIRE ALARM DEVICES – AS REQUIRED BY ADA, NFPA 72 OR AUTHORITY HAVING JURISDICTION. ALL MOUNTING HEIGHTS ARE TO CENTERLINE OF DEVICE.
6. DEVICE PLATES SHALL BE EQUAL TO SIERRA SMOOTH–LINE PLASTIC WALL PLATES COLOR SHALL BE AS APPROVED BY THE ARCHITECT/OWNER. MATCH BUILDING STANDARD (IF EXISTING).
7. IN ALL CASES, SWITCHES CONTROLLING LIGHTING ARE TO BE LOCATED ON THE STRIKE SIDE OF DOORS. LOCATIONS INDICATED FOR SWITCHES AND OUTLETS ARE APPROXIMATE. OWNER MAY MAKE MINOR RELOCATIONS AT NO ADDITIONAL CHARGE.

F. LIGHTING FIXTURES

1. COORDINATE THE FINAL LOCATION OF FIXTURES SHOWN DIAGRAMMATICALLY ON THE DRAWINGS WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES. RELOCATE FIXTURES AS REQUIRED AS PART OF THE WORK UNDER THIS DIVISION IF NEW LOCATION IS WITHIN A FIVE FOOT RADIUS OF LOCATION SHOWN.
2. PROVIDE ALL LIGHTING FIXTURES, WIRED AND CONNECTED. THE DRAWINGS INDICATE THE FIXTURES FOR EACH LOCATION. ELECTRICAL CONTRACTOR SHALL VERIFY FIXTURE LOCATIONS, MOUNTING REQUIREMENTS AND U.L. LABELING OF ALL FIXTURES PRIOR TO ORDERING. INCLUDE ALL ACCESSORIES NEEDED FOR A COMPLETE INSTALLATION INCLUDING MOUNTING CLIPS, PLASTER FRAMERS, HANGERS AND HARDWARE IN BASE BID. PROVIDE LAMPS FOR ALL FIXTURES. VERIFY CEILING CONSTRUCTION BEFORE ORDERING RECESSED UNITS.
3. ADJUSTABLE FIXTURES SHALL BE LOCATED AND PROPERLY AIMED AS DIRECTED BY THE ARCHITECT OR THE LIGHTING DESIGNER.
4. SUPPORT RECESSED FIXTURES FROM CEILING STRUCTURAL SUPPORT PER ADOPTED BUILDING CODES.
5. ALL FIXTURES TO BEAR THE UL LABEL. ALL OUTDOOR FIXTURES SHALL BE U.L. LABELED FOR WET OR DAMP LOCATION AS DEFINED BY NEC ARTICLE 100.

G. LAMPS

1. LAMPS SHALL BE BY THE SAME MANUFACTURER. LAMPS SHALL BE MANUFACTURED BY GE, PHILLIPS OR USHIO.
2. INCANDESCENT – EXTENDED LAMP LIFE, INSIDE FROSTED.
3. FLUORESCENT – MINIMUM 75 CRI, 3500K, 20,000 RATED LAMP HOURS.
4. COMPACT FLUORESCENT – MINIMUM 80 CRI, 3500K, 10,000 RATED LAMP HOURS.
5. METAL HALIDE – MINIMUM 65 CRI, 15,000 RATED LAMP HOURS.
6. HIGH PRESSURE SODIUM – MINIMUM 22 CRI, 24,000 RATED LAMP HOURS.

H. BALLASTS

1. FLUORESCENT
   a. ELECTRONIC, RAPID START, HIGH POWER FACTOR, NORMAL (0.88) BALLAST FACTOR, LESS THAN 20–PERCENT TOTAL HAMONIC DISTORTION AND "A" SOUND RATING.
   b. COMPACT FLUORESCENT: ELECTRONIC, FULLY ENCAPSULATED, 90–PERCENT MINIMUM POWER FACTOR, 20 KHZ OR HIGHER OPERATION FREQUENCY, LESS THAN 5–PERCENT FLICKER, LUMP CURRENT CREST FACTOR OF 1.7 OR LESS. TRANSIENT PROTECTION SHALL COMPLY WITH IEEE (62.41) FOR CATEGORY A1 LOCATIONS. INTERFERENCE SHALL COMPLY WITH 47 CFR, CHAPTER 1, PART 18, SUBPART C FOR LIMITATIONS ON ELECTROMAGNETIC AND RADIO FREQUENCY INTERFERENCE FOR NONCONSUMER EQUIPMENT.
   c. OUTDOOR FIXTURES SHALL HAVE ELECTRONIC BALLASTS RATED FOR 0 DEGREES F STARTING TEMPERATURE.
2. HIGH–INTENSITY DISCHARGE
   a. BALLASTS SHALL COMPLY WITH ANSI C82.4, SHALL BE CONSTANT VOLTAGE AUTOTRANSFORMER HIGH POWER FACTOR TYPE. OPEN CIRCUIT OPERATION WILL NOT REDUCE AVERAGE LIFE OF BALLAST.
   b. THE BALLAST SHALL BE DESIGNED FOR AN AMBIENT OPERATING TEMPERATURE OF 104 DEGREES F AND SHALL START AT MINUS 22 DEGREES F.
   c. AUXILIARY, INSTANT–ON QUARTZ SYSTEM – AUTOMATICALLY SWITCHES QUARTZ LAMP ON WHEN FIXTURE IS INITIALLY ENERGIZED AND WHEN MOMENTARY POWER OUTAGES OCCUR. AUTOMATICALLY TURNS QUARTZ LAMP OFF WHEN HIGH–INTENSITY–DISCHARGE LAMP REACHES APPROXIMATELY 60 PERCENT LIGHT OUTPUT.

I. SAFETY SWITCHES

1. SAFETY SWITCHES SHALL BE GENERAL DUTY TYPE, 250 VOLT FOR 208 VOLT EQUIPMENT AND HEAVY DUTY TYPE, 600 VOLT FOR 480 VOLT EQUIPMENT. SAFETY SWITCHES SHALL HAVE THE NUMBER OF POLES REQUIRED. WIRE TERMINATIONS SHALL BE LISTED AS SPECIFIED BY THE NEC. SAFETY SWITCHES FOR AIR CONDITIONING USE SHALL BE OF THE FUSIBLE TYPE WHERE RECOMMENDED BY EQUIPMENT MANUFACTURER. FUSIBLE SWITCHES SHALL ACCEPT CLASS 'R' FUSES ONLY AND WILL REJECT ALL OTHER TYPES. THE SWITCH SIZE, NUMBER OF POLES AND VOLTAGE RATING SHALL BE AS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS. WHERE OUTSIDE THE BUILDING, THE SWITCHES SHALL BE TYPE NEMA 3R WEATHERPROOF. ALL SWITCHES SHALL BE LOCKABLE.
2. PROVIDE DYMO–TAPE TAG INSIDE COVER OF EACH FUSIBLE SWITCH, INDICATING SIZE AND TYPE OF FUSES PROVIDED.

J. FUSES

1. FUSES SHALL BE DUAL ELEMENT TIME DELAY TYPE, AS MANUFACTURED BY BUSSMAN MFG. COMPANY, OR AS INDICATED OR REQUIRED BY THE EQUIPMENT SUPPLIED.
2. PROVIDE TWO (2) SETS OF THREE (3) SPARE FUSES FOR EACH SIZE AND TYPE PROVIDED ON THIS PROJECT. INSTALL FUSES IN A HINGED DOOR, SHEET METAL STORAGE CABINET EQUIPPED WITH CLIPS OR CUBICLES, EACH MARKED WITH THE SIZE AND TYPE OF FUSE STORED THEREIN. PROVIDE NAMEPLATE "SPARE FUSES." INSTALL IN LOCATION AS DIRECTED BY OWNER.

K. SERVICE ENTRANCE

1. THE SERVICE ENTRANCE EQUIPMENT SIZE, VOLTAGE AND RATING SHALL BE AS INDICATED ON THE DRAWINGS. PROVIDE COPPER BUSING UNLESS OTHERWISE NOTED OR PERMITTED. EQUIPMENT SHALL CARRY THE U.L. LABEL AND SHALL CONFORM TO THE POWER COMPANY REGULATIONS.
2. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM THAT EQUIPMENT SUBMITTED SHALL FIT WITHIN THE ALLOTTED SPACE REQUIREMENTS SHOWN ON THE PLANS. DRAWINGS INDICATE MAXIMUM DIMENSIONS FOR SWITCHBOARDS INCLUDING CLEARANCES BETWEEN SWITCHBOARDS AN ADJACENT SURFACES AND OTHER ITEMS. COMPLY WITH MAXIMUM DIMENSIONS. IF ANY SPACE OR SIZE DISCREPANCIES ARE ANTICIPATED IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO SUBMITTAL. ONCE THE SUBMITTALS HAVE BEEN APPROVED IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO INSTALL THE EQUIPMENT WITHIN THE ALLOTTED SPACE AT NO ADDITIONAL COST TO THE OWNER.
3. SERVICE ENTRANCE EQUIPMENT SHALL BE MANUFACTURED BY GENERAL ELECTRIC, SQUARE D, CUTLER–HAMMER, SIEMENS OR APPROVED EQUAL.
4. ALL OVERCURRENT PROTECTION DEVICES AND ELECTRICAL DISTRIBUTION EQUIPMENT SHALL BE FULLY (100%) RATED FOR AVAILABLE FAULT CURRENT INDICATED. SERIES RATED DEVICES ARE NOT ACCEPTABLE

L. EQUIPMENT CONNECTIONS

1. ALL MOTORS SHALL BE WIRED TO CONFORM WITH MANUFACTURER'S RECOMMENDATIONS AND WITH APPLICABLE CODES. FURNISH NECESSARY MATERIALS, SUCH AS WIRE, CONDUIT, FITTINGS, ETC. REQUIRED TO CONNECT HOWEVER, MOTORS, CONTROLS, ETC. SHALL BE FURNISHED BY THE SUPPLIER OF THE DRIVEN EQUIPMENT. VERIFY EQUIPMENT LOCATION AND SIZES WITH THE TRADE SUPPLYING THE MOTOR BEFORE INSTALLING THE CONDUIT OR OUTLETS.
2. FINAL CONNECTION TO ALL HVAC OR MOTOR LOADS FROM LOAD SIDE OF DISCONNECT SHALL BE MADE USING COPPER WIRE ONLY, ALUMINUM WIRE NOT ACCEPTABLE.

P. COMMUNICATION SYSTEMS

1. FOR ALL COMMUNICATION OUTLETS PROVIDE DOUBLE GANG BACK BOX WITH SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO 6" ABOVE ACCESSIBLE CEILING WITH 90° BEND AND CONDUIT BUSHING UNLESS OTHERWISE NOTED ON DRAWINGS. FOR NON–ACCESSIBLE CEILINGS, ROUTE CONDUIT TO NEAREST
ACCESSIBLE CEILING SPACE OR TO NEAREST COMMUNICATION CLOSET. PROVIDE BLANK COVER PLATES FOR ALL UNUSED BOXES.
2. PROVIDE 3/4" FIRE RATED PLYWOOD FOR TELEPHONE TERMINAL BACKBOARD AND PAINT TO MATCH WALL SURFACE. REFER TO DRAWINGS FOR DIMENSIONS OF BACKBOARD.
3. PROVIDE #6 AWG CU GROUND WIRE FROM EQUIPMENT BACKBOARD TO BUILDING SERVICE GROUND.

R. LIGHTING CONTROL

1. FURNISH AND INSTALL LIGHTING CONTROL PANELS, OVERRIDE SWITCHES, TIME SWITCHES, PHOTOCELLS AND CONTACTORS REQUIRED FOR LIGHTING CONTROL AS INDICATED ON THE DRAWINGS. LIGHTING CONTROL PANEL AND ALL ASSOCIATED COMPONENTS SHALL CONFORM TO ADOPTED ENERGY CODES.

S. FIRE ALARM SYSTEM

1. FIRE ALARM IS NOT SHOWN ON THESE DRAWINGS. FIRE ALARM IS REQUIRED AS A PART OF THE CONTRACTOR'S SCOPE OF WORK. CONTRACTOR SHALL ENGAGE THE SERVICES OF A STATE LICENSED FIRE ALARM CONTRACTOR FOR THE DESIGN AND INSTALLATION OF A COMPLETE AND OPERABLE FIRE ALARM SYSTEM THAT COMPLIES WITH ALL NFPA, NEC AND LOCAL ORDINANCES AND REQUIREMENTS APPROVED BY AUTHORITY HAVING JURISDICTION. SYSTEM DESIGN AND INSTALLATION SHALL BE COMPATIBLE WITH EXISTING SHELL BUILDING AND APPROVED BY LANDLORD PRIOR TO BID. MANUFACTURER OF FIRE ALARM SYSTEM SHALL BE THE SAME MANUFACTURER AS THE SHELL BUILDING UNLESS OTHERWISE APPROVED BY LANDLORD AND AUTHORITY HAVING JURISDICTION. INCLUDE ALL COSTS IN BASE BID.

H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior
Gillis + Panichapan Architects,
2900 BRISTOL STREET SUITE G-205
COSTA MESA CALIFORNIA 92626
TEL (714) 668-4260
FAX (714) 668-4265

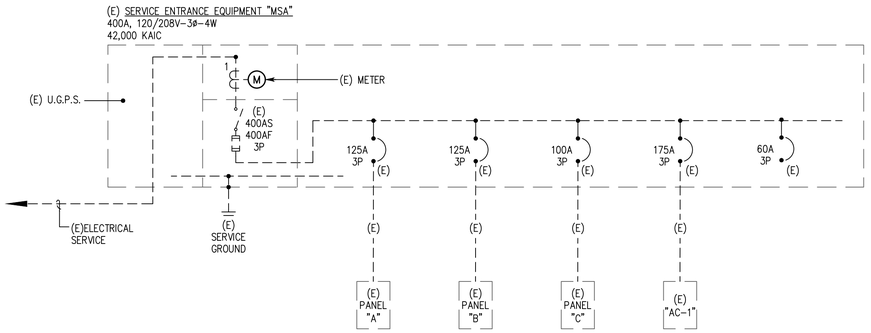
CONSTRUCTION SET

JOB NO.: 21122
DATE: 12/08/2021
DRAWN BY: M.VERMA
CHECKED BY: M.VERMA
SCALE: AS NOTED

ELECTRICAL SPECIFICATIONS

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

E-0.2



1 EXISTING SINGLE LINE DIAGRAM
SCALE: NONE

MOUNTING: SURFACE — **EXISTING PANEL 'A'** — LOCATION: SEE PLANS

VOLTAGE: 120/208V,3Ø,4W — 10,000 AIC SYM — 225 AMP BUS — MAIN LUGS ONLY

NOTE	DESCRIPTION	VOLT-AMPERES ØA	ØB	ØC	LITE	RECP	MISC	POLE	BRKR	CIRC	CIRC	BRKR	POLE	MISC	RECP	LITE	VOLT-AMPERES ØA	ØB	ØC	DESCRIPTION	NOTE
1	LIGHTS	720			.			1	20	1	2	20	1				175			EF-1	2
1	LIGHTS		705		.			1	20	3	4	20	1							SPARE	1
1	LIGHTS			600	.			1	20	5	6	20	1						700	LIGHTS	1
1	LIGHTS	300			.			1	20	7	8	20	1				750			LIGHTS	1
1	RECEP KITCHEN		1200					1	20	9	10	20	1					1200		RECEP KITCHEN	1
1	RECEP KITCHEN			1200				1	20	11	12	20	1						1800	RECEP KITCHEN	1
1	RECEP KITCHEN	900						1	20	13	14	20	1				900			RECEP KITCHEN	1
1	RECEP KITCHEN		1000					1	20	15	16	20	1					600		RECEP KITCHEN	1
1	REF.			1000				1	20	17	18	20	2						1000	REF. COMP	2
1	SPARE	1000						1	20	19	20	-	-				1000			-	
2	FREEZER COMP.		1000					2	20	21	22	20	1					600		FAN COIL	2
	-			1000				-	-	23	24	20	1						600	FAN COIL	2
1	OVEN	800						2	20	25	26	20	3				800			STEAMER	1
1	-		800					1	-	27	28	-	1					800		STEAMER	1
1	HOT TABLE			1500				2	20	29	30	-	-						800	-	1
1	-	1500						-	-	31	32	20	1							SPARE	1
1	SPARE							2	20	33	34	20	1					900		EF-1	1
1	-							-	-	35	36	20	1						900	EF-1	1
1	RECEP KITCHEN	800						1	20	37	38	20	1				800			RECEP. KITCHEN	1
1	RECEP KITCHEN		800					1	20	39	40	20	1					800		RECEP. KITCHEN	1
1	MIXER			800				1	20	41	42	20	1						1000	RECIRRIGATION CONT	1
	VA PER PHASE	6020	5505	6100													4425	4900	6800	VA PER PHASE	
																	10445	10405	12900	TOTAL VA PER PHASE	
																		33750		TOTAL CONNECTED VA	
																				NOTES	
																	1	EXISTING CIRCUIT TO REMAIN			
																	2	EXISTING C.B. WITH NEW LOAD			
																	3				
																	4				

CONTINUOUS LOAD 2325 x1.25= 2906 VA
+ OTHER= 31425 VA
TOTAL LOAD= 34331 VA — 95 AMPS

CEILING OUTLETS =
CONV. OUTLETS =
MISC. OUTLETS =

THIS PANEL IS FED BY:

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

Gillis + Panichapan Architects,
architecture planning interior
BRYANT BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

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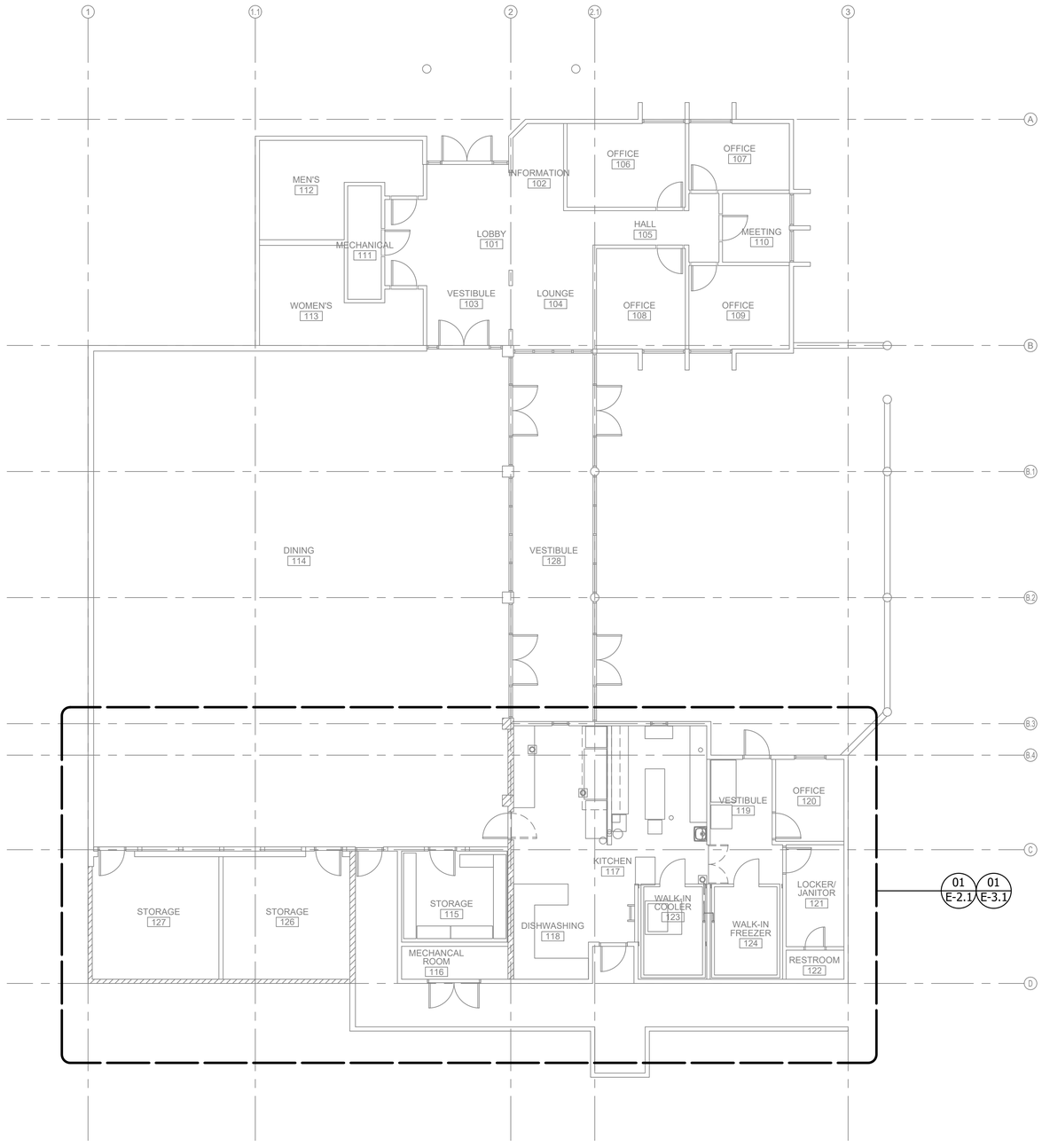
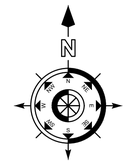
DEMO & REMODEL SINGLE LINE DIAGRAM

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

E-0.3



01 E-1.1 OVERALL FLOOR PLAN
Scale : 1/8" = 1'-0"



H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture
planning
interior
Gillis + Panichapan Architects,
3200 BRISTOL STREET COSTA MESA CALIFORNIA 92626
SUITE G-205 TEL (714) 668-4260
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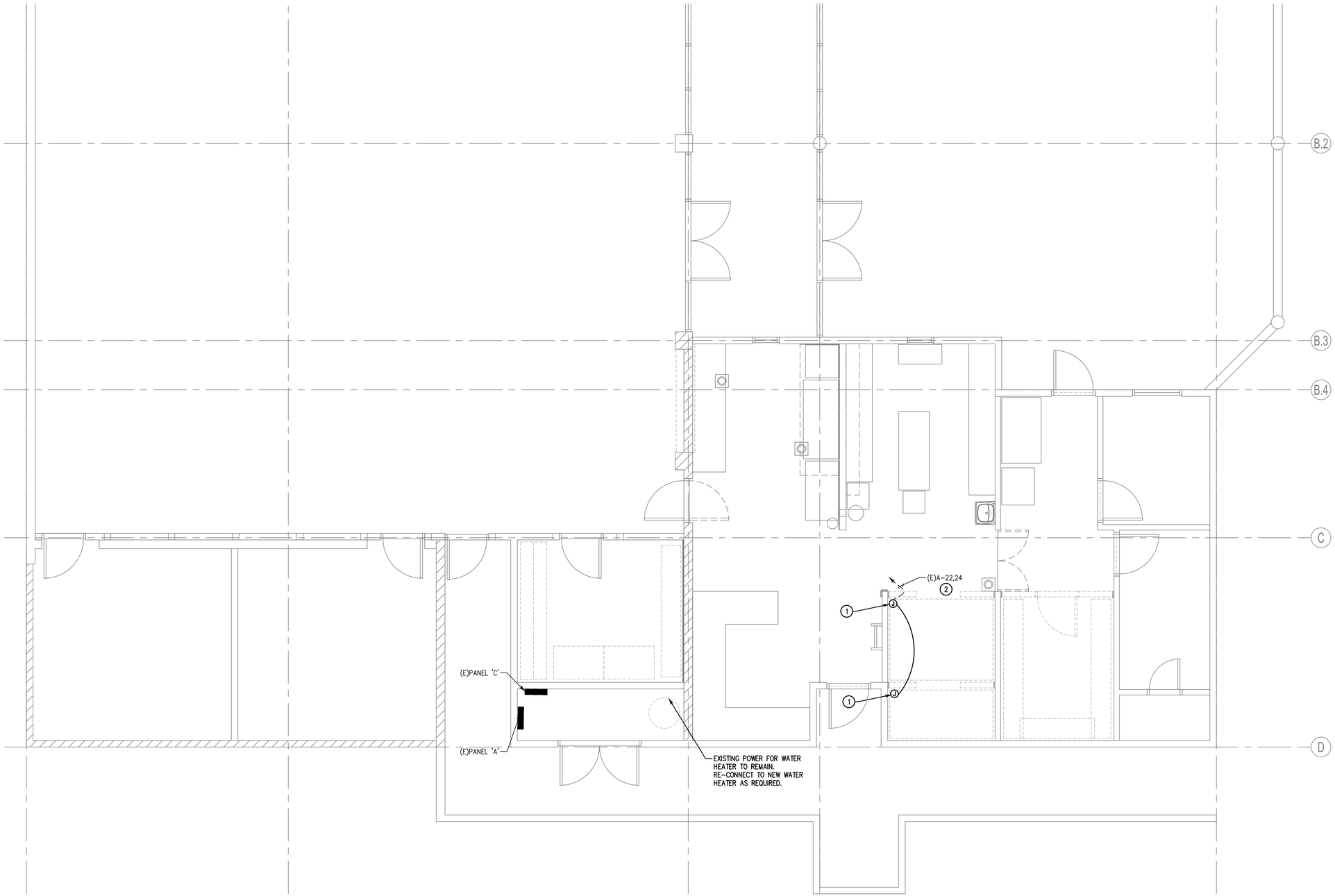
OVERALL FLOOR PLAN

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

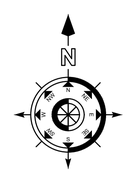
E-1.1

SHEET NOTES

1. DISCONNECT AND REMOVE POWER CONNECTION FROM EXISTING REF.& FREEZER UNITS. PRESERVE EXISTING CKTS FOR LATER REUSE. SEE SHEET E-3.1 FOR ADDITIONAL INFORMATION.
2. PULL NEW 3#12 WIRES INSIDE EXISTING CONDUIT.



01 E-2.1 ENLARGED FLOOR PLAN - EXISTING/DEMO
Scale : 1/4" = 1'-0"



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Anaheim, CA 92801
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E-mail: mverma@h2sengineers.com

Gillis + Panichapan Architects,
architecture planning interior
18012 BRISTOL STREET COSTA MESA CALIFORNIA 92626
SUITE G-205 TEL (714) 668-4260
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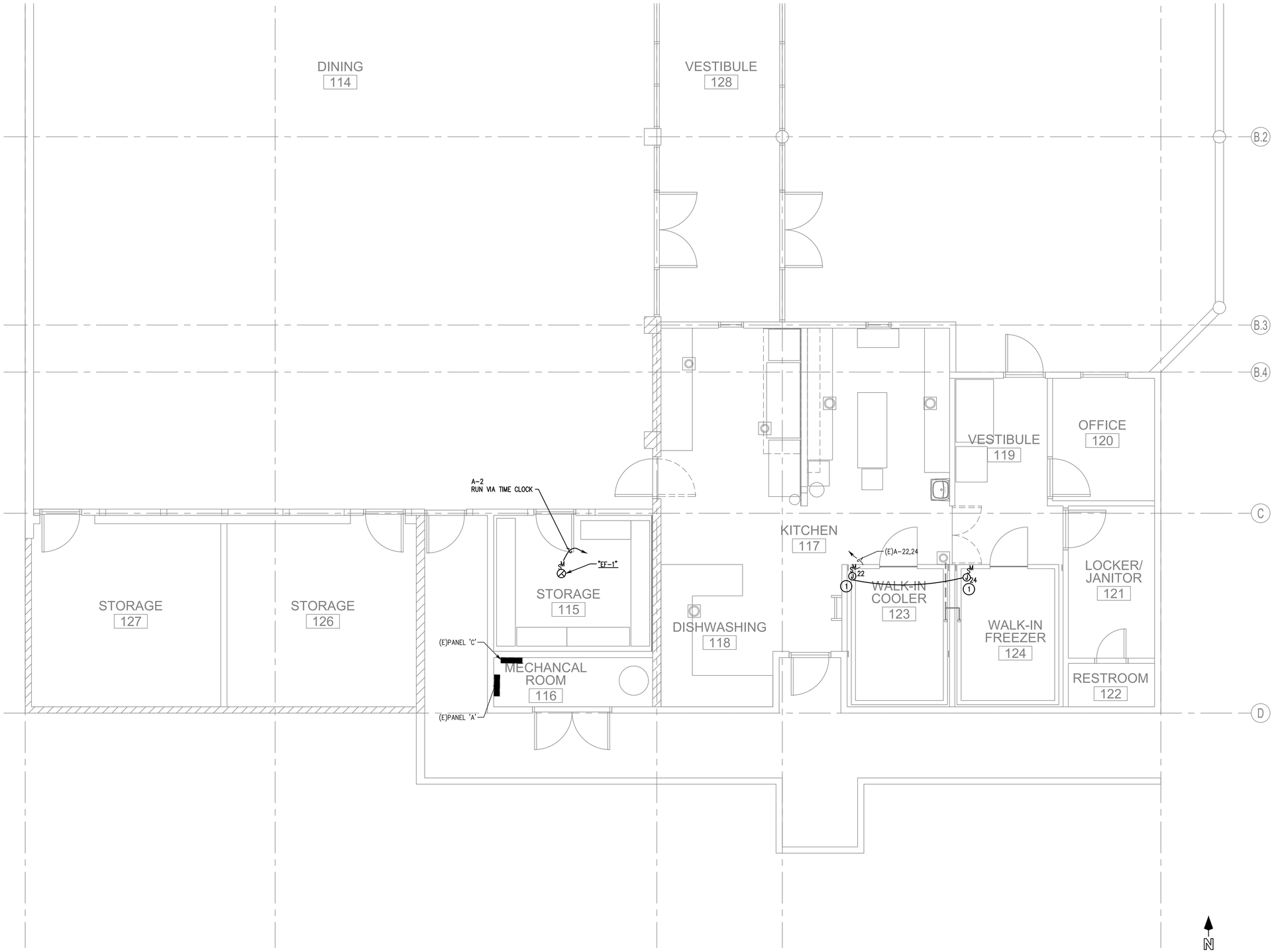
ENLARGED FLOOR PLAN - EXISTING/DEMO

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

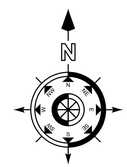
E-2.1

SHEET NOTES

(1) PROVIDE 20AMPS MOTOR RATED SWITCH FOR NEW FAN-COILS



01 E-3.1 ENLARGED FLOOR PLAN - PROPOSED
Scale : 1/4" = 1'-0"



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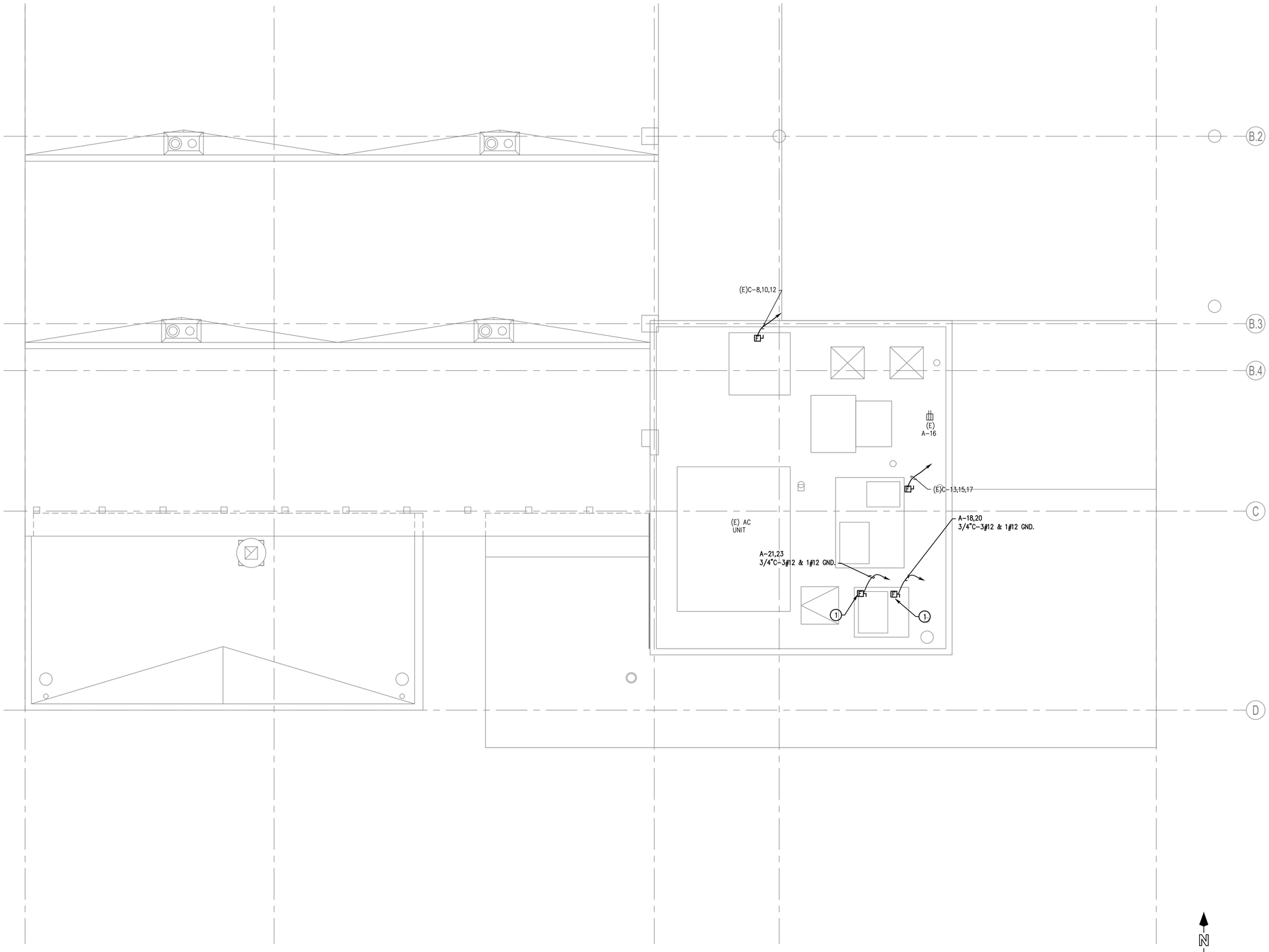
ENLARGED FLOOR PLAN - PROPOSED

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

E-3.1

SHEET NOTES

(1) PROVIDE 30AS/20AF, 2P FUSED, NEMA 3R DISCONNECT SWITCH. VERIFY WITH MECHANICAL PLAN FOR ALL REQUIREMENT BEFORE ANY ROUGH-IN.



01 E-4.1 ENLARGED ROOF PLAN - PROPOSED
Scale : 1/4" = 1'-0"

N

H2S ENGINEERS INC

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Consulting MEP Engineers
Anaheim, CA 92801
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ENLARGED ROOF PLAN - PROPOSED

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

E-4.1

GENERAL NOTES

1. ALL DRAWINGS ARE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS PRIOR TO ANY CONSTRUCTION, INCLUDING STRUCTURAL, PLUMBING, AIR CONDITIONING AND ELECTRICAL. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER.

2. THESE DRAWINGS ARE DIAGRAMMATIC. THE LOCATION & ELEVATION OF ALL PIPING IS APPROXIMATE AND SHALL BE VERIFIED AND COORDINATED WITH ALL OTHER TRADES, STRUCTURAL CONDITIONS AND BUILDING CONSTRUCTION PRIOR TO START OF INSTALLATION.

3. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF CLARIFICATION IS REQUIRED, THE CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

4. DO NOT SCALE DRAWINGS. ALL DIMENSIONS AND JOB SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE PRIOR TO BID SUBMITTAL, START OF CONSTRUCTION AND/OR FABRICATION OF MATERIALS. VERIFY ALL EXISTING DUCTWORK, PIPING, ELEVATIONS, SIZES AND POINT OF CONNECTIONS PRIOR TO START OF WORK. IF DISCREPANCIES ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED FOR CLARIFICATION.

5. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR COMPLETION OF THE WORK. ALL MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND GOVERNING REGULATION AND MEET THE APPROVAL OF THE CITY AND STATE FIRE MARSHALL.

6. CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR PROTECTION AND REPAIR OF ADJACENT EXISTING SURFACES AND AREAS WHICH MAY BE DAMAGED AS A RESULT OF DEMOLITION AND/OR NEW WORK.

7. FIELD INSPECT THE PROJECT TO BE FULLY INFORMED AS TO THE SCOPE OF WORK AND ALL EXISTING CONDITIONS PRIOR TO STARTING OF WORK. VERIFY ALL EXISTING DUCTWORK, PIPING, ELEVATIONS, SIZES AND POINT OF CONNECTIONS PRIOR TO START OF WORK. NOT ALL CONDITIONS INDICATED ON PLANS.

8. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE MOST RESTRICTIVE OF REGULATIONS, PROCEDURES DETAILED IN THE ASHRAE HANDBOOK OF FUNDAMENTALS, OR THE APPLICABLE STANDARDS ADOPTED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION.

9. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.

10. WRAP CONCEALED DUCTS WITH MINIMUM 1 INCH THICK FIBERGLASS DUCTWRAP (ALL SUPPLY DUCT TO HAVE VAPOR BARRIER). ALL NEW SUPPLY AND RETURN DUCT INSULATION WITHIN THE BUILDING TO HAVE MINIMUM 6.0 R-VALUE. INSTALL DOUBLE WALL DUCTS FOR ALL EXPOSED OUTDOOR SUPPLY AND RETURN DUCTS WITH AT LEAST 8.0 R-VALUE INSULATION.

11. INSULATION APPLIED TO THE EXTERIOR SURFACE OF DUCTS LOCATED IN BUILDINGS SHALL HAVE A FLAME SPREAD OF NOT MORE THAN 25 AND SMOKE DEVELOPED RATING OF NOT MORE THAN 50 WHEN TESTED AS A COMPOSITE INSTALLATION INCLUDING INSULATION, FACING MATERIALS, TAPES AND ADHESIVES AS NORMALLY APPLIED.

12. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE (C.M.C.), 2019 CALIFORNIA BUILDING CODE (C.B.C.) AND ALL OTHER APPLICABLE CODES AND REGULATIONS.

13. INSTALLATION SHALL BE COMPLIANT WITH 2019 CBC SECTION 425, APPLICABLE NFPA CODE SECTIONS AND SECTION 1632A AND CHAPTER 35 OF 2019 CBC.

14. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE MADE AVAILABLE TO THE INSPECTING AUTHORITIES.

15. AIR LEAKAGE TESTING SHALL BE PERFORMED BY SMACNA HVAC DUCT LEAKAGE TEST MANUAL.

16. USE YOUNG REGULATOR FOR VOLUME DAMPER FOR AT INACCESSIBLE CEILING.

17. LINE VOLTAGE WIRING, ALL CONDUIT, DISCONNECT SWITCHES AND FINAL CONNECTION BY ELECTRICAL CONTRACTOR. LOW VOLTAGE CONDUIT AND WIRING AND FINAL CONNECTION BY MECHANICAL CONTRACTOR.

18. THE TOTAL SYSTEM AIR BALANCE SHALL BE PERFORMED BY AN INDEPENDENT AGENCY CERTIFIED BY THE AABC OR NEBB. THIS WORK SHALL CONFORM TO AABC OR NEBB SPECIFICATIONS AS REFERRED TO IN THE NATIONAL STANDARDS.

19. ALL PIPING AND DUCT WORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTIONS 118, 123, 124, E.E.S. AND TABLE 6D OF 2019 CMC.

20. IF THE PROJECT WILL BE CONSTRUCTED IN MULTIPLE PHASES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THEIR WORK WITH THE ARCHITECTURAL PHASING PLANS AND ALL OTHER TRADES AND INSTALL IN SUCH A WAY THAT IT DOES NOT AFFECT THE ADJOINING OCCUPIED SPACES AND MEETS ALL OF THE REQUIREMENTS OF CONTRACT DOCUMENTS AND SPECIFICATIONS AS PART OF THE BASE BID.

21. AUTOMATIC SHUTOFFS:

    PER SEC. 609 OF 2019 CMC WHEN REQUIRED, EACH SINGLE SYSTEM PROVIDING HEATING OR COOLING AIR IN EXCESS OF 2000 CUBIC FEET PER MINUTE SHALL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF. AUTOMATIC SHUTOFF SHALL BE ACCOMPLISHED BY INTERRUPTING THE POWER SOURCE OF THE AIR MOVING EQUIPMENT DEVICES WHICH WILL DETECT PRODUCTS OF COMBUSTION OTHER THAN HEAT AND WHICH COMPLY WITH THE UBC, SHALL BE LABELED BY AN APPROVED AGENCY FOR AIR DUCT INSTALLATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. SUCH DEVICES SHALL BE COMPATIBLE WITH THE OPERATING VELOCITIES, PRESSURES, TEMPERATURES AND HUMIDITY OF THE SYSTEM WHERE FIRE DETECTION OR ALARM SYSTEMS ARE PROVIDED FOR THE BUILDING, SMOKE DETECTORS SHALL BE SUPERVISED BY SUCH SYSTEMS.

    NOTE: FOR THE PURPOSE OF CLEARNESS AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ALTHOUGH SIZES AND LOCATIONS OF EQUIPMENT IS DRAWN TO SCALE WHEREVER POSSIBLE, THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION BEFORE ORDERING, FABRICATING OR INSTALLATION OF ANY MATERIALS.

22. HVAC SYSTEM AND COMPONENTS WILL BE TESTED, ADJUSTED AND BALANCED IN ACCORDANCE WITH AABC'S NATIONAL STANDARDS FOR TOTAL SYSTEM BALANCE 6TH EDITION.

MANDATORY NONRESIDENTIAL CALGREEN REQUIREMENTS

SECTION 5.410 – BUILDING MAINTENANCE AND OPERATION

5.410.4 TESTING AND ADJUSTING. TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR BUILDINGS LESS THAN 10,000 SQUARE FEET. APPLIES TO NEW SYSTEMS SERVING ADDITIONS OR ALTERATIONS.

5.410.4.2 SYSTEMS. DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS FOR
A. HVAC SYSTEMS AND CONTROLS
B. INDOOR AND OUTDOOR LIGHTING AND CONTROLS
C. WATER HEATING SYSTEMS
D. RENEWABLE ENERGY SYSTEMS
E. LANDSCAPE IRRIGATION SYSTEMS
F. WATER RESCUE SYSTEMS.
G. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT, THE SYSTEMS LISTED IN SECTION 5.410.4.2.

5.410.4.3 PROCEDURES. PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH APPLICABLE STANDARDS ON HVAC SYSTEM AND CONTROLS AS DETERMINED BY THE ENFORCING AGENCY.

5.410.4.3.1 HVAC BALANCING. BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE IN ACCORDANCE WITH THE PROCEDURES DEFINED BY NATIONAL STANDARDS LISTED IN SECTION 5.410.4.3.1 OR AS APPROVED BY THE ENFORCING AGENCY.

5.410.4.4 REPORTING. AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.

5.410.4.5 OPERATION AND MAINTENANCE (O & M) MANUAL. PROVIDE THE BUILDING OWNER WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/WARRANTIES FOR EACH SYSTEM PRIOR TO FINAL INSPECTION.

5.410.4.5.1 INSPECTIONS AND REPORTS. INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.

SECTION 5.504 POLLUTANT CONTROL

5.504.1 TEMPORARY VENTILATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MERV OF 13, BASED ON ASHRAE 52.2–1999, OR AN AVERAGE EFFICIENCY OF 30% BASED ON ASHRAE 52.1–1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY.

5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

5.504.5.3 FILTERS. IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MERV OF 13. MERV 13 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 OF THE CALIFORNIA ENERGY CODE AND CHAPTER 4 OF CCR, TITLE 8 OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT.

5.506.2 CARBON DIOXIDE (CO2) MONITORING. FOR BUILDINGS OR ADDITIONS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, CCR, SECTION 120(C)(4).

SECTION 5.508 – OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GLOBAL WARMING REDUCTIONS. INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.

5.508.1.1 CFCS. INSTALL HVAC AND REFRIGERATION EQUIPMENT THAT DOES NOT CONTAIN CFCS.

5.508.1.2 HALONS. INSTALL FIRE SUPPRESSION EQUIPMENT THAT DOES NOT CONTAIN HALONS.

SHEET INDEX

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE (CBC)

2019 CALIFORNIA ELECTRICAL CODE (CEC)

2019 CALIFORNIA MECHANICAL CODE (CMC)

2019 CALIFORNIA PLUMBING CODE (CPC)

2019 CALIFORNIA ENERGY STANDARDS CODE (CESC)

MECHANICAL LEGEND

SYMBOL	ABBV.	DESCRIPTION
	SWS	SIDEWALL DIFFUSER – SUPPLY
	CD	CEILING DIFFUSER – SUPPLY
	CD	CEILING DIFFUSER BELOW DUCT – SUPPLY
	SAD	RISER – SUPPLY AIR DUCT
	SAD	DROP – SUPPLY AIR DUCT
	SAD	ROUND DROP – SUPPLY AIR DUCT
	SWR	SIDEWALL REGISTER – RETURN
	CR	CEILING REGISTER – RETURN
	CR	CEILING REGISTER BELOW DUCT – RETURN
	RAD	RISER – RETURN AIR DUCT
	RAD	DROP – RETURN AIR DUCT
	SWE	SIDEWALL REGISTER – EXHAUST
	CR	CEILING REGISTER – EXHAUST
	CD	CEILING DIFFUSER BELOW DUCT – EXHAUST
	EAD	RISER – EXHAUST AIR DUCT
	EAD	DROP – EXHAUST AIR DUCT
	L.	LINED DUCTWORK
	VD	VOLUME DAMPER
	FC	FLEXIBLE CONNECTION
		NEW DUCT
		EXISTING DUCT – NEW PLAN
		EXISTING DUCT – DEMOLITION PLAN
		EXISTING MECHANICAL WORK TO BE REMOVED
	FSD	FIRE SMOKE DAMPER
1" UC	UC	UNDER CUT DOOR
T	TSTAT	THERMOSTAT
	POC	POINT OF CONNECTION
	POD	POINT OF DEMOLITION
	OSA	OUTSIDE AIR
	UTR	UP THRU ROOF
S	CSFD	COMBINATION SMOKE/FIRE DAMPER
F	F	FUSIBLE LINK FIRE DAMPER
	N.T.S.	NOT TO SCALE

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Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

Gillis + Panichapan Architects,
architecture planning interior
680C BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 TEL (714) 668-4260

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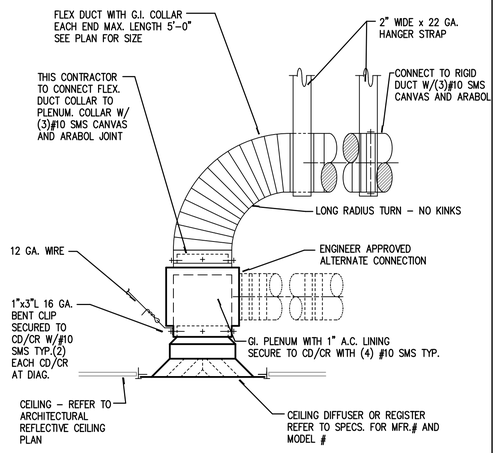
MECHANICAL LEGEND AND NOTES

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

M-0.1

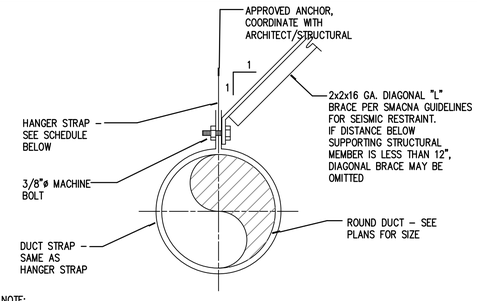
NOT USED | SCALE: NTS | 7

NOT USED | SCALE: NTS | 5



AIR DISTRIBUTION DETAIL | SCALE: NTS | 3

NOT USED | SCALE: NTS | 1



NOTE:

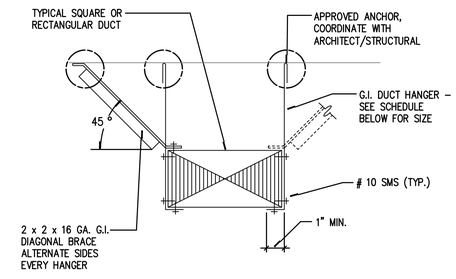
WHERE DUCT IS LARGER THAN 28"ø USE 2 1/2 X 2 1/2 X 16 GA. VERTICAL ANGLE IN PLACE OF HANGER STRAP AT EACH SEISMIC BRACE.

HANGER STRAP SCHEDULE

DUCT SIZE	HANGER SIZE	MAX. LOAD EA. HANGER	MAX. SPACING
UP THRU 10"	1" x 22 GA.	260 LBS	10'-0"
11" TO 18"	1" x 22 GA.	260 LBS	10'-0"
19" TO 24"	1" x 22 GA.	260 LBS	10'-0"
25" TO 36"	1" x 20 GA.	320 LBS	10'-0"

NOT USED | SCALE: NTS | 8

RECT. METAL DUCT SUPPORT DETAIL | SCALE: NTS | 6

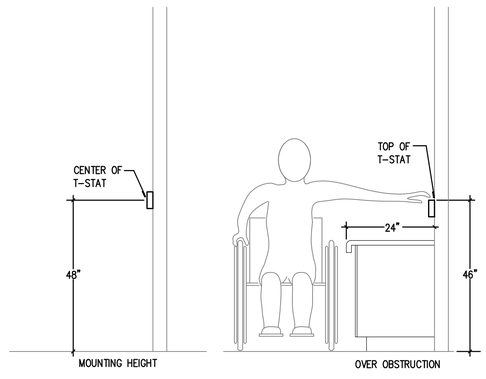


NOTE:

WHERE DUCT IS 6 SF. OR LARGER IN CROSS SECTIONAL AREA - USE 2 1/2 x 2 1/2 x 16 GA. VERTICAL ANGLE IN PLACE OF HANGER AT SEISMIC BRACE.

MAX. HALF OF DUCT PERIMETER	MAX. LOAD EACH HANGER	HANGER SIZE	HANGER SPACING
P/2 = 30"	260 LBS	1" x 22 GA.	10'-0" O/C
P/2 = 72"	420 LBS	1" x 18 GA.	10'-0" O/C
P/2 = 96"	700 LBS	1" x 16 GA.	10'-0" O/C
P/2 = 120"	1100 LBS	1 1/2" x 16 GA.	10'-0" O/C

T-STAT MOUNTING DETAIL | SCALE: NTS | 4



ROUND DUCT SUPPORT DETAIL | SCALE: NTS | 2

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior
Gillis + Panichapan Architects,
3990 BRISTOL STREET COSTA MESA CALIFORNIA 92626
SUITE C-205 TEL (714) 668-4260
FAX (714) 668-4265

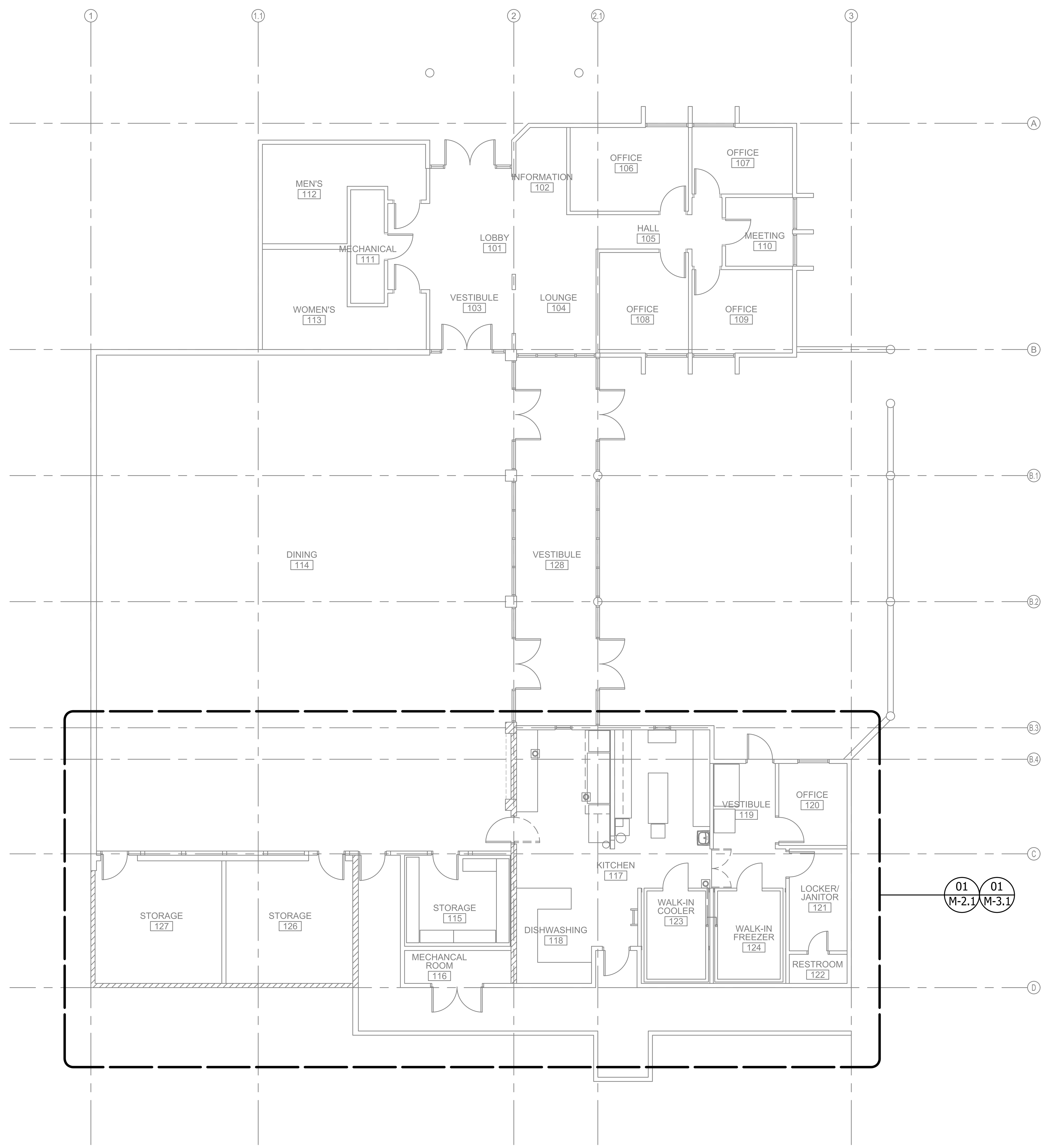
CONSTRUCTION SET

DATE: 12/08/2021
JOB NO.: 2122
DRAWN BY: H.SHETH
CHECKED BY: H.SHETH
SCALE: AS NOTED

MECHANICAL DETAILS

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

M-0.2



01 M-1.1 OVERALL FLOOR PLAN

Scale : 1/8" = 1'-0"

H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior

Gillis + Panichapan Architects,
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
SUITE G-205
FAX (714) 668-4265 TEL (714) 668-4260

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OVERALL FLOOR PLAN

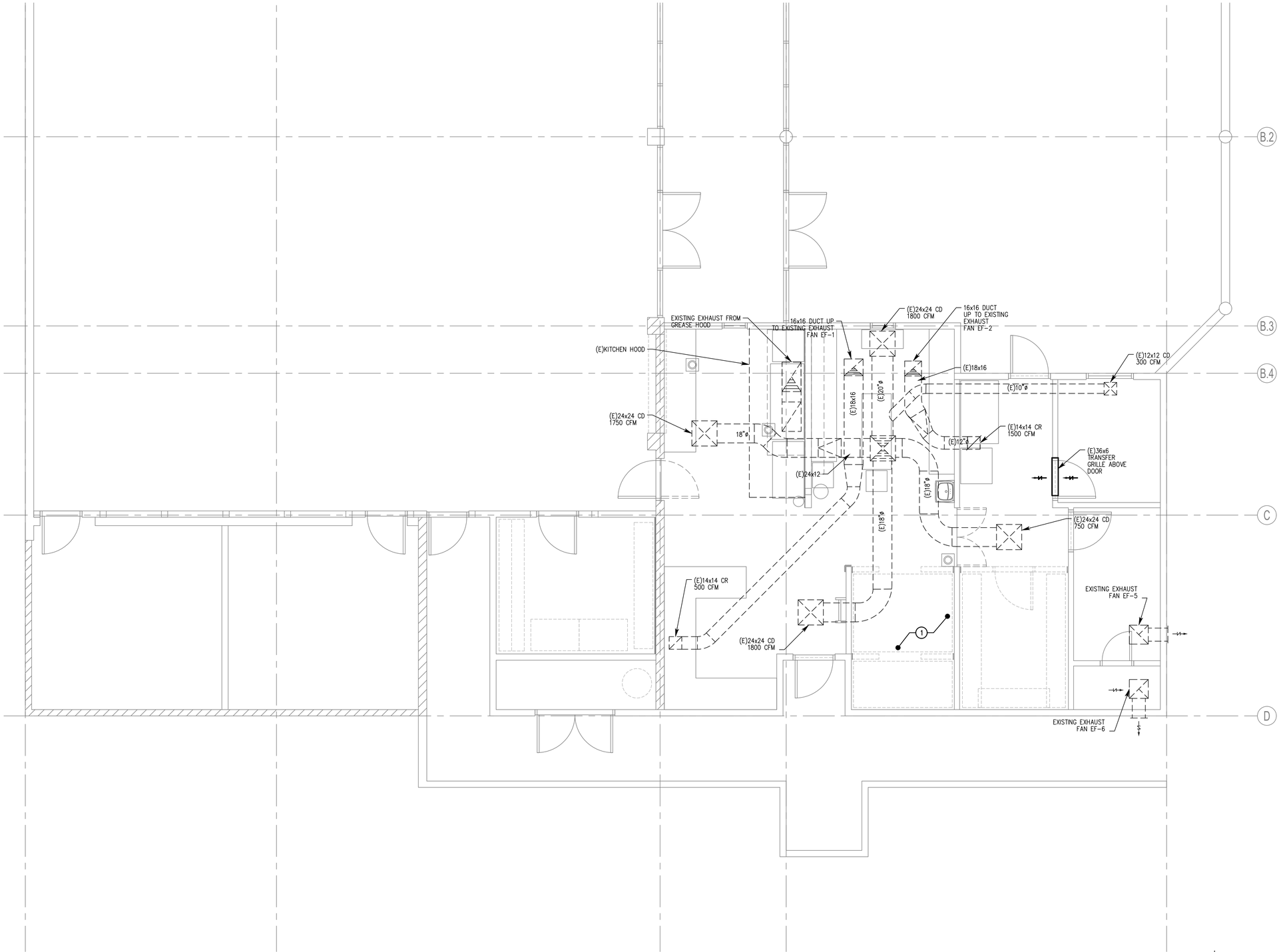
TOWN OF YUCCA VALLEY

Senior Center - Kitchen Upgrades

M-1.1

SHEET NOTES

(1) EXISTING EXHAUST AND SUPPLY TO REMAIN AS IS IN THE SPACE. NO ADDITIONAL WORK IS REQUIRED EXCEPT FOR ROOM 115 STORAGE. ALL EXISTING HVAC TO REMAIN AND TO BE PROTECTED IN PLACE. ALL EXISTING DUCTWORK SHOWS IN APPROXIMATE ONLY AND MAY NOT REPRESENT EXACT CONDITIONS. CONTRACT SHALL FIELD VERIFY TO MAKE SURE ALL EXISTING SYSTEM IS PROTECTED IN PLACE.



01 M-2.1 ENLARGED FLOOR PLAN - EXISTING/DEMO
Scale : 1/4" = 1'-0"

N

H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior
Gillis + Panichapan Architects,
BRYANT STREET COSTA MESA CALIFORNIA 92626
SUITE G-205 TEL (714) 668-4260
FAX (714) 668-4265

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SCALE: AS NOTED

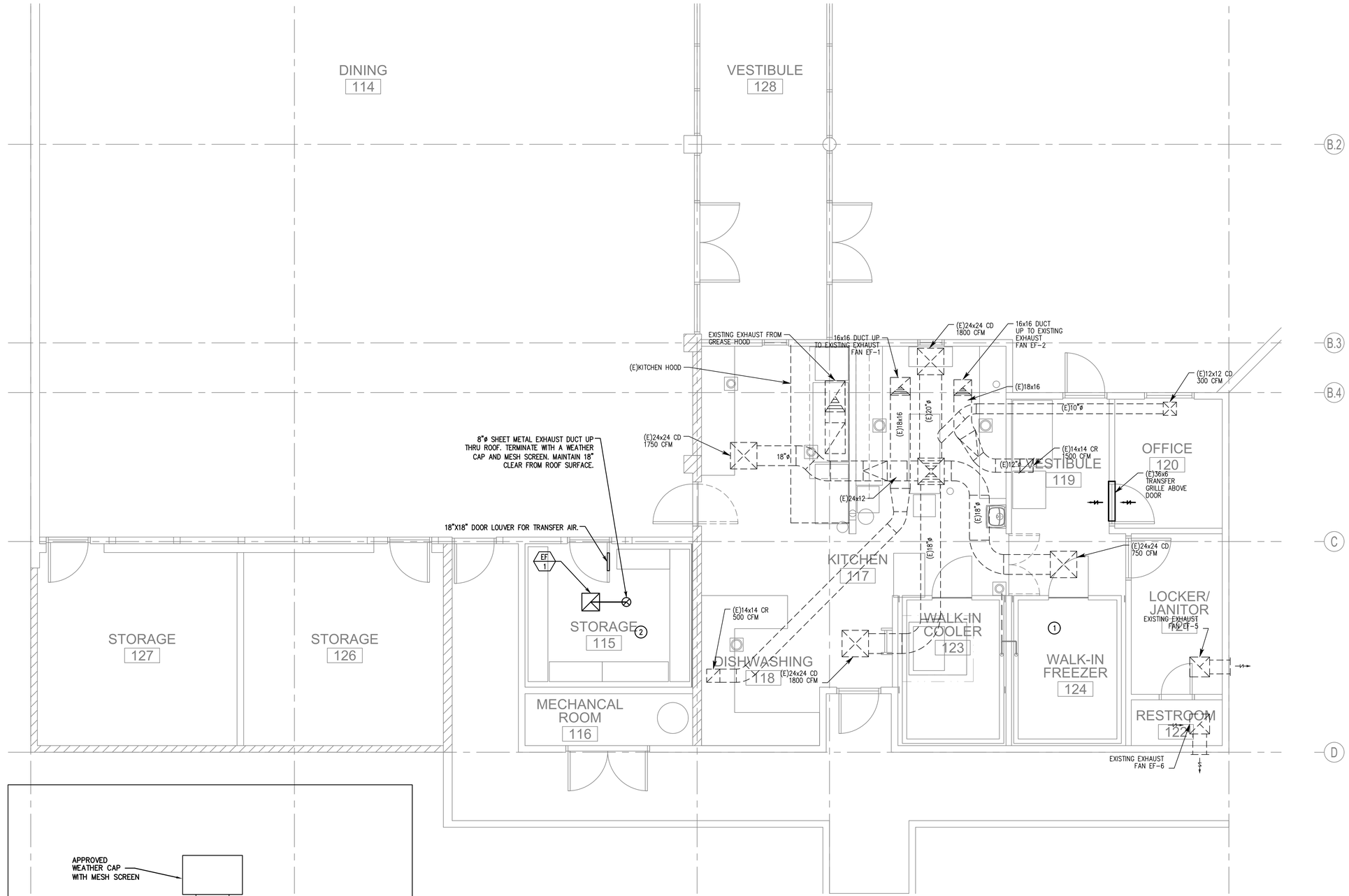
ENLARGED FLOOR PLAN - EXISTING/DEMO

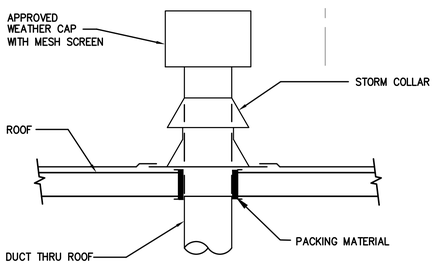
TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

M-2.1

SHEET NOTES

1. ALL EXISTING HVAC TO REMAIN AS IS. NO ADDITIONAL WORK IS REQUIRED EXCEPT FOR ROOM 115 STORAGE.
2. PROVIDE A CEILING MOUNTED EXHAUST FAN. FAN SHALL RUN AT ALL TIMES. PROVIDE A LOCAL SWITCH FOR CONTROL.





EXHAUST AIR TERMINATION ABOVE ROOF DETAIL — SCALE: NTS — 1

EXHAUST FAN SCHEDULE

TAG	MANUFACTURER	SERVING	CFM	ESP (W.G)	FAN RPM	POWER (HP)	SUPPLY VOLTAGE	WEIGHT LBS	NOTES
EF-1	GREENHECK SPB200	STORAGE ROOM	175	0.3	1700	175 W	115/1/60	40	RUN AT ALL TIMES.

01 / M-3.1 ENLARGED FLOOR PLAN - PROPOSED
Scale : 1/4" = 1'-0"

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H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior
Gillis + Panichapan Architects, INC
BRYANT BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE C-205 TEL (714) 668-4260

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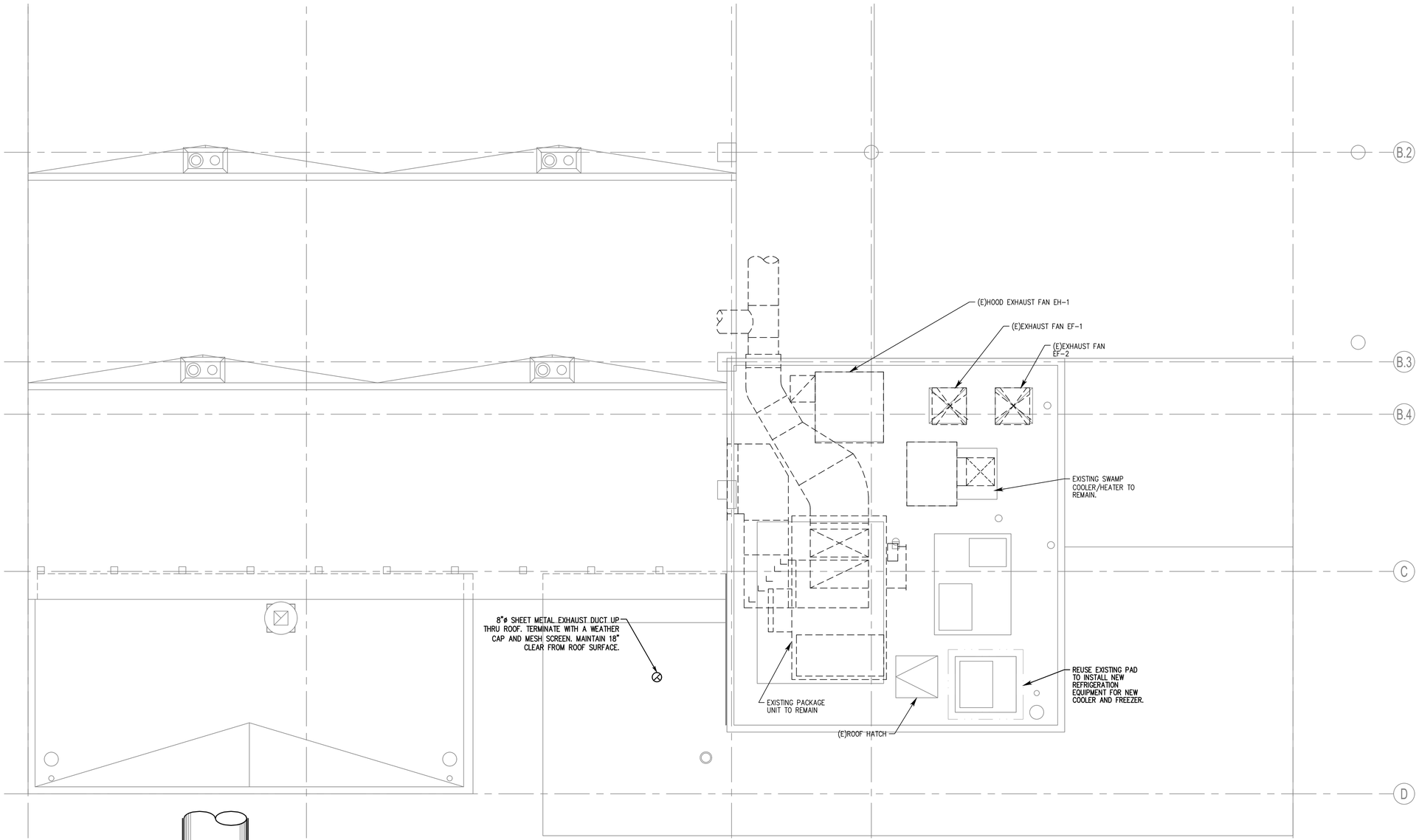
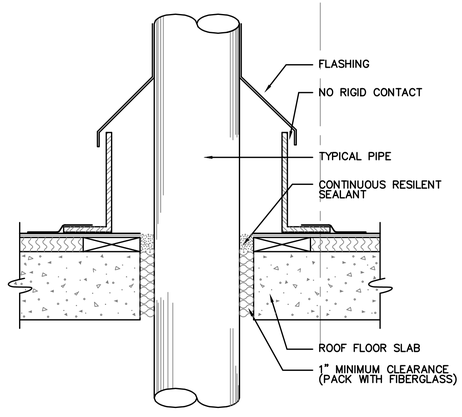
ENLARGED FLOOR PLAN - PROPOSED

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

M-3.1





PIPE THRU ROOF DETAIL

01 / M-4.1 ENLARGED ROOF PLAN - PROPOSED
Scale : 1/4" = 1'-0"

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H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior
Gillis + Panichapan Architects,
26042 BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

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ENLARGED ROOF PLAN - PROPOSED

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

M-4.1

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	PIPE SIZE				DESCRIPTION / REMARKS
		S/W	V	CW	HW	
FS–1	FLOOR SINK	2"	1–1/2"	1/2"	–	ZURN #1900–25 SANI–FLOOR RECEPTOR, 12x12x6 ACID RESISTING PORCELAIN ENAMEL ARCHITECTURAL AND TOP, CAST IRON BODY, SQUARE SLOTTED LIGHT DUTY GRATE. COORDINATE GRATE CONFIGURATION WITH KITCHEN ROUGH IN PLANS.
WCO FCO GCO CO	CLEAN–OUTS	–	–	–	–	WALL CLEAN OUT: "ZURN" MODEL: Z1447 SQUARE, Z1446 ROUND. FLOOR CLEANOUT: "ZURN" MODEL: Z1400–BZ MUST BE FLUSHED TO SURFACE. CLEAN OUT TO GRADE: "ZURN" MODEL: Z1400 MUST BE FLUSHED TO SURFACE. T CLEAN OUT: "ZURN" MODEL: Z1445.

GAS FIRED WATER HEATER

UNIT NO.	MANUFACTURER & MODEL NO.	SERVICE	STORAGE CAPACITY	INPUT BTU/HR	REC @ DEG° △ T (GPH)	INLET	OUTLET TEMP °F	OPER. WT. LBS.	REMARKS
GWH–1	A.O. SMITH BTH–199	DOMESTIC HOT WATER	100 GAL	199,900	384 @ 60°	60	120	1450	AMTROL ST–12 EXPANSION TANK; PROVIDE WITH CONDENSATE NEUTRALIZER KIT. PROVIDE CONCENTRIC VENT KIT.

REGULATORY NOTES

FIRE RESISTIVE BUILDING MATERIALS

A. ALL INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS PER CBC REQUIREMENTS.

B. INSULATION MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME–SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE–DEVELOPED INDEX OF NOT MORE THAN 450 IN ACCORDANCE WITH 2013 CBC.

C. INSULATION, INSULATION JACKET, ADHESIVES, TAPES, ETC. SHALL BE APPLIED PER MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.

A.D.A. COMPLIANCE NOTES

1. INSULATE EXPOSED HOT WATER AND WASTE PIPING WITH NEATLY PRE–FORMED INSULATION COVERS BY McGUIRE "PROWRAP", OR EQUAL.
2. FIXTURE MOUNTING HEIGHTS FOR THE PHYSICALLY DISABLED SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND OTHER AUTHORITIES HAVING JURISDICTION.

PIPE MATERIAL SCHEDULE

DOMESTIC WATER PIPING

A: COPPER TUBING: ASTM B88, TYPE L, HARD DRAWN.

1. FITTINGS: ASME B16.18, CAST COPPER ALLOY OR ASTM B16.22, WROUGHT COPPER AND BRONZE.

2. MECHANICAL PRESS SEALED FITTINGS: NSF/ANSI 61, DOUBLE PRESSED TYPE AND UTILIZING EPDM SEALING ELEMENT.

3. JOINTS: ASTM B32, ALLOY GRADE Sb5 TIN–ANTIMONY, OR ALLOY GRADE Sn95 TIN–SILVER, LEAD FREE SOLDER AWS A5.8 CLASSIFICATION BCuP–3 OR BCuP–4 SILVER BRAZED.

SANITARY SEWER PIPING

A: CAST IRON PIPE: CISPI 301, HUBLESS, SERVICE EIGHT

1. FITTINGS: CAST IRON, CISPI 301

2. JOINTS: CISPI 310, NEOPRENE GASKETS AND STAINLESS STEEL CLAMP AND SHIELD ASSEMBLIES.

SEWER AND VENT PIPE (PLASTIC)
COORDINATE WITH OWNER/CLIENT AND LOCAL JURISDICTION PRIOR TO BIDDING.

1. BELOW AND ABOVE GRADE INSIDE BUILDING SCHEDULE 40 PVC ASTM D2665. UNDERGROUND INSTALLATION MUST COMPLY WITH ASTM–D2321.

PLUMBING LEGEND

1. NOTE: FOR THE PURPOSE OF CLEARNESS AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ALTHOUGH SIZES AND LOCATIONS OF EQUIPMENT ARE DRAWN TO SCALE WHEREVER POSSIBLE, THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION PRIOR TO ORDERING, FABRICATING OR INSTALLING ANY MATERIALS.
2. CONTRACTOR SHALL COORDINATE ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS WITH ALL DISCIPLINES AND TRADES PRIOR TO SUBMITTAL OF BID AND INSTALLATION OF SYSTEM.
3. THE PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS & LABOR (INCLUDING THE COMPLETE PLUMBING SYSTEM) FOR A PERIOD OF ONE YEAR FROM WRITTEN ACCEPTANCE BY THE OWNER. ANY DEFECTS IN MATERIALS & OR LABOR FOUND WITHIN THE GUARANTEE PERIOD SHALL BE REMEDIED OR REPAIRED BY THIS CONTRACTOR IN A TIMELY FASHION, AT NO COST TO THE OWNER.
4. ALL PLUMBING FIXTURE LOCATIONS (WATER CLOSETS, LAVATORIES ETC.) ARE DIAGRAMMATIC & CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ADA COMPLIANT FIXTURES, EXACT LOCATIONS, MOUNTING HEIGHTS & COLOR.
5. ANY DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTAL OF BID AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. SUBMITTAL OF BID WILL VERIFY THAT THE CONTRACTOR HAS VISITED THE SITE.
7. PIPING SHALL BE INSTALLED PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. THE INSTALLATION SHALL MEET ALL CONSTRUCTION CONDITIONS AND ALLOW FOR THE INSTALLATION OF OTHER TRADES.
8. TRAP PRIMERS FOR FLOOR DRAINS AND FLOOR SINKS AND WATER HAMMER ARRESTORS TO BE INSTALLED AS PER THE LISTED PLUMBING CODE AND THE LATEST EDITION OF THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE 1010) SIZING AND INSTALLATION REQUIREMENTS.
9. ALL VALVES, TRAP PRIMERS, WATER HAMMER ARRESTORS OR OTHER EQUIPMENT SHOWN IN WALLS OR ABOVE NON–ACCESSIBLE CEILINGS SHALL BE INSTALLED BEHIND AN ACCESS PANEL.
10. ALL SERVICE WATER HEATING EQUIPMENT TO BE IN COMPLIANCE WITH THE STATE ENERGY CODE AND 2013 IECC REQUIREMENTS AND LABELED AS SUCH.
11. ALL ITEMS PROJECTING THROUGH THE ROOF SHALL BE FLASHED THROUGH CURBS OR PIPE SEALS A MINIMUM OF 12" ABOVE THE ROOF. THE PIPE CURBS AND SEALS SHALL BE INSTALLED BY THE ROOFING CONTRACTOR. ENSURE THAT AMPLE BOOT OPENINGS ARE PROVIDED TO ACCOMMODATE ANY ELECTRICAL CONDUIT PENETRATIONS REQUIRED FOR POWER.
12. CONTRACTOR TO REFER TO PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL WASTE, VENT & WATER CONNECTION SIZES AT EACH PLUMBING FIXTURE.
13. ALL CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE AND LOCATED AS PER CODE REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE ALL CLEAN OUT LOCATIONS WITH EQUIPMENT, MILLWORK, ETC., PRIOR TO INSTALLATION.
14. ALL PLUMBING FIXTURE VENTS TO TERMINATE A MINIMUM OF 12 INCHES FROM ANY VERTICAL SURFACE AND 10'–0" FROM OR 3'–0" ABOVE ANY MECHANICAL EQUIPMENT OUTSIDE AIR INTAKE.
15. ALL VALVES, UNIONS, ETC. TO BE SAME SIZE AS CONNECTED SUPPLY LINE UNLESS OTHERWISE NOTED ON DRAWINGS.
16. UNIONS SHALL BE PROVIDED AND INSTALLED AFTER EACH SCREW–TYPE VALVE AND PRIOR TO EQUIPMENT CONNECTIONS.
17. ALL UNDERGROUND METALLIC PIPE AND FITTINGS SHALL BE PROTECTED IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS.
18. NO PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE, MASONRY WALLS, OR CONCRETE FOOTINGS.
19. THE PLUMBING CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR ALL POINTS OF CONNECTION WITH THE GENERAL CONTRACTOR AND OTHER TRADES PRIOR TO START OF WORK.
20. VERIFY EXACT LOCATIONS, DEPTH AND SIZE OF ALL PIPING TO WHICH CONNECTIONS ARE REQUIRED. COORDINATE ALL CONNECTIONS WITH SITE CONDITIONS AND SITE UTILITY CONTRACTOR/ REPRESENTATIVE.
21. ALL HORIZONTAL PIPING LINES EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT THE HIGHEST POSSIBLE ELEVATIONS AND NOT LESS THAN 6" ABOVE THE FLOOR TO PROVIDE CLEARANCE FOR CLEANING.
22. ALL CUTTING OF EXISTING PAVING, WALKS AND/OR FLOORS SHALL UTILIZE MACHINE SAW CUTTING EQUIPMENT. HOLES FOR PIPES IN CONCRETE WALLS OR FLOORS SHALL UTILIZE CORE DRILLING EQUIPMENT. COORDINATE WITH ARCHITECTURAL DETAILS FOR FLOOR CUTTING AND PATCHING.
23. THE PLUMBING CONTRACTOR IS TO PROVIDE ALL ADDITIONAL STEEL, HANGER MATERIALS, RODS AND CLAMPS AS REQUIRED FOR COORDINATION WITH WORK OF OTHER TRADES.
24. PIPING LAYOUT IS SCHEMATIC ONLY, EXACT ROUTING AND INSTALLATION OF PIPES TO BE COORDINATED WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER CONTRACTORS.
25. NO LIQUID TRANSMISSION PLUMBING PIPING SHALL BE INSTALLED ABOVE ELECTRICAL SWITCH GEAR, EQUIPMENT, OR PANELS. MAKE ADJUSTMENTS NECESSARY TO REROUTE PIPING FOR ACTUAL INSTALLATION OF ELECTRIC EQUIPMENT.
26. WHENEVER FOUNDATION WALLS, EXTERIOR WALLS, ROOFS, ETC. ARE PENETRATED FOR THE INSTALLATION OF PLUMBING SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
27. PLUMBING CONTRACTOR SHALL BE ON SITE AND PRESENT AT THE DATE OF TURNOVER.
28. ALL EXTERIOR EXPOSED WATER PIPING SHALL BE INSULATED AND PVC JACKETED. SEAL JACKET PER MANUFACTURER'S REQUIREMENTS.
29. LABEL ALL SHUT–OFF VALVES ABOVE THE CEILING AND IN THE WALL WITH ACCESS DOORS.
30. GENERAL CONTRACTOR TO VERIFY PRESSURE ON SITE EARLY TO VERIFY IF BOOSTER PUMPS ARE REQUIRED.

PLUMBING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
	W	SANITARY WASTE
	GW	GREASE WASTE
	V	SANITARY VENT
	CW	DOMESTIC COLD WATER
	HW	DOMESTIC HOT WATER
	HWR	DOMESTIC HOT WATER RETURN
G	G	LOW PRESSURE GAS
MPG	MPG	MEDIUM PRESSURE GAS
HPG	HPG	HIGH PRESSURE GAS
	CD	CONDENSATE DRAIN
SD	SD	STORM DRAIN
OD	OD	OVERFLOW STORM DRAIN
	VTR	VENT THRU ROOF
	SOV	VERTICAL SHUT–OFF VALVE
	SOV	SHUT–OFF VALVE
	PRV	PRESSURE REDUCING VALVE
		PRESSURE GAUGE
		THERMOMETER
	BV	BALL VALVE
	CV	CHECK VALVE
	U	UNION
	WHA	WATER HAMMER ARRESTER WITH ACCESS PANEL
	TP	TRAP PRIMER WITH ACCESS PANEL
		PIPE UP
C		PIPE DOWN
⌀	FCO OR GCO	FLOOR OR GRADE CLEAN OUT
⌀⌀	SCO	2–WAY SERVICE CLEAN OUT
	WCO	WALL CLEAN OUT
	HB	HOSE BIBB
		CAPPED PIPE
	POC	POINT OF CONNECTION
	POR	POINT OF REMOVAL
		FLOOR DRAIN
	AP	ACCESS PANEL
	FFE	FINISHED FLOOR ELEVATION
	IE	INVERT ELEVATION
	FU	FIXTURE UNIT

SHEET INDEX

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Gillis + Panichapan Architects,
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CALIFORNIA 92626
TEL (714) 668-4260
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690C BRISTOL STREET COSTA MESA SUITE C–205

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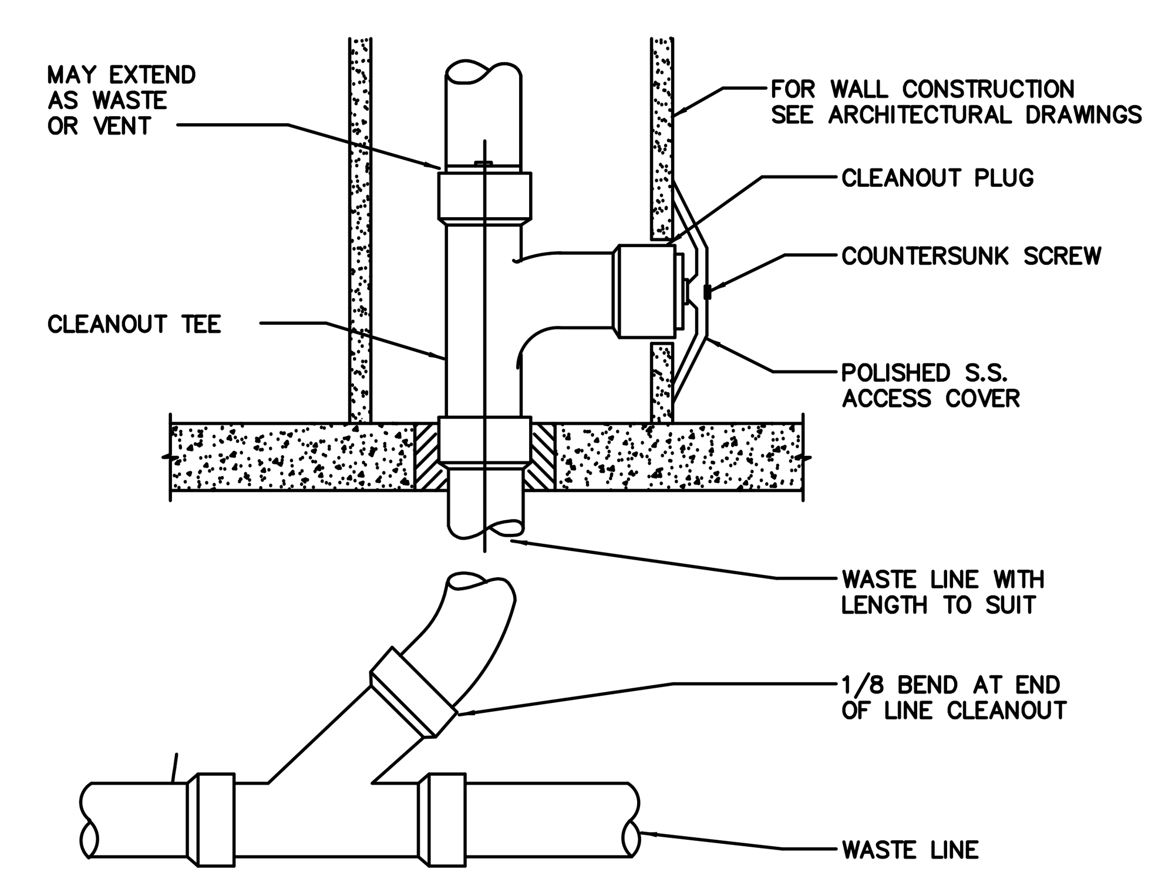
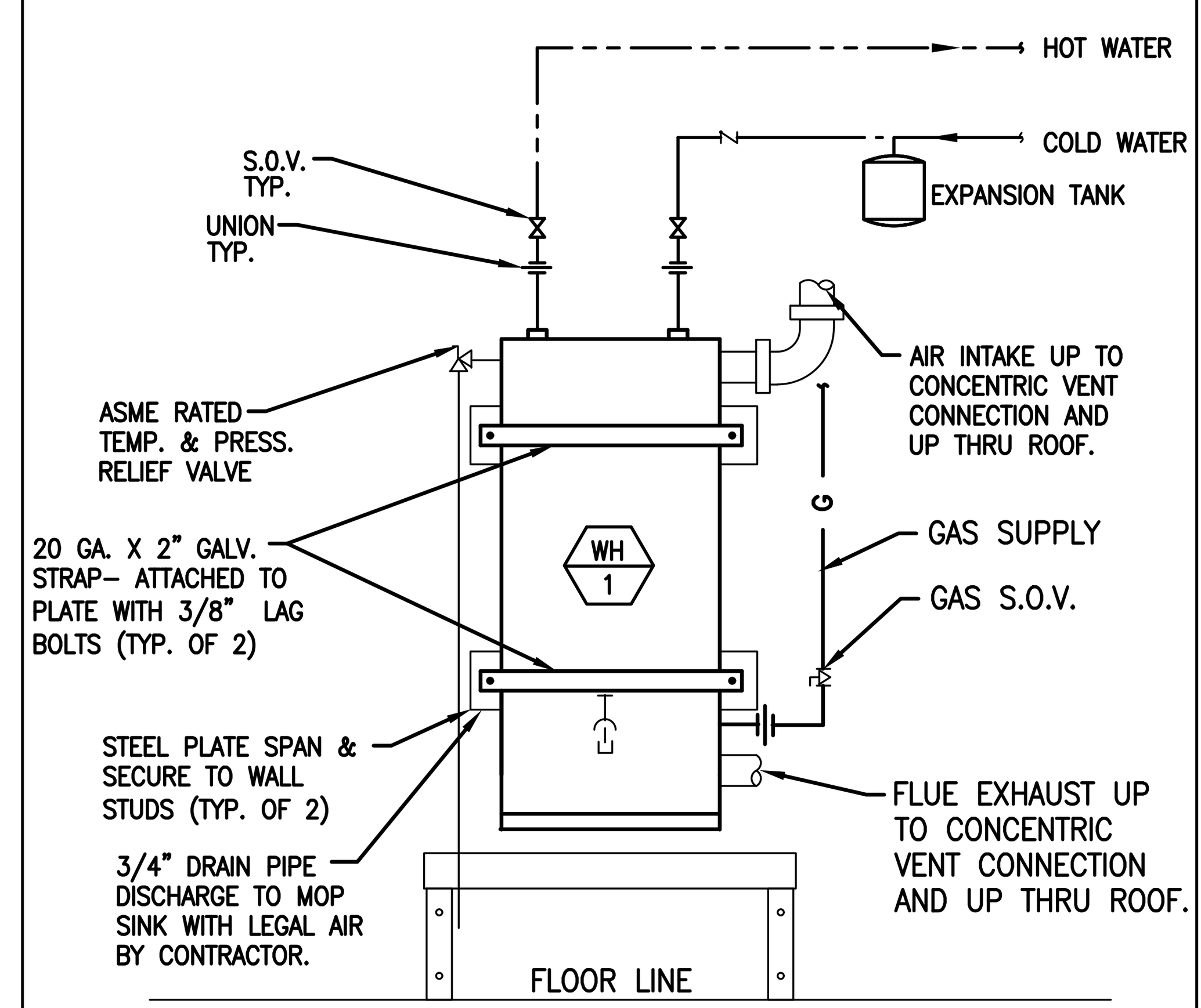
GENERAL NOTES, LEGEND & SCHEDULES

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

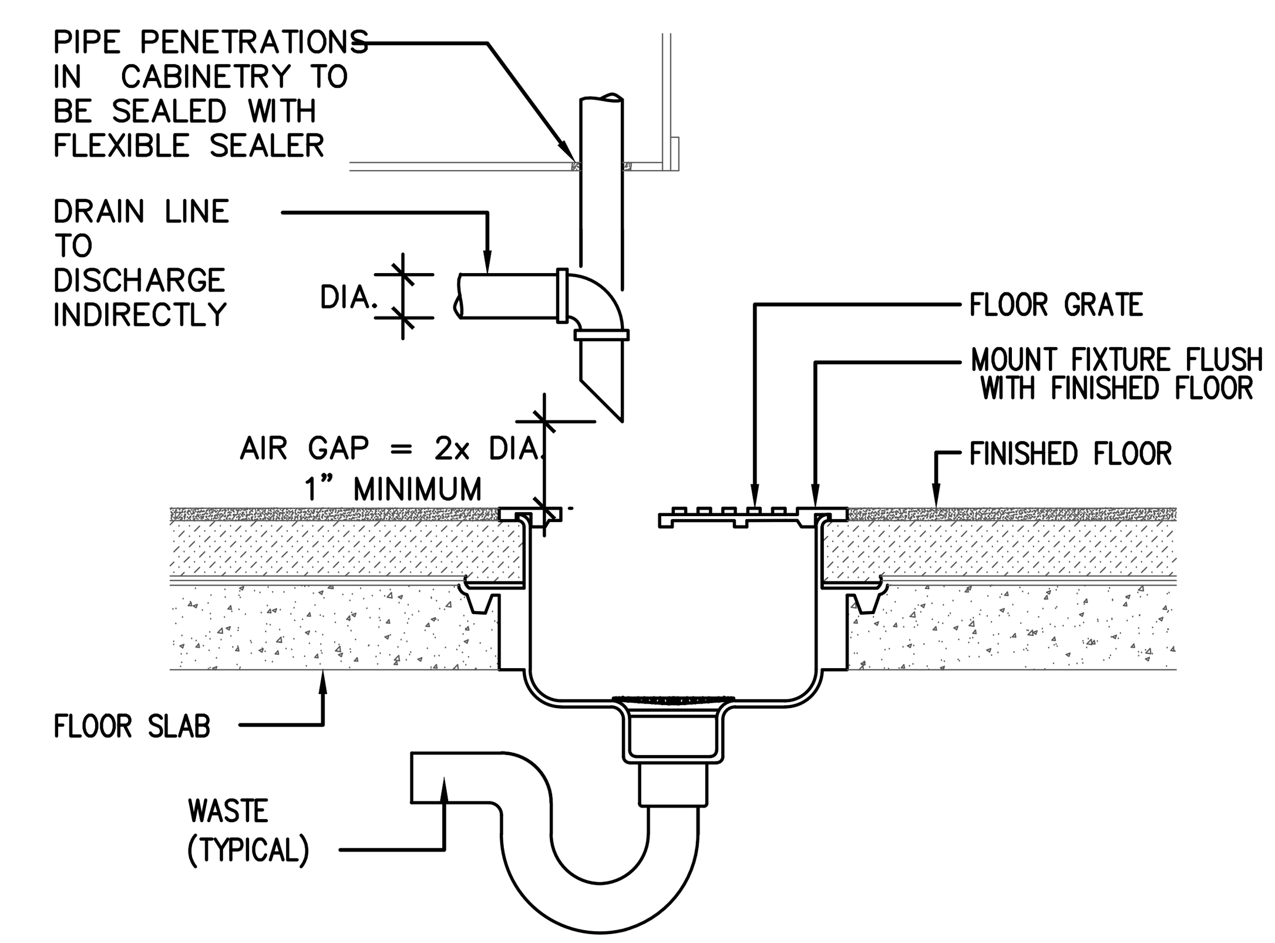
P–0.1



WALL CLEAN OUT — 1
SCALE: NONE



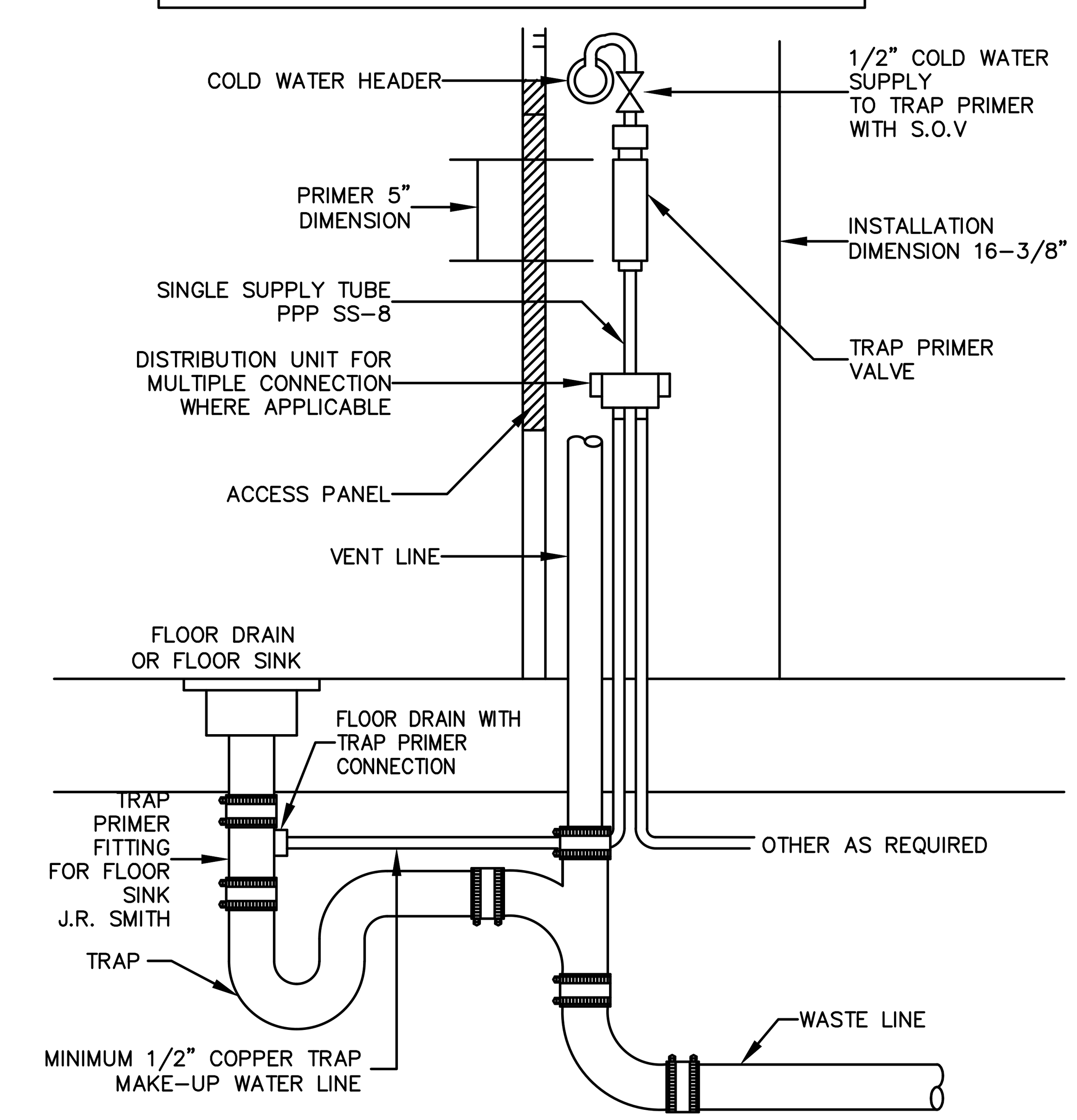
GAS FIRED WATER HEATER — 2
SCALE: NONE



INDIRECT WASTE TO FLOOR SINK — 3
SCALE: NONE

NOTE:

1. TRAP PRIMER VALVE SHALL BE MOUNTED ONE FOOT ABOVE THE FINISHED FLOOR.
2. PROVIDE MOUNTING BRACKETS AS REQUIRED.



TRAP PRIMER DETAIL — 4
SCALE: NONE

H2S ENGINEERS INC
H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior
Gillis + Panichapan Architects, Inc.
2900 BRISTOL STREET SUITE G-205 COSTA MESA CALIFORNIA 92626
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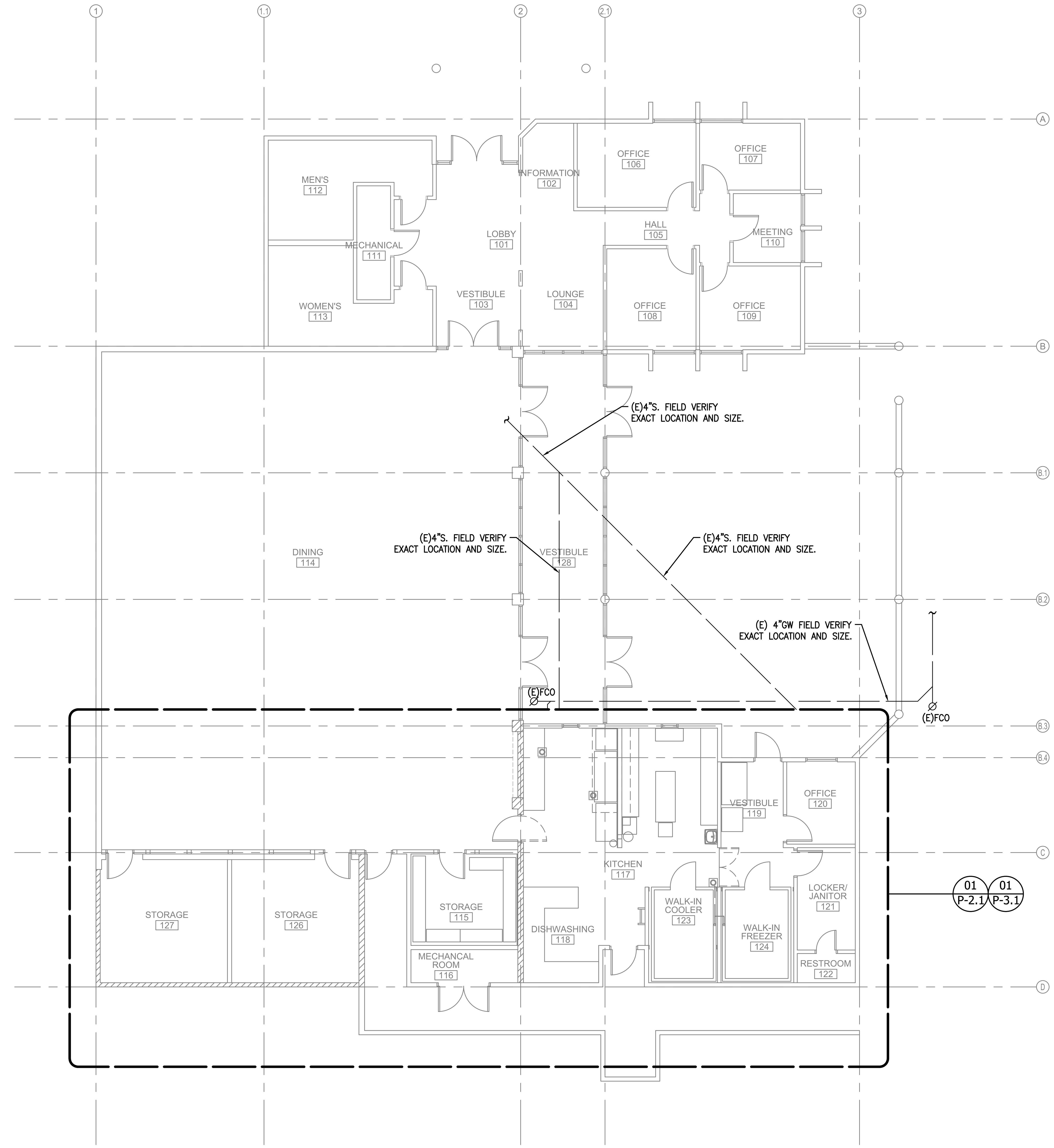
PLUMBING DETAILS

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

P-0.2



01 P-1.1 PLUMBING FLOOR PLAN - OVERALL

Scale : 1/8" = 1'-0"

N

H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture planning interior
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PLUMBING FLOOR PLAN - OVERALL

TOWN OF YUCCA VALLEY

Senior Center - Kitchen Upgrades

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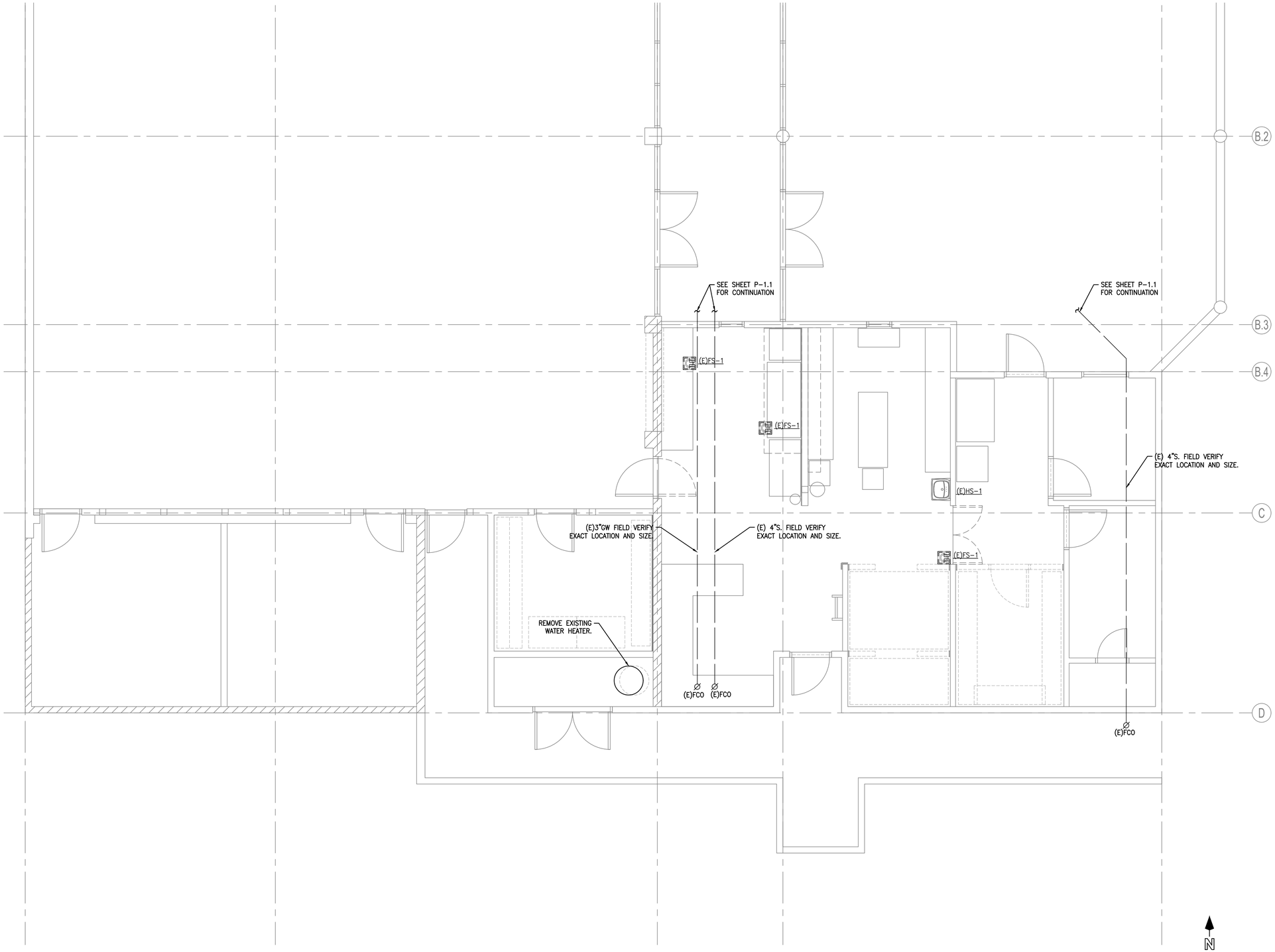

01 P-2.1 ENLARGED PLUMBING FLOOR PLAN - DEMO
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Ph: (714) 290-0718
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architecture
planning
interior
Gillis + Panichapan Architects,
2890 BRISTOL STREET COSTA MESA CALIFORNIA 92626
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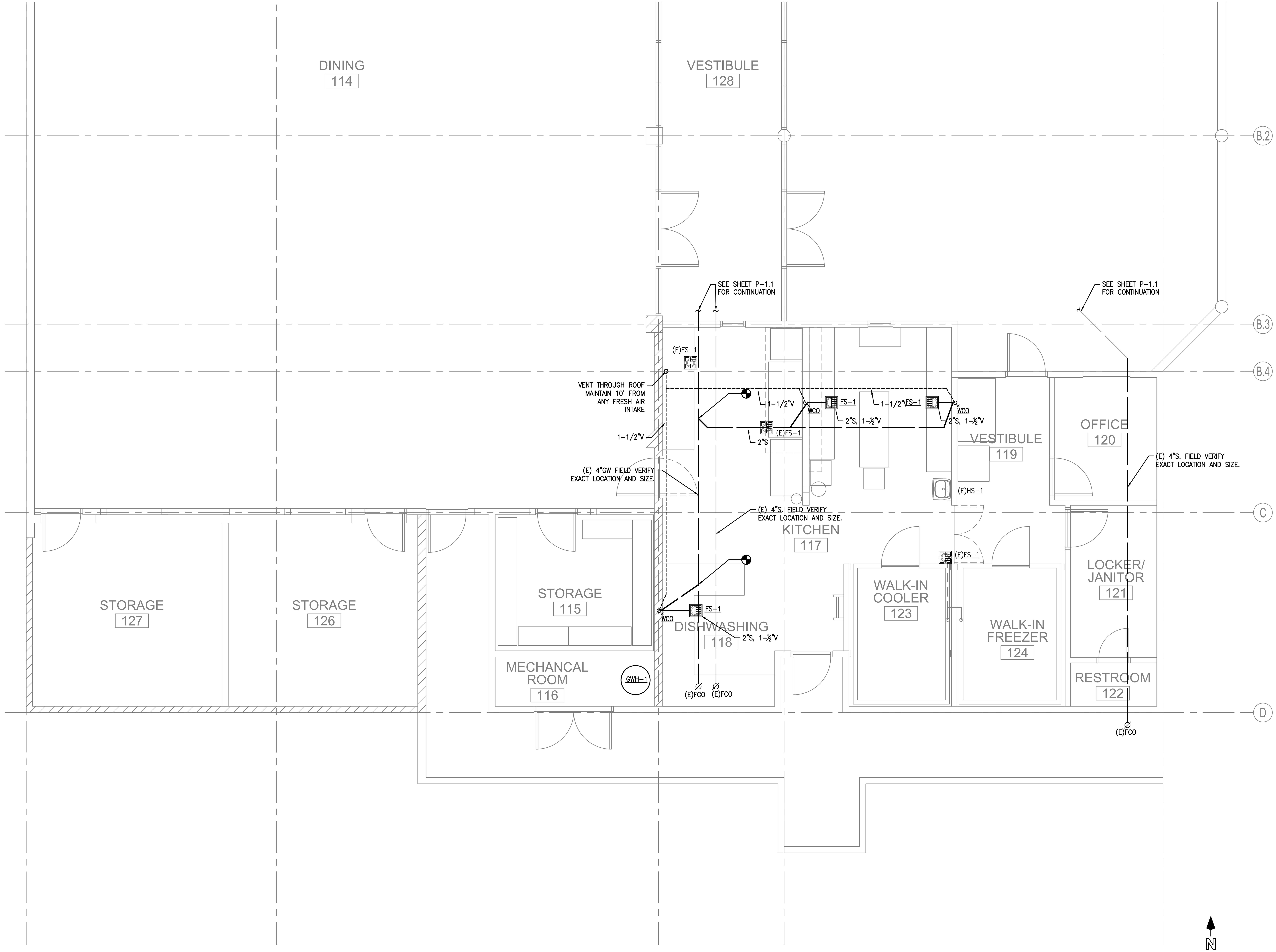
CONSTRUCTION SET

JOB NO.:	21122
DRAWN BY:	H.SHETH
CHECKED BY:	H.SHETH
SCALE:	AS NOTED
DATE:	12/09/2021

ENLARGED PLUMBING FLOOR PLAN - DEMO

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

P-2.1



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P-3.1

ENLARGED PLUMBING FLOOR PLAN

Scale : 1/4" = 1'-0"

N

H2S ENGINEERS INC

H2S Engineers Inc.
Consulting MEP Engineers
Anaheim, CA 92801
Ph: (714) 290-0718
E-mail: mverma@h2sengineers.com

architecture
planning
interior
Gillis + Panichapan Architects,
2900 BRISTOL STREET COSTA MESA CALIFORNIA 92626
FAX (714) 668-4265 SUITE G-205 TEL (714) 668-4260

CONSTRUCTION SET

JOB NO.:	21122
DATE:	12/08/2021
DRAWN BY:	H.SHETH
CHECKED BY:	H.SHETH
SCALE:	AS NOTED

ENLARGED PLUMBING FLOOR PLAN

TOWN OF YUCCA VALLEY
Senior Center - Kitchen Upgrades

P-3.1