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# **Yucca Valley Senior Affordable Housing Specific Plan**

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- Appendix B – General Plan Consistency
- Appendix C – Joshua Tree Survey Report
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## **SECTION 1 – PLAN OVERVIEW**

### **1.1 Introduction**

Located in the heart of the Town of Yucca Valley, the Yucca Valley Senior Affordable Housing Project Specific Plan project area offers a central location for those who wish to reside within walking distance of restaurants, food and drug stores, banks, retail, and public facilities. The 2.87-acre site provides an opportunity to include 75 affordable senior housing units that will be made available for rent. Onsite amenities include courtyards, paseos, landscaped open areas, and a recreation room.

### **1.2 Requirements of A Specific Plan**

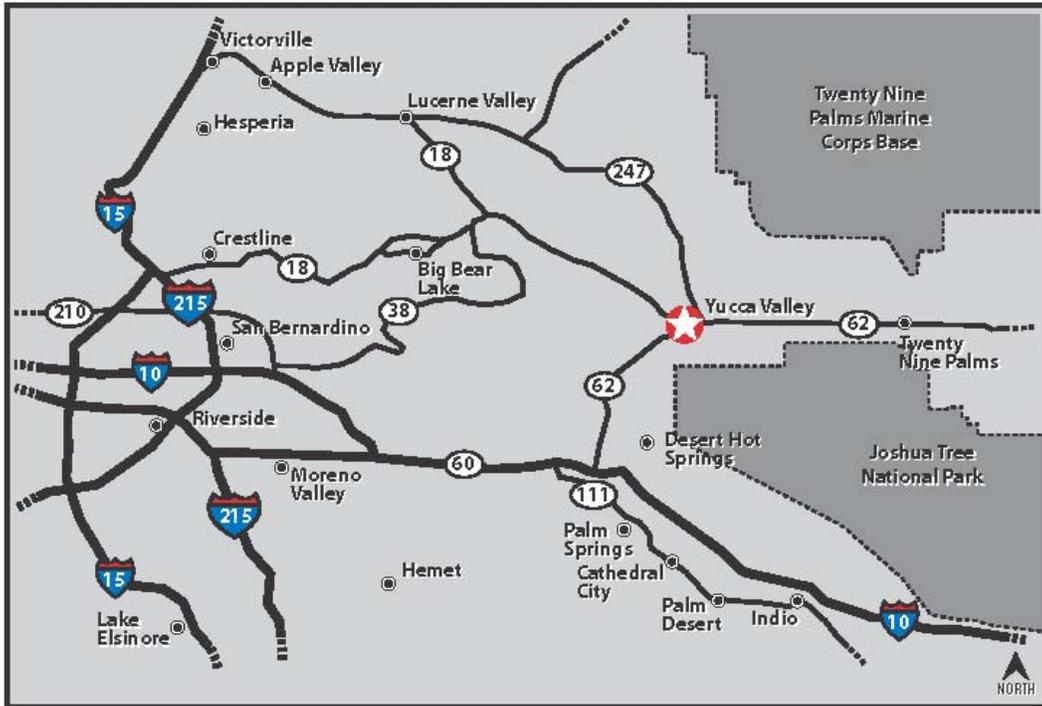
The Yucca Valley Senior Affordable Housing Project Specific Plan has been prepared pursuant to the provisions of the California Government Code, Title 7, Division 1, Chapter 3, Article 8, and Sections 65450 through 65457. The California Government Code authorizes jurisdictions to adopt Specific Plans by resolution as policy documents or by ordinance as regulatory documents. The law allows preparation of Specific Plans, as may be required for the implementation of the General Plan, and further allows for their review and adoption. Article 13 of Title 8, Division 3, Chapter 3 of the Development Code of the Town of Yucca Valley, provides the requirements and procedures for preparation and processing of Specific Plans in the Town. Specific Plans act as a bridge between the General Plan and individual development proposals. Specific Plans combine development standards and guidelines, capital improvement programs and financing methods into a single document that is tailored to meet the needs of a specific area.

The Yucca Valley Senior Affordable Housing Project Specific Plan serves to implement the General Plan land use designation of “General Commercial” and zoning designation of “General Commercial District” for the project area. The General Commercial District allows multi-family residential uses when part of a mixed-use combination of parcels, such as with the adjacent civic uses. This Specific Plan establishes the development requirements and design guidelines to be applied to all development within the project area.

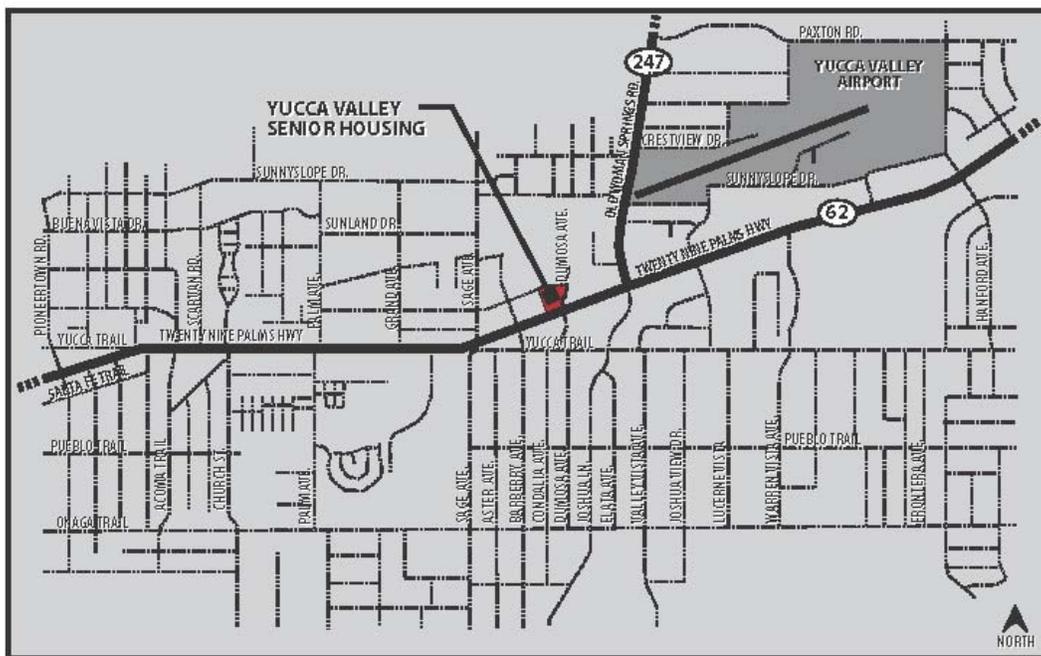
### **1.3 Project Location**

The project encompasses approximately 2.87 acres located at the northwest corner of the intersection of Twentynine Palms Highway (State Highway 62) and Dumosa Avenue. The location of the project is illustrated in Figure 1-1, “Regional Location Map” and Figure 1-2, “Project Vicinity Map.”

**Figure 1-1  
Yucca Valley Regional Map**



**Figure 1-2  
Yucca Valley Vicinity Map**



## 1.4 Project Setting and Site Features

### Existing Site Features

The average elevation of the project site is approximately 3,260 feet above mean sea level. The site slopes from the southwest to the northeast with approximately 18 feet difference in elevation from Twentynine Palms Highway to the northeast corner of the site. A small earthen drainage channel, formed by urban runoff from businesses and alleys to the west, travels from west to east mid-parcel where water is collected by a concrete culvert.

The site is currently vacant land covered with native brush. Joshua trees are the dominant vegetative species. A total of 91 Joshua trees occur on site. Some of these trees will be salvaged and replanted within the site as further discussed in Section 4.3 Landscape Concept.

### Surrounding Land Use Designations

The project site is designated C-G, General Commercial. Property to the west and southeast is also designated C-G and includes a Super 6 Motel, Sizzler Restaurant, Carrows Restaurant, Bank of America, and the VCA Yucca Valley Animal Hospital Property. To the east and southwest is designated Neighborhood Commercial (C-N) and includes a Food 4 Less, Wells Fargo Bank, and Stater Bros Market. R-M-10 residential units are located west of the project along Antelope Trail. Public/Quasi-Public (P/QP) uses are located north of the project and include Town Hall, a community center, senior center, museum, and recreational sports fields.

## 1.5 Relationship to the General Plan and Zoning Ordinance

The Yucca Valley Senior Affordable Housing Specific Plan implements the goals and policies of the Town of Yucca Valley General Plan within the Specific Plan area. The goals and objectives found in the Housing Element support the Town's desire to maximize private and public efforts to provide adequate and affordable housing opportunities to all of its residents. Appendix B, the General Plan Consistency Analysis, demonstrates how the Yucca Valley Senior Affordable Housing project implements applicable goals and objectives of the General Plan. Various housing goals support the development of affordable housing projects to meet the community's need.

Because an adopted specific plan must be consistent with the Town General Plan, all projects that are found to be consistent with this Specific Plan are deemed consistent with the General Plan.

The Yucca Valley Senior Affordable Housing Specific Plan works in concert with the Town of Yucca Valley Development Code, but provides additional development standards and guidelines that are customized to achieve the specific vision for the project area. The Town's zoning standards are utilized for certain aspects, such as building setbacks, while the Specific Plan provides other standards that are tailored to the Yucca Valley Senior Affordable Housing project. Development projects and new uses shall be subject to the review procedures, findings and provisions of the Town of Yucca Valley Development Code and the provisions of this Specific Plan. Related and/or subsequent approvals, such as Conditional Use Permits, Site Plan Reviews, and Parcel Maps, must be consistent with both the policies of the Yucca Valley Senior Affordable Housing Specific Plan and the Town's Development Code.

Where development regulations in this Specific Plan differ from those established in the Town Code, the provisions of the Yucca Valley Senior Affordable Housing Specific Plan shall prevail. Where this Specific Plan is silent on a development regulation, the Town Code shall prevail.

## **1.6 Project Objectives**

The purpose of the Yucca Valley Senior Affordable Housing Specific Plan is to define permitted uses, development regulations, requirements, and design guidelines for the development of the project area. Implementation of this Specific Plan will accomplish the following objectives:

1. To provide for the orderly and planned development of land uses within the project area, to ensure that an economically viable project or projects can be developed.
2. To allow for development of quality, yet affordable residential uses within the Town core.
3. To design a project in a way that reflects the property's size and configuration, as well as surrounding uses.
4. To develop a use that meets the spirit and intent of the Town of Yucca Valley Development Code.
5. To develop a use consistent with the property's General Plan designation and the land use designations of the adjacent properties.

## **1.7 Compliance with CEQA**

A Mitigated Negative Declaration has been prepared for the Yucca Valley Senior Affordable Housing Specific Plan and this document has been filed with the County Clerk's Office per the requirements of CEQA and CEQA Guidelines. The Mitigated Negative Declaration for the Yucca Valley Senior Affordable Housing Specific Plan analyzes the potential environmental impacts which may result from implementation of the project. Based on this analysis, a determination has been made that with the mitigation measures proposed, adoption and implementation of the plan would not result in any significant adverse impacts on the environment.



## 2.2 Land Use Summary

The project site will be developed with 75 senior, affordable housing units. Seventy-four (74) of the units will be 1-bedroom units and one (1) unit will be a two-bedroom unit.

Open space areas will be landscaped pursuant to the landscape concept and approved plant palette, and will serve a variety of functions, including separation and buffering from adjacent uses, providing site beautification, and storm water detention.

Table 2-1 provides a summary of the project land use and statistics.

Table 2-1 Land Use Summary					
Land Use	Parcel Size	Building Area	Units	Parking	Comments
General Commercial (CG)	2.87 acres	87,482 SF total (31,316 SF building footprints)	75 units (74 1-bedroom) (1 2- bedrooms)	48 spaces	Senior, affordable housing

Individual unit sizes will be approximately 650 square feet plus 100 square feet of balcony. Based on preliminary plans, the total building area for both proposed building is 87,482 square feet and is comprised of 56,350 square feet dedicated to living units and 31,132 square feet dedicated to common spaces (corridors, stairs, elevators, laundry, trash area, waiting areas and common rooms).

The southern, v-shaped building totals 54,592 square feet in building area, and the northern, bar-shaped building totals 32,890 square feet in building area.

Please note that the building square footage numbers are preliminary and are anticipated to be refined with final project design. In addition, the provided building area numbers do not include any façade articulation, so actual numbers will be greater.

## SECTION 3 – RESIDENTIAL USE REGULATIONS

### 3.1 General Provisions

The standards set forth in this section will ensure that future development proceeds in a manner consistent with Town requirements and design guidelines. This Specific Plan shall be the zoning document for the subject property, superseding other zoning designations and development standards in the Town of Yucca Valley as described herein. If not specifically addressed in this Specific Plan, the applicable provisions of the Town of Yucca Valley Development Code shall apply.

### 3.2 Permitted Uses

Those uses specified below and in Section 84.0350 of the Town of Yucca Valley Development Code (General Commercial District – GC) shall apply.

#### Principal Uses

The following uses shall be permitted, subject to approval of a Site Plan Review, as specified on Section 6.2 Application Processing herein:

- Multifamily (Mix Use Development)

### 3.3 Development Standards

Maximum Structure Height	40 feet (measured parallel to the slope)
Minimum Lot Size	120,000 sf
Maximum Building Lot Coverage	60 percent
Maximum Lot Dimension (width to depth ratio)	1:4
Minimum Lot Dimension	120 feet x 120 feet
Front Yard Setback (Front Yard = Twentynine Palms Hwy)	15 feet (parking and landscaping permitted within the setback)
Side Yard Setback	10 feet (only one side yard setback is required to be provided if deemed necessary for emergency access. If the adjacent property is not designated commercial or industrial; a side yard shall be required along that side of the property. Parking and landscaping permitted within the setback)
Rear Yard Setback	10 feet (a rear yard is required only when the adjacent property is not designated commercial or industrial)
Street Side Setback	15 feet (parking and landscaping permitted within the setback)
Maximum Floor Area Ratio (FAR – Floor Area/Lot Area)	1.20

### **3.4 Parking Requirements**

Parking for the project shall be provided at 0.64 stalls/unit which equates to 48 stalls. This parking ratio is appropriate for senior housing which typically requires 0.5 stalls/unit. Thirty seven (37) spaces will be dedicated for tenant/owner use. The additional 0.14 stalls/unit may be used for eleven (11) guest/employee/health professional parking spaces. Access to the surface parking stalls will be via Dumosa Avenue at the east side of the project. Parking stalls are distributed throughout the property corresponding to housing unit distribution. This reduces the amount of travel to and from housing units to vehicles. Twenty six (26) of the stalls will have covering to provide protection from weather. In addition, dedicated accessible parking stalls and ambulance parking areas are provided.

## **SECTION 4 – DESIGN GUIDELINES**

### **4.1 Grading Concept**

The existing topography of the site could generally be described as a sloped desert landscape. The site naturally drains from a southwest to northeast direction.

The proposed grading concept, presented in Figure 4-1, illustrates the extent of grading required to achieve the design concept for the Project. This grading plan will provide two level building pads for the proposed structures, assure safe and adequate drainage patterns across the project site, and manage the conveyance of storm water run-off to appropriate discharge and/or detention facilities. The finish grade would generally drain in a south to north direction.

The Grading Plan is designed to follow the requirements of the Town of Yucca Valley development ordinances and must be submitted to the Town for review, approval, and permit issuance prior to the initiation of grading.

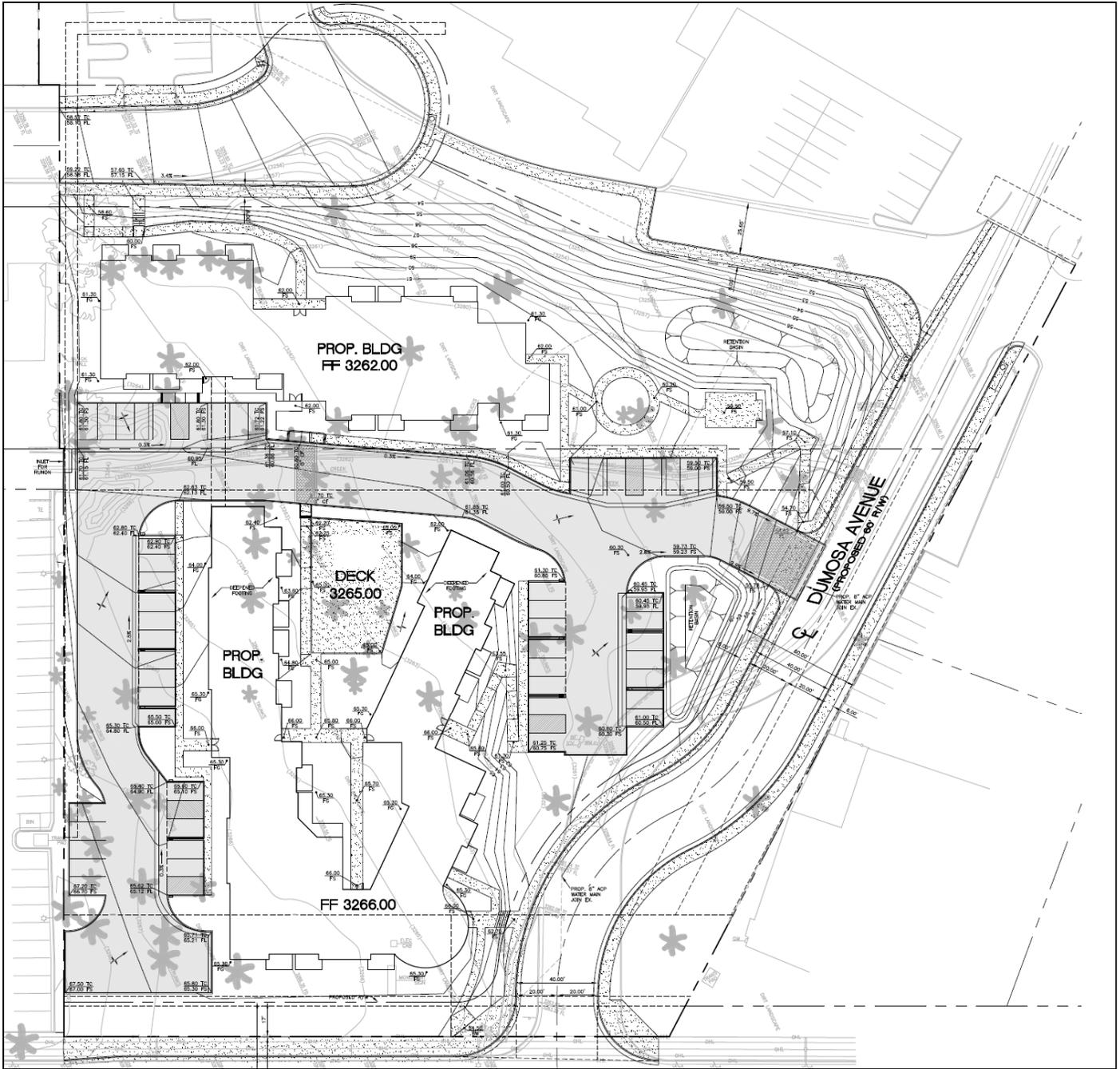


Figure 4-1 Grading Concept

## 4.2 Architectural Concept

The architectural style of the Yucca Valley Senior Affordable Housing project will conform to the exterior materials, treatments and colors reflected in the building elevations depicted in Figure 4-2.

Development within the project area shall comply with the design guidelines contained within the adopted Town Code. Except as provided herein, the design guidelines in the Town Code shall apply to all improvements within the project area including new construction, landscaping, paving, signage, amenities, and related facilities. They are provided to guide developers, builders, architects, engineers, landscape architects, and others involved in the preparation of the project to ensure a consistent level of quality throughout. The design guidelines will assist the Town of Yucca Valley staff and decision-making authorities with criteria to evaluate the project.

### Architectural Design Objectives

- To establish a comprehensively designed project that incorporates unity through the use of complementary colors, materials, and landscape themes.
- To design within the context of the local environs.
- To create a project that provides for efficient circulation for both vehicles and pedestrians.

### Architectural Design Guidelines

These Architectural Design Guidelines are intended to provide an overall direction in the design of structures within the Specific Plan area. No particular style is intended to dominate; however, architectural concepts shall be compatible with existing, surrounding uses. These Guidelines are meant to be flexible over time and correspond with changing conditions in lifestyles, the marketplace and economic conditions.

### Building Mass, Form, and Elements

Building, massing, scale and roof forms are the primary design components within the Yucca Valley Senior Affordable Housing Specific Plan. Therefore, these require careful articulation. The rear and side elevations, as well as the front, should provide variation in massing, wall and roof forms. Repetitive elements and modular materials are important elements and are encouraged.

### Building Materials

Materials should be selected and detailed for compatibility throughout the site. Buildings should incorporate a mix of at least two of the prevalent materials including stone veneer, stucco, wood or tile. Metal awnings and trellises should be used to complement windows, building entries, and pedestrian areas. These materials shall be used in traditional combinations that yield an impression of permanence as well as respect for the surrounding environment.

### Color Palette

The use of complementary earth tones should be applied to building facades. The use of a neutral color palette and stone and/or tile accents that shall be repeated on multiple structures will act to unify the project with surrounding structures.



Dumosa Avenue Elevation



Twentynine Palms Highway Elevation

Conceptual architectural elevations prepared by Togawa Smith Martin Residential, Inc.

Figure 4-2 Conceptual Building Elevations

### 4.3 Landscape Concept

The landscaping and streetscape of the Yucca Valley Senior Affordable Housing Specific Plan is an important component of project development. Quality in landscape design will serve to enhance the overall appearance and character of the entire Specific Plan development. Figure 4-3 illustrates the Landscape Concept Plan. The following landscape/streetscape design guidelines have been prepared for the proposed project:

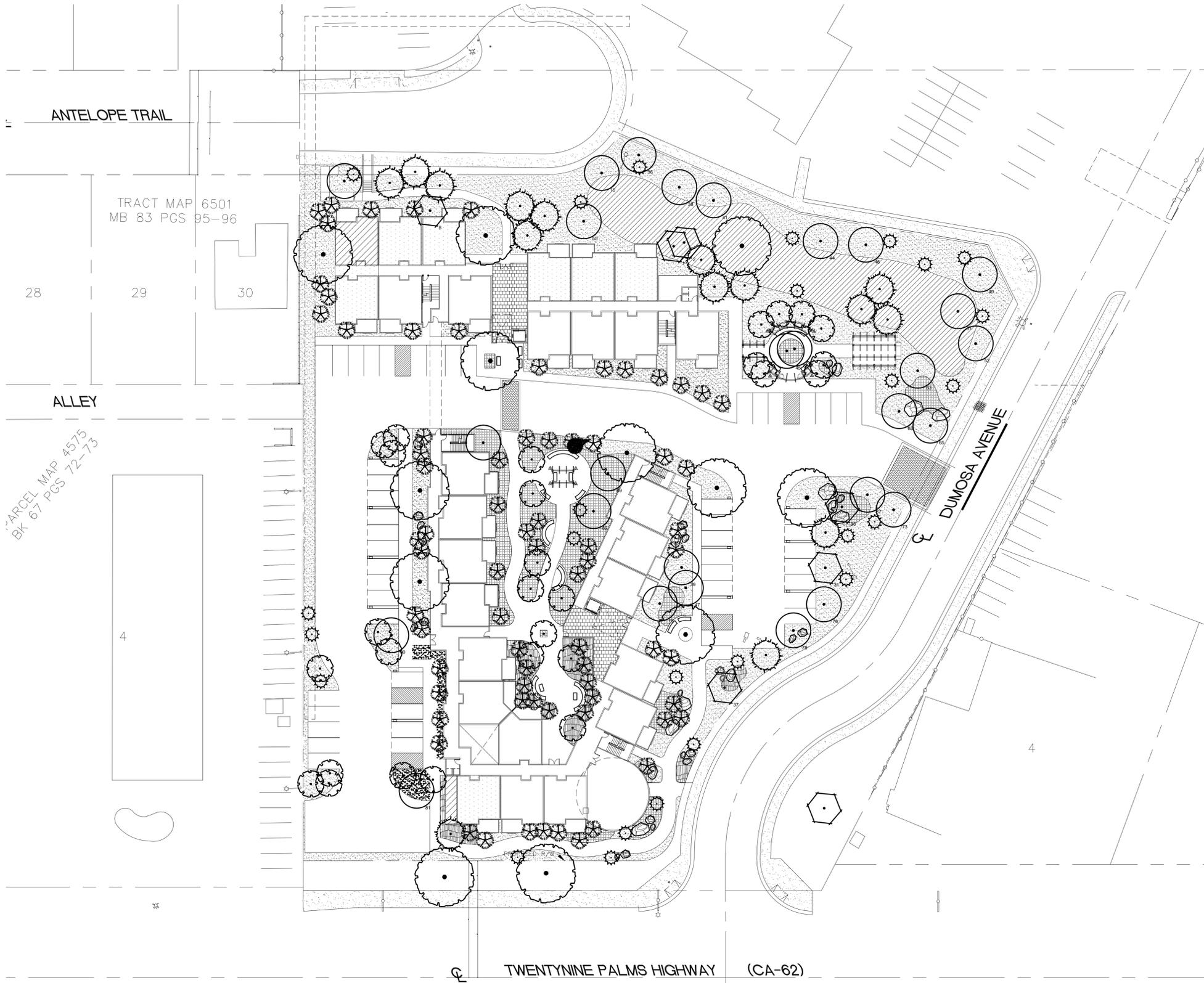
#### Design Guidelines

- a) A distinctive landscape theme will be developed at project entries and maintained throughout the site.
- b) Xeriscape landscaping shall be used and the design shall reflect the surrounding community's desert character.
- c) Shrubs and trees will be planted around the buildings to soften building architecture, as well as to enhance and define spaces. All planted areas will be irrigated with an automatic system.
- d) Parking lot tree plantings will include a design and species that are compatible with the desert landscape.
- e) Optimize privacy for adjacent residents through thoughtful placement of landscaping.

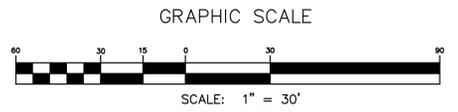


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CONCEPT\_PLANT\_SCHEDULE



	<b>TRANSPLANTED TREES</b> Yucca brevifolia / Joshua Tree 7, 10, 36, 38, 39, 41, 44, 45, 46, 47, 49, 51, 52, 53, 55, 63, 65, 67, 73, 76, 77, 78, 79, 80, 81, 82, 89, 90	28		<b>VINES</b> Bougainvillea spectabilis / Great Bougainvillea Jasminum mesnyi / Primrose Jasmine Mascagnia macroptera / Orchid Vine Passiflora foetida / Fetal Passionflower Podranea nycasolana / Pink Trumpet Vine Rosa banksiae / Lady Bank's Rose	8
	<b>EXISTING TREE TO REMAIN IN PLACE</b> Yucca brevifolia / Joshua Tree 1, 2, 8, 30, 31, 37	6			
	<b>LARGE TREES</b> Gleditsia tricanthos / Honey Locust Pistacia chinensis / Chinese Pistache Populus fremontii / Fremont Cottonwood Prosopis chilensis / Chilean Mesquite	12			
	<b>MEDIUM TREES</b> Eucalyptus microtheca / Coolabah Eucalyptus sideroxylon 'Rosea' / Red Ironbark Juniperus utahensis / Utah Juniper Koeleria paniculata / Golden Rain Tree Pinus eldaraica / Afghan Pine Pinus halepensis / Aleppo Pine Rhus lancea / African Sumac Yucca brevifolia / Joshua Tree	15			
	<b>SMALL TREES</b> Cercidium floridum / Blue Palo Verde Chilopsis linearis / Desert Willow Lagerstroemia indica / Crape Myrtle Olea europaea 'Fruitless' / Fruitless Olive Pinus monophylla / Singleleaf Piñon Pine x Chitalpa tashkentensis / Chitalpa	28			
	<b>PALM TREES</b> Chamaerops humilis / Mediterranean Fan Palm Phoenix dactylifera / Date Palm Washingtonia filifera / California Fan Palm Washingtonia robusta / Mexican Fan Palm	73			
	<b>PUPS</b> Yucca brevifolia / Joshua Tree	26			
	<b>LOW SCALE</b> Agave parryi / Parry's Agave Bacchans sarothroides / Desertbroom Cotoneaster horizontalis / Rock Cotoneaster Euphorbia antisyphilitica / Candelilla Euphorbia Ferocactus cylindraceus / Compass Barrel Cactus Gazania x 'Sunburst' / Trailing Gazania Hemerocallis x 'Aster' / Daylily Lantana montevidensis / Trailing Lantana Lavandula angustifolia / English Lavender Leucophyllum frutescens 'Compacta' / Compact Texas Ranger Muhlenbergia capillaris / Pink Muhly Muhlenbergia dumosa / Bamboo Muhly Muhlenbergia ngens / Deer Grass Opuntia basilaris / Beavertail Pricklypear Pennisetum setaceum 'Rubrum' / Purple Leaved Fountain Grass Rosmannus officinalis / Rosemary Rosmannus officinalis 'Prostratus' / Dwarf Rosemary Sedum kamtschaticum / Orange Stonecrop Stipa tenuissima / Finestem Needlegrass				
	<b>LOW TO MEDIUM SCALE ON SLOPES</b> Acacia redolens / Bank Catclaw Acacia redolens 'Desert Carpet' TM / Bank Catclaw Bacchans pilularis 'Centennial' / Coyote Brush Cotoneaster horizontalis / Rock Cotoneaster Dalea pulchra / Santa Catalina Prairie Clover Leucophyllum frutescens 'Compacta' / Compact Texas Ranger Rosmannus officinalis / Rosemary Salvia greggii 'Red' / Autumn Sage Sedum spurium 'John Creech' / John Creech Sedum				
	<b>LOW TO MEDIUM SCALE</b> Agave bovicornuta / Century Plant Agave desmettiana / Dwarf Century Plant Agave parryi 'Truncata' / Parry's Agave Agave vilmoriniana / Octopus Agave Aloe ferox / Bitter Aloe Aloe vera / Medicinal Aloe Bacchans pilularis 'Centennial' / Coyote Brush Buddleia marubifolia Calliandra californica / Red Baja Fairy Duster Calliandra eriophylla / Fairy Duster Dalea greggii / Trailing Indigo Bush Dasylirion wheeleri / Grey Desert Spoon Encelia farnosa / Brittle Bush Fouquieria splendens / Ocotillo Hesperaloe parviflora / Red Yucca Larrea tridentata / Creosote Bush Leucophyllum frutescens / Texas Sage Muhlenbergia dumosa / Bamboo Muhly Muhlenbergia ngens / Deer Grass Opuntia ficus-indica / Barbary Fig Pachycereus marginatus / Totem Pole Cactus Punica granatum / Pomegranate Salvia greggii / Autumn Sage Senna artemisioides / Silver Senna Simmondsia chinensis / Jojoba Tecoma stans / Yellow Bells				
	<b>ROCK MULCH AND/OR DECOMPOSED GRANITE</b> Decomposed Granite 'Tan'				





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## Plant Materials

The landscaping theme will enhance the overall Specific Plan’s character. All irrigated landscape areas within the site will be planted with a combination of ground cover, shrubs, and trees. Non-irrigated landscaped areas will be top dressed with decomposed granite (or similar). Table 4-1 presents the proposed plant palette.

**Table 4-1  
Proposed Plant Palette**

Botanical Name	Common Name
<b>Trees</b>	
<i>Cercidium floridum</i>	Blue Palo Verde
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Chilopsis linearis</i>	Desert Willow
<i>Eucalyptus microtheca</i>	Coolabah
<i>Eucalyptus sideroxylon</i> ‘Rosea’	Red Ironbark
<i>Gleditsia triacanthos</i>	Honey Locust
<i>Juniperus utahensis</i>	Utah Juniper
<i>Koelreuteria paniculata</i>	Golden Rain Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Olea europea</i> ‘Fruitless’	Fruitless Olive
<i>Phoenix dactylifera</i>	Date Palm
<i>Pinus eldarica</i>	Afghan Pine
<i>Pinus halepensis</i>	Allepo Pine
<i>Pinus monophylla</i>	Singleleaf Pinon Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Populus fremontii</i>	Fremont Cottonwood
<i>Prosopis chilensis</i>	Chilean Mesquite
<i>Rhus lancea</i>	African Sumac
<i>Washingtonia filifera</i>	California Fan Palm
<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Yucca brevifolia</i>	Joshua Tree
<i>X Chitalpa tashkentensis</i>	Chitalpa
<b>Shrubs</b>	
<i>Acacia redolens</i>	Bank Catclaw
<i>Acacia redolens</i> ‘Desert Carpet’	Bank Catclaw
<i>Agave bovicornuta</i>	Century Plant
<i>Agave desmettiana</i>	Dwarf Century Plant
<i>Agave parryi</i> ‘Truncata’	Parry’s Agave
<i>Agave vilmoriniana</i>	Octopus Agave
<i>Aloe ferox</i>	Bitter Aloe

Aloe vera	Medicinal Aloe
Baccharis pilularis 'Centennial'	Coyote Brush
Bougainvillea spectabilis	Great Bougainvillea
Buddleja marrubifolia	Buddleja
Calliandra californica	Red Baja Fairy Duster
Calliandra eriophylla	Fairy Duster
Cotoneaster horizontalis	Rock Cotoneaster
Dalea greggii	Trailing Indigo Bush
Dalea pulchra	Santa Catalina Prairie Clover
Dasyllirion wheeleri	Grey Desert Spoon
Encelia farinose	Brittle Bush
Euphorbia antisyphilitica	Candelilla Euphorbia
Ferocactus cylindraceus	Compass Barrel Cactus
Fouquieria splendens	Ocotillo
Gazania x 'Sunburst'	Trailing Gazania
Hemerocallis x 'Aten'	Daylily
Hesperaloe parviflora	Red Yucca
Jasminum mesnyi	Primrose Jasmine
Lantana montevidensis	Trailing Lantana
Larrea tridentate	Creosote Bush
Lavandula angustifolia	English Lavender
Leucophyllum frutescens 'Compacta'	Compact Texas Ranger
Mascagnia macroptera	Orchid Vine
Muhlenbergia capillaries	Pink Muhly
Muhlenbergia dumosa	Bamboo Muhly
Muhlenbergia rigens	Deer Grass
Optunia basilaris	Beavertail Pricklypear
Optunia ficus-indica	Barbary Fig
Pachycereus marginatus	Totem Pole Cactus
Passiflora foetida	Fetid Passionflower
Pennisetum setaceum 'Rubrum'	Purple Leaved Fountain Grass
Podranea ricasoliana	Pink Trumpet Vine
Punica granatum	Pomegranate
Rosa banksiae	Lady Bank's Rose
Rosmarinus officinalis	Rosemary
Rosmarinus officinalis 'Prostratus'	Dwarf Rosemary
Salvia greggii	Autumn Sage
Sedum kamtschaticum	Orange Stonecrop
Sedum spurium 'John Creech'	John Creech Sedum
Senna artemisioides	Silver Senna

Simmondsia chinensis	Jojoba
Stipa tenuissima	Finestem Needlegrass
Tecoma stans	Yellow Bells
<b>Decomposed Granite</b>	
<b>Boulders</b>	

### Native Plant Protection and Treatment Guidelines

The Yucca Valley Senior Affordable Housing Specific Plan conforms with the Town of Yucca Valley Native Plan Protection and Management Ordinance (Ordinance No. 140). According to the Native Plant Survey (Appendix C) conducted for the project, Joshua trees are the only plant species listed in the Ordinance that occur within the Specific Plan area. There are approximately eighty seven (87) Joshua trees within the project impact area where grading will occur. The Joshua Tree Survey Report (Appendix C) indicates that approximately 91 Joshua trees on site. There are twenty-eight (28) Joshua trees identified as transplantable and the remaining trees are non-transplantable. Of the non-transplantable trees, there are five (5) Joshua trees that have transplantable pups. The transplantable pups, roughly 26 pups, can be transplanted on site. The integration of these plants within the project landscape is described in Section 4.3 Landscape Concept.

## 4.4 Walls and Fences

Walls and/or fences are permitted along the perimeter of the Plan Area. If installed, such walls or fences will be designed to provide security, while allowing for views of the distant hills. Walls/fences shall be constructed of iron, block masonry, stone, or brick, as appropriate. Any wall adjacent to a public right-of-way, such as State Highway 62 or Dumosa Avenue, will be landscaped with a selection of trees, shrubs/hedges, and groundcover and is subject to review, approval, and permits issued by the Town of Yucca Valley and/or Caltrans.

## 4.5 Signage and Lighting

### Signage

Project signage may include a wall sign, entry monument sign, wayfinding signage, and unit signage. The design and configuration of all proposed signs will be presented in a Comprehensive Sign Program to be included upon submittal of the Site Plan. The intent of a sign program is to achieve a visually coordinated, balanced and appealing signage system that promotes compatibility with the architectural styles and landscaped concepts identified within this Specific Plan. The program will conform to the Town of Yucca Valley Sign Ordinance (Ordinance No. 156).

The existing Town Hall monument sign shall be relocated to the northeast corner of the intersection of State Highway 62 and Dumosa Avenue.

## Lighting

The Yucca Valley Senior Affordable Housing Specific Plan shall conform to the lighting standards of the Town of Yucca Valley. This includes measures to minimize light pollution which has a detrimental effect on the environment and the enjoyment of the night sky, and measures such as shielding of parking area light fixtures to prevent nuisance spillover effects on surrounding properties and residential units.

A Lighting Plan (i.e. Photometric Plan) in conformance with the Town Outdoor Lighting and Night Sky Protection Ordinance (Ordinance No. 90) shall be prepared, to include parking areas and access way lights, external security lights and lighted signage.

### *General Provisions for Lighting*

- Parking areas and access ways – All lighting will be installed as required to conform with the Town’s Outdoor Lighting Plan and Night Sky Protection Ordinance – Illuminated with free-standing light standards with metal halide fixtures. The project will utilize Full Cut Off Light Fixtures and Shielded Fixtures around the perimeter of the site, to comply with the Town’s Outdoor Lighting and Night Sky Protection Ordinance.
- Signage lighting – In conformance with signage specifications and standards.
- Security lighting – For common outdoor areas, wall-mounted fixtures will be located along pathways and hallways. Security lighting will be set on a timer to run from dusk to dawn every day.

## **SECTION 5 – INFRASTRUCTURE, UTILITIES, AND PUBLIC SERVICES**

Infrastructure and services to support the Yucca Valley Senior Affordable Housing project shall be extended and improved in conjunction with its development. Primary infrastructure facilities are described below.

### **5.1 Circulation**

The project site's primary access will be from a proposed signalized intersection of Dumosa Avenue and Highway 62. Project Site access will be located on the west side of Dumosa Avenue, with an emergency vehicle access provided on Highway 62.

In support of the project, a traffic signal will be installed at the intersection of Dumosa Avenue and Highway 62. In addition Dumosa Avenue will be re-aligned and improved to a 60 foot right-of-way with a 40 foot roadway width. Antelope Trail will be improved to a cul-de-sac where it intersects with the Specific Plan area.

### **5.2 Drainage**

On-site drainage will be captured via a series of catch basins and transported via underground pipes to the retention basins proposed on the northeast portion of the project site.

The retention area straddles the northern boundary of the site and will retain onsite flows to a minimum of 10% less pre-development discharges. The basin will be designed so that post-development water released will be a minimum of 10% less than pre-development conditions.

### **5.3 Water**

Public water service is provided by High Desert Water District. Water service to the plan area will be provided with a connection to the 8 inch public water line in Dumosa Avenue. There will be private water lines within the site to provide service to the proposed buildings.

### **5.4 Wastewater**

Currently, the Town of Yucca Valley does not provide sewer treatment to any portion of the Town, therefore, requiring development projects to provide and maintain their own private septic system. The anticipated combined average flow from the project site is approximately 15,400 gallons per day (GPD).

The California Regional Water Quality Control Board, Colorado River Region, establishes wastewater discharge standards for projects in the Town of Yucca Valley. The California Regional Water Quality Control Board (CRWQCB) is scheduling to adopt a septic tank prohibition program in all or portions of the Town of Yucca Valley in May 2011. Additionally, the Hi Desert Water District is moving forward with implementation of a wastewater collection and treatment system throughout portions of the Town of Yucca Valley. As part of the programs being implemented by the CRWQCB and the Hi Desert Water District, Phase I of the wastewater collection and treatment system will be required to be completed in

2016. As a result of program implementation by both the CRWQCB and the Hi Desert Water District, the CRWQB may allow the interim use of septic tanks in portions of Yucca Valley that are scheduled to be connected to the wastewater collection and treatment system. This project site is located within the Phase I boundaries of the wastewater collection and treatment system, and it is anticipated that the RWQCB will allow the interim use of on-site septic tank wastewater treatment for this project. If the interim use of septic tank disposal systems are not allowed by the CRWQCB, the project shall implement the standards for wastewater discharge imposed by the CRWQCB.

## **5.5 Dry Utilities**

The Yucca Valley Senior Affordable Housing project area lies within the service areas of Southern California Edison (electricity), Southern California Gas Company (natural gas), and Verizon (telephone). The utility network will be expanded to meet the future demands of the project. Electric, gas and telephone service lines will be extended from State Highway 62 within a joint trench. The specific design and sizing requirements of necessary improvements and/or additions will be determined as part of the Town and utility provider's processing and permitting procedures.

## **5.6 General Infrastructure and Service Requirements**

- Any offsite installation of curbs, sidewalks, street and driveway paving, and street lighting as may be required by the Town shall be subject to the provisions of the Town's Standard Improvement Plans.
- All onsite water supply, wastewater collection, storm drainage lines and facilities shall be provided by the developer.
- All utility lines serving the project area shall be placed underground by the developer as a condition of approval.
- Adequate water for estimated domestic consumption and for fire flow requirements, as determined by San Bernardino County Fire Department, shall be provided by the developer.
- Development of the project area shall comply with all requirements of the San Bernardino County Fire Department in providing adequate fire flow, number and location of hydrants, building clearances, and street and driveway/aisle turning radii for access.
- The developer shall review with the Police Department the nature and design of the development, and types of security measures to be implemented.

## SECTION 6 – IMPLEMENTATION AND ADMINISTRATION

### 6.1 Financing and Phasing of Development

Financing of the Yucca Valley Senior Affordable Apartments will be utilizing several funding sources.

- Application for HUD 202 funding June 1, 2011, results expected December 2011.
- Application for County of San Bernardino HOME July 2011, results expected November 2011.
- Application for 4% credits and Tax-Exempt bond financing in February 2012.
- Estimated Construction start date of August 2012 duration of 15 months completion November 2013.

Development of the plan area will occur in three phases, generally as follows:

#### Phase I:

- Relocation of the existing Joshua Trees over the entire 2.87 acre site and off-site.
- Rough grading of the site and building pads.
- Installation of the detention basin and drainage improvements.
- Installation of onsite septic system and dry lines for future sewer connection.
- Wet and dry utility trenching and connections. (water, fire, electrical, gas, telephone).
- Vertical construction of all the buildings.
- Precise grading and parking installation.
- Construction of entry from Dumosa Avenue.
- Irrigation, landscape and site improvements (carports, sitting areas, bbq areas, trellises).

#### Phase II: Schedule to run concurrent with Phase I.

- Demo Dumosa and realign.
- Relocate existing town signage from the present location to the east side of Dumosa.
- Install new required storm water piping to accommodate drainage course and Twenty Nine Palms Highway stormwater.
- Install new sidewalk as well as curb and gutter.
- Pave and stripe Dumosa.
- Demo and realign Antelope Trail.
- Provide irrigation and landscaping along Dumosa.

#### Phase III: Schedule to run concurrent with Phase I and Phase II.

- Procure all approvals and encroachment permits from CalTRANS for work along the State Highway.
- Install catch basin at curb and gutter on Highway 62 (Twenty Nine Palms Highway).
- Install traffic signal at intersection of Dumosa and Highway 62.

- Install all traffic loops and restripe Highway 62.
- Provide new sidewalk along Highway 62.
- Provide Irrigation and landscaping along set back.

## 6.2 Application Processing

Following is a summary of the application requirements for the Yucca Valley Senior Affordable Housing Specific Plan. This section summarizes the processing procedures and is not intended to replace the Development Code or other ordinance requirements of the Town of Yucca Valley except where noted.

The Town of Yucca Valley has adopted and amended the County of San Bernardino’s Development Code (Articles 1-6) General Procedures. The Development Code uses five procedures to review all types of development applications: Public Hearing, Design Review, Administrative Review, Staff Review with Notice, and Staff Review without Notice.

### Overview of Applications and Meeting Requirements

Approval of a Specific Plan, Conditional Use Permits (CUPs)(if needed), Site Plan, and Subdivisions of each require a discretionary action a public hearings before the Planning Commission and Yucca Valley Town Council. Applications are first reviewed by Staff. Then they are set for review by the Development Review Committee (DRC) and, in some cases, forwarded to the Traffic Advisory Committee (TAC). The recommendations of the DRC and TAC are forwarded to the Planning Commission, which provides a recommendation to the Town Council. Applications for Specific Plan, CUP and Site Plans can be considered concurrently; however, separate and distinct development applications must be made and the appropriate fees paid for each type of action requested. In addition, an Environmental Application must be made with each project.

### Specific Plan

Ordinance 87 (February 19, 1998, Yucca Valley Town Council) established Article 13 for Specific Plans in the Town of Yucca Valley. The purposes of this ordinance are:

- To facilitate implementation of the General Plan by establishing procedures for adoption, maintenance and administration of Specific Plans per Sections 65450, et seq., of the California Government Code; and,
- To provide a framework for future development which encourages flexibility and creativity in design, efficient use of resources, infrastructure planning, conservation of open space, and development of various types of housing and living environments for the Town of Yucca Valley.

Where a Specific Plan is not consistent with the General Plan, appropriate General Plan amendments must be considered concurrently with the Specific Plan.

An adopted specific plan supersedes the town zoning, as shown on the Zoning District Map and in the Town Zoning Ordinance (Ordinance No. 79), for the site area included in the proposed land use plan of the Specific Plan.

All other provisions of the Town Development Code, which are applicable to the site, shall apply unless identified in the Specific Plan.

### Substantial Conformance

The Specific Plan provides a development concept for the project site. Subsequent plan refinements and construction documents shall be in substantial conformance with the adopted specific plan. Plans not in substantial conformance shall require a Specific Plan Amendment as outlined in Section 6.3.

## 6.3 Specific Plan Amendments

The Town of Yucca Valley Community Development Director shall be responsible for administering the provisions of this Specific Plan in accordance with the provisions of the State of California Government Code, Subdivision Map Act, and the Town of Yucca Valley General Plan and Development Code.

The Specific Plan may be amended per Section 83.0301335 of the Town Development Code.

### Minor Amendments

Minor amendments include simple modifications to text or graphics that do not change the meaning, intent, or are contrary to any provision of the Specific Plan. Minor modifications may be accomplished administratively by the Director of Community Development and are appealable to the Planning Commission and Town Council.

### Major Amendments

Major modifications are amendments to exhibits or text that are intended to change the intent, development standards or other significant provisions of the Specific Plan. Major modifications require a Specific Plan Amendment and approval by the Planning Commission and Town Council in accordance with requirements of Section 83.0301335 of the Development Code (Specific Plans).

### Interpretations

Interpretations of the provisions of this Specific Plan are subject to Section 83.0301350 of the Development Code, except as follows:

- When there is a question or ambiguity regarding the interpretation of any provision of this Specific Plan, the Director of Community Development has the authority to interpret the intent of such provision.
- The Director of Community Development may, at his/her discretion, refer interpretations to the Planning Commission for its consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation.
- All interpretation made by the Director of Community Development may be appealed to the Planning Commission in accordance with the appeal procedures set forth in the Development Code.



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## **Appendix A**

### **Legal Description (Provided Separately)**



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## **Appendix B**

# **General Plan Consistency**

TOWN OF YUCCA VALLEY

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## **APPENDIX B: GENERAL PLAN CONSISTENCY**

### **A. RELATIONSHIP TO TOWN OF YUCCA VALLEY GENERAL PLAN**

California Government Code Section 65302 establishes seven (7) mandatory elements of the General Plan: Land Use, Circulation, Housing, Conservation, Open Space, Safety, and Noise. All of the mandated elements are found within the Yucca Valley Comprehensive General Plan, which integrates the mandatory and discretionary elements into five (5) major chapters, organized to reflect compliance with State requirements that the General Plan be internally consistent, comprising an integrated and compatible statement of policies for the Town.

The Town of Yucca Valley Comprehensive General Plan provides for the creation of Specific Plans consistent with provisions of California Government Code Section 65455. As indicated in the General Plan, "Specific Plans often provide detailed design and analysis of complex mixed-use projects, and indicate precise land use locations and designs. In addition, the Specific Plan "...must also be consistent with all facets of the General Plan and, in turn, zoning, subdivision, and public works projects must be consistent with an existing Specific Plan" (General Plan, page 11-4).

The Yucca Valley Senior Affordable Housing Specific Plan, as stated above, is required to be consistent with all elements of the Town General Plan and will refine the policies contained in the General Plan for application to the Specific Plan area. The relationship of the Specific Plan to applicable goals in the General Plan is described in this section.

### **B. COMMUNITY DEVELOPMENT CHAPTER**

#### **Land Use**

- Goal 1: A balanced mix of functionally integrated land uses which meet general social and economic needs of the community through compatible and harmonious land use and zoning designations.
- Goal 2: A well-rounded community of desirable neighborhoods, a strong employment base and a variety of community facilities.

#### **Economic Development**

- Goal 1: A broadly based, healthy and balanced economy that provides a full range of economic and employment opportunities.
- Goal 2: Continued growth which assures the maintenance of a revenue base adequate to support present and future public services and facilities needs.

**Response:** The Yucca Valley Senior Housing Affordable Specific Plan provides for a housing project that is consistent with the General Plan land use and zoning designations for the site. These designations are established by the Town with the intent of implementing an appropriate balance and mix of compatible uses within the Town. The proposed housing will locate needed affordable housing centrally within the community. Because of the project's downtown location, seniors will have the opportunity to walk, shop, and eat at nearby shops and restaurants, thereby contributing to the community's economic development. This functionally integrated project makes a complementary contribution to the Town's social and economic needs.

### Public Facilities

**Goal:** Maintenance of logical expansion of public services and facilities ensuring that they meet the needs of existing and future residents, businesses, and visitors of the Town.

### Circulation

**Goal:** A circulation network that efficiently, safely, and economically moves people, emergency vehicles, vehicles and goods using transportation facilities that meet the current demands and projected needs of the Town, while maintaining and protecting its rural residential character.

**Response:** Utilities, access roadways, and other infrastructure will be extended in an orderly manner to the plan area to support the proposed residential units, consistent with Specific Plan infrastructure plans. Dumosa Avenue is proposed to be realigned and improved as part of the project. Safe and efficient access will be provided consistent with Town standards.

### Open Space and Conservation

**Goal 1:** Conservation, management, and designation of open space areas to protect environmental resources, guard against environmental hazards, and provide enhanced recreational opportunities and aesthetic character for the Town.

**Goal 2:** Land use patterns which preserve the Town's rural atmosphere, including scenic resources such as hillsides, ridgelines, waterways, and native desert wildlife communities.

### Community Design

**Goal:** An integrated, coherent, and flexible set of principles that direct community judgment on land use, environmental, ecological, economic, aesthetic and spiritual values and aspirations of the Town of Yucca Valley.

## Scenic Highways

**Goal:** Preservation and enhancement of natural scenic resources associated with major roadway viewsheds and open space corridors, as essential assets reflecting the community's image and character.

**Response:** The plan area consists of gently sloping terrain of the valley floor and does not include unique environmental or scenic resources. Retention of natural open space within the Plan Area to promote recreation or resource protection objectives would be inconsistent with the commercial/mixed-use designation and intended purpose of the site as an affordable housing project. Nevertheless, site design will create limited opportunities to include protected native plant species (e.g. Joshua trees) within created open space islands, consistent with Town policies and the Native Plant Protection Ordinance. Views of valley hillsides that form a northerly backdrop to the Plan Area will be available through the site from along State Highway 62, a scenic highway. The Specific Plan Landscape Concept Plan includes landscape elements along State the Highway 62 property edge that complement scenic highway objectives. The planned affordable housing will include selected design elements that complement the desired "desert southwestern" Town character, as reflected in the General Plan and Town of Yucca Valley .

## C. HOUSING CHAPTER

**Goal 1:** The development of a variety of housing types and prices in the Town of Yucca Valley that will accommodate both existing and future residents within all socio-economic segments of the community.

**Goal 2:** The development of affordable housing projects to meet the community's need.

**Goal 3:** The maintenance and rehabilitation of the Town's core neighborhoods.

**Response:** The provision of 75 senior affordable housing implements the Town's goal of accommodating an important socio-economic segment of the community. The location of the project will beautify and improve a prominent parcel located centrally within the community along the Town's main roadway.

## D. ENVIRONMENTAL RESOURCES CHAPTER

### Biological Resources

Goal: Protect and preserve the Town's biological resources, especially those sensitive, rare, threatened and endangered species of plants and wildlife and their habitats, and a functional, harmonious relationship and balance between nature and human development.

### Open Space and Conservation

Goal 1: Conservation, preservation and management of open space areas and protection of environmental resources and threatened animal species, protection against environmental hazards, and provision of enhanced recreational opportunities, and scenic qualities of the Town.

Goal 2: Preservation of the Town's rural atmosphere, including maintenance of natural and scenic resources.

**Response:** A mitigated Negative Declaration (MND) has been prepared to address Specific Plan potential environmental impacts on biological resources, environmental hazards, and scenic resources. Measures to reduce any significant effects consistent with the resource protection goals has been identified in the MND and implemented through the Specific Plan. The plan area consists of gently sloping terrain of the valley floor and does not include unique environmental or scenic resources. Retention of natural open space within the Plan Area to promote recreation or resource protection objectives would be inconsistent with the designation and intended purpose of the site as an affordable housing project. Nevertheless, site design will create limited opportunities to include protected native plant species (e.g. Joshua trees) within created open space islands, consistent with Town policies and the native plant protection ordinance. Views of valley hillsides that form a northerly backdrop to the Plan Area will be available through the site from adjacent State Highway 62, a scenic highway. Further, project building materials and architectural design have been developed to complement the Town's rural atmosphere and character.

## E. ENVIRONMENTAL HAZARDS CHAPTER

### Seismic Safety

Goal: Minimized vulnerability to, and maximized protection of, the general health, safety, and welfare of the community from the effects of seismic hazards that may impact lives, property, and economic well-being of the community.

## Slopes, Sediment Control and Soil Conservation

Goal 1: Protection of public health, safety, and welfare from hazards associated with steep or unstable slopes and areas subject to erosion and associated hazards.

Goal 2: Conservation soil, protection of hillsides and mountains as valuable scenic resources, and limitation of erosion debris on streets and in drainage channels and in habitats.

**Response:** The Plan Area features gently sloping terrain of the valley floor and does not present any unique geologic or soil limitations to the proposed affordable housing development. Development will proceed in conformance with the Uniform Building Code and local codes established to protect the public from geologic, soil, and seismic hazards. Construction phase best management practices (BMPs) to prevent erosion and sedimentation impacts to streets and drainage channels will be implemented, consistent with State and local permit requirements.

## F. PUBLIC SERVICES AND FACILITIES CHAPTER

### Emergency Preparedness

Goal: Provision of a thoroughly coordinated, responsive and effective emergency preparedness implementation plan in the Town of Yucca Valley, assuring a high degree of readiness to respond to natural and man-made disasters in a manner that maximizes Town, County, State and Federal response capabilities.

**Response:** The Specific Plan circulation plan includes adequate site access, and safe ingress and egress consistent with Town standards and emergency response plans.



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## **Appendix C**

# **Joshua Tree Survey Report**

TOWN OF YUCCA VALLEY

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# **Joshua Tree Survey Report, Yucca Valley Seniors Project, City of Yucca Valley**

## **Prepared for**

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## **Prepared by**

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**April 2011**

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## Appendix

A Joshua Tree Survey Data
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## SUMMARY

- Number of Joshua trees surveyed \_\_\_\_\_ 83
- Total number of Joshua trees impacted by proposed construction \_\_\_\_\_ 77 (+ 2 off site)
- Number of Joshua trees proposed for removal \_\_\_\_\_ 69 (+ 2 off site)
- Number of Joshua trees proposed for encroachment \_\_\_\_\_ 8
- Number of proposed removals that may be transplanted \_\_\_\_\_ 28 (+ 1 off site)
- Number of transplantable pups<sup>1</sup> \_\_\_\_\_ 26

## INTRODUCTION

Pursuant to the Town of Yucca Valley General Plan and Town Ordinance No. 140, the Plant Protection and Management Ordinance, Chapter 1, Desert Native Plant Protection, all species of mesquite (*Prosopis* spp.), yucca (*Yucca* spp.), palo verde (*Parkinsonia* [i.e., *Cercidium*] spp.), and manzanita (*Arctostaphylos* spp.), as well as California juniper (*Juniperus californica*), desert willow (*Chilopsis linearis*), piñon pine (*Pinus monophylla*), creosote rings 10 feet or more in diameter, and all plants protected or regulated by the California Desert Native Plants Act (California Food and Agricultural Code 80001 *et. seq.*) shall not be removed except under a removal permit issued by the Community Development Director. A requirement of the removal permit is a plot plan indicating the protected plants to be removed or relocated.

Joshua trees (*Yucca brevifolia*) that are known to be at least 40 years old,<sup>2</sup> which have a canopy width of at least 15 feet,<sup>3</sup> which are at least 15 feet in height,<sup>4</sup> or which have a trunk measuring at least 12 inches in diameter<sup>5</sup> shall be preserved in place unless their removal, transplantation or destruction can be shown not to be feasibly avoided. In the event that it is found to be infeasible to maintain a Joshua tree in its original place, translocation on site or off site through the Town's Adoption Program is allowable, per the following requirements set forth in the Ordinance:

- The desert native plants are to be transplanted in a manner approved by the Community Development Director or other reviewing authority.

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<sup>1</sup> Pup: an adventitious shoot arising from the base of a Joshua tree.

<sup>2</sup> By historic record, including pictures or written description.

<sup>3</sup> As measured from the furthest point of outstretched branches (measured parallel to the ground).

<sup>4</sup> As measured from the base of the trunk to the highest point of the tree.

<sup>5</sup> As measured 4 feet from the ground.

- The desert native plant is to be transplanted to another property within the same plant habitat under the supervision of a Desert Native Plant Expert and the removal of such plant will not adversely affect the desert environment on the subject site.
- Any desert native plant on the site which is determined by the Community Development Director or other reviewing authority as requiring transplanting will be transplanted or stockpiled for transplanting in accordance with methods approved by the Community Development Director. A Desert Native Plant Expert shall supervise and manage any required transplanting of desert native plants.
- In the Town's effort to retain and preserve, in place, existing Joshua trees and yuccas, the Planning Section of the Town of Yucca Valley shall establish and maintain a Joshua tree and Yucca Preservation and Adoption Program. This Program shall be a listing, available to the public, of locations where individuals have applied to disturb, move (transplant or otherwise), remove or destroy existing Joshua trees. The Program shall include the name of the property owner, the address of the property containing the Joshua trees and yuccas, a mailing address for the property owner, a daytime contact phone number, the number of trees disturbed, moved, removed or destroyed, and the approximate size, physical characteristics and physical condition of the available trees, as of the date the trees was listed on the Program. The Program shall also list a date that each individual tree was disturbed, moved, removed or destroyed.
- No Joshua trees or yuccas shall be approved for transplantation more than once in any 10-year period. Although no Joshua trees may be approved for transplantation more than once in any 10-year period, the Planning Commission may, at the time of a discretionary review, approve an interim location, for up to 1 year for storing Joshua trees and yuccas to allow for a phased development of a project or property.
- The Program shall also include, reviewed and updated annually, a list of the names, mailing addresses and daytime contact phone number of individuals who have expressed a desire to receive transplantable Joshua trees or yuccas.

## **Purpose**

As required by the Town of Yucca Valley and pursuant Ordinance No. 140, Chapter 1, Section 89.0125, the purpose of this Joshua tree report is to provide information to the Town on Joshua trees that may be removed, damaged, or encroached by the development of the Yucca Valley Seniors project. Encroachment is here defined as grade alteration that buries any portion of a native tree, significantly undercuts the root system, or otherwise disturbs the ground within the dripline of the native tree.

## **Site Description**

The project site (APN 0595-371-011) is located at the northwest corner of the intersection of Twentynine Palms Highway and Dumosa Avenue, within the Town of Yucca Valley, San Bernardino County (**Figure 1, Regional Location**). The project site is currently vacant and undeveloped.



The project site appears to have been brushed and is in a disturbed condition. Appreciable vegetative cover is lacking, other than that provided by Joshua trees. Remnant vegetation present on site includes native and non-native, ruderal annual and short-lived perennial species such as Russian-thistle (*Salsola tragus*), rancher's fireweed (*Amsinckia menziesii*), Sahara mustard (*Brassica tournefortii*), red-stem filaree (*Erodium cicutarium*), California evening-primrose (*Oenothera californica*), red brome (*Bromus madritensis* ssp. *rubens*), cheat grass (*Bromus tectorum*), and Arabian splitgrass (*Schismus arabicus*).

Because conditions for observing wildlife were poor on the day of the survey (April 7, 2011), with winds in excess of 50 mph, and temperatures in the 50s degrees F, very few wildlife species were observed. Nevertheless, the Joshua trees on site provide nesting habitat for a variety of common bird species. It was noted during the course of the survey, that the site provides pedestrian access between Twentynine Palms Highway and the Town Hall to the north, and it is therefore expected that frequent human use of the site would be a disincentive for ground nesting birds to utilize the site.

The western boundary of the property supports a small number of catclaw acacia (*Acacia greggii*). These are all small saplings and persist on stormwater runoff originating from the property to the west. This runoff flows to a drainage feature on the project site that may fall under the jurisdiction of U.S. Army Corps of Engineers or the California Department of Fish and Game. Flows within this drainage feature are conveyed to Dumosa Avenue, where they enter the local storm drain system. There is no developed riparian vegetation associated with this drainage.

## Project Description

The proposed project includes 75 affordable senior housing units, pool, courtyards, paseos, landscaped open areas, recreation room, and parking at a ratio of 1 space per unit, on approximately 2.5 acres. The 75 units are located within two and three story structures, occupying 26 percent of the project site. Access to the site is from the proposed realignment of Dumosa Avenue.

## METHODS

Impact Sciences, Inc. conducted a survey and evaluation of on-site Joshua trees on April 7, 2011. The entire project site was traversed on foot. Joshua tree locations were mapped using a sub-meter Geographical Positioning System (GPS). Attribute data were also collected during this survey, and included tree height, fork height,<sup>6</sup> trunk diameter, number of branches, canopy dimensions (N, E, S, and W), branch spread relative to 45°, deviation of the main trunk from vertical, and number of transplantable pups.

---

<sup>6</sup> As used in this report, the term "fork" refers to the point of divergence of major branches from the tree trunk.

A determination of suitability for transplantation was determined for each Joshua tree based on the data collected in the field. A positive determination of suitability was made for a tree if it met all of the following criteria:

- the tree's height was 18 feet or less,
- the tree had fewer than 6 branches,
- the tree's canopy was less than 10 feet along the N/S and E/W axes,
- the angle of branching at the fork was equal to or less than 45°, and
- the tree was not leaning more than 45° from vertical.

These data are presented in **Appendix A, Joshua Tree Survey Data**.

## **RESULTS**

A total of 91 Joshua trees were surveyed. This number included 83 on-site trees and 8 off-site trees that were not recognized as not requiring surveying during the course of fieldwork. On-site trees range from 5 to 31 feet in height and 57 to 367 years in estimated age; canopy width along the N/S or E/W axis ranged from 0 to 20 ft;<sup>7</sup> and trunk diameter ranged from 4 to 18 inches. Twenty-eight of the surveyed trees within the proposed impact area were determined to be viable candidates for transplantation, and 26 transplantable pups were located within the project site boundaries.

Subsequent to the survey, two additional off-site trees were identified within the project impact area, east of Dumosa Avenue. Based on an aerial photographs of the site, these trees are estimated to be approximately 15 to 20 feet tall, with moderate to large-sized canopies. One of these trees appears to be transplantable, and the other does not appear to be a good candidate for transplantation. A summary of project-related impacts is given in the summary section at the beginning of this document; **Table 1, Impact Inventory**, details the on-site tree characteristics and proposed impacts.

No species protected by the Plant Protection and Management Ordinance other than Joshua tree is present on the project site. Joshua tree locations relative to proposed construction on the project site are displayed on the project engineering plans in **Figure 2, Joshua tree location map**.

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<sup>7</sup> A canopy width of 0 ft. is possible for trees with no branches along a particular axis.



SOURCE: Impact Sciences, Inc. – April 2011

FIGURE 2

Joshua tree location map

**Table 1**  
**Impact Inventory**

Tree #	Height (feet)	Trunk diameter (inches)	N/S canopy width (feet)	E/W canopy width (feet)	Estimated age* (years)	Impact**	Transplantable?***	Number of transplantable pups	Comments
1	19.60	14	9	8	232	N	N/A		
2	10.27	8	4	2.5	120	N	N/A		
3	14.93	9	6	5	176	E	N/A		
4	9.33	6	2	3	109	E	N/A		
5	12.13	8	2	2	143	E	N/A		
6	25.20	13	6.5	7	299	R	N		
7	15.87	9	5	6	187	R	Y		
8	22.40	12	7.5	8	266	N	N/A		
9	23.33	15	11	10	277	R	N	5	Pups 8, 4, 8, 6, and 2 feet in height
10	16.80	9	5	6	199	R	Y		
11	23.33	13	8	9	277	R	N		
13	20.53	11	8	8	243	R	N		
14	20.53	14	10	9	243	R	N		
15	22.40	14	8	8	266	R	N		
16	18.67	11	0	5	221	R	N		Crown leaning past 45 degrees; half shed
17	19.60	10	12	10	232	R	N		
18	16.80	9	7	5	199	R	N		
19	8.40	8	2.5	2	98	R	N		Fork cut at collar
20	11.20	9	3	3	131	R	N		
21	17.73	15	17	16	210	E	N/A		
22	17.73	7	4	5	210	E	N/A		
23	13.07	7	5	6	154	E	N/A		
24	22.40	12	13	11	266	R	N		
25	15.87	14	7	8	187	E	N/A		
26	14.93	10	9	9	176	E	N/A		

Tree #	Height (feet)	Trunk diameter (inches)	N/S canopy width (feet)	E/W canopy width (feet)	Estimate d age* (years)	Impact**	Transplantable?***	Number of transplantable pups	Comments
27	11.20	8	1	8	131	R	N		
28	25.20	14	11	7	299	R	N		
29	26.13	10	15	20	311	R	N		
30	24.27	11	8	7	288	N	N/A	2	Pups 6 and 12 feet in height
31	22.40	15	12	12	266	N	N/A		
32	18.67	11	7	7	221	R	N	3	Pups 1, 1, and 8 feet in height
33	18.67	11	7	8	221	R	N		
34	23.33	12	15	11	277	R	N		
35	19.60	13	8	10	232	R	N		
36	17.73	15	8	6	210	R	Y		
37	26.13	12	0	0	311	N	N/A		
38	12.13	13	6	5	143	R	Y	5	Pups 5, 1, 1, 2, and 6 feet in height
39	5.00	4	0	0	57	R	Y	3	Pups <1, <1, and 1 foot in height
40	22.40	13	10	10	266	R	N		
41	13.07	9	3	6	154	R	Y		
42	22.40	14	11	10	266	R	N		
43	14.93	6	2	1	176	R	N		
44	15.87	8	5	6	187	R	Y		
45	17.73	11	8	7	210	R	Y		
46	14.00	8	4	5	165	R	Y		
47	14.93	6	2	3	176	R	Y		
48	20.53	13	14	7	243	R	N		
49	16.80	9	3	4	199	R	Y		
50	18.67	15	12	12	221	R	N		
51	16.80	10	9	8	199	R	Y		
52	14.93	8	6	3	176	R	Y		
53	17.73	9	6	3	210	R	Y		
54	18.67	13	7	10	221	R	N		
55	16.80	11	7	7	199	R	Y		
56	24.27	16	10	12	288	R	N		

Tree #	Height (feet)	Trunk diameter (inches)	N/S canopy width (feet)	E/W canopy width (feet)	Estimate d age* (years)	Impact**	Transplantable?***	Number of transplantable pups	Comments
57	8.00	12	3	11	93	R	N		
58	19.60	18	10	11	232	R	N		
59	19.60	7	5	4	232	R	N		Large branch bent beyond horizontal
60	23.33	11	15	16	277	R	N		
61	18.67	11	8	7	221	R	N		
62	21.47	11	13	6	255	R	N		Entire tree bent past 90 degrees; true fork 14 ft from base
63	13.07	4	1	2	154	R	Y		Broken at crown
64	18.00	14	10	14	213	R	N	6	Partially fallen; leaning on ground; tree height measured along lean
65	14.93	10	8	5	176	R	Y		
66	21.47	11	12	12	255	R	N		
67	15.87	11	7	6	187	R	Y		Several broken branches including fork
68	17.73	16	10	11	210	R	N	1	Incipient pup; 0 ft tall
69	30.80	15	18	14	367	R	N		
70	22.40	11	12	14	266	R	N		Pup of 69
71	24.27	11	11	7	288	R	N		
72	17.73	10	11	8	210	R	N		Over parking lot
73	10.00	8	5	3	117	R	Y	1	2 branches cut at fork; pup <1 ft tall
74	23.33	11	8	12	277	R	N		
75	15.87	9	14	11	187	R	N		
76	16.80	8	6	7	199	R	Y		
77	7.47	4	0	0	87	R	Y		
78	13.07	6	2	5	154	R	Y		
79	13.07	8	2	3	154	R	Y		
80	12.13	7	1	2	143	R	Y		Broken at fork
81	13.07	8	3	4	154	R	Y		
82	15.87	6	2	3	187	R	Y		
89	17.73	6	9	6	210	R	Y		
90	16.80	10	8	7	199	R	Y		

Tree #	Height (feet)	Trunk diameter (inches)	N/S canopy width (feet)	E/W canopy width (feet)	Estimated age* (years)	Impact**	Transplantable?***	Number of transplantable pups	Comments
Off-site tree north	~15	Unknown	~8	~8	Unknown	R	Potential	Unknown	Assessed based on aerial photography
Off-site tree south	~20	Unknown	~12	~12	Unknown	R	Unlikely	Unknown	Assessed based on aerial photography

\*: Age estimate based on an assumption of 4 inches of growth through the first year, followed by 1 inch of growth per year thereafter.

\*\* : Impact abbreviations: R = removal; E = encroachment; N = no impact

\*\*\*: An assessment of transplantability was not made for trees not proposed for removal.

## RECOMMENDATIONS

The following recommendations are modified from the Joshua Tree Salvage Plan for the Home Depot Center in the Town of Yucca Valley, California, prepared by Michael Brandman Associates.<sup>8</sup>

1. Transplantation should be conducted during late fall or winter, when weather is moderately cool and soils are moist.
2. Joshua trees and pups should be marked systematically (such as on the north side of the trunk) so that they may be transplanted in the same orientation that they were growing in prior to removal. Prior to removal, all transplantable trees within the project impact area should be thus marked.
3. Prior to the initiation of Joshua tree and pup salvage, the Project Biologist should coordinate a meeting with all contractors involved in the salvage project. The Project Biologist should provide the contractor(s) with a copy of the Salvage Plan and should review all relevant components of the program.
4. Trees that have been marked should be removed utilizing a tree spade or backhoe and personnel with shovels. Care should be taken to remove the entire root ball intact, to minimize exposure of the root ball to air, and to maintain a moist environment around the roots at all times. Root balls should be treated with a mixture of water and rooting hormone immediately upon removal from the ground, and the salvaged trees should be immediately transported to the storage area or transplantation site.
5. Unless immediately transplanted to their final locations, a storage area for the salvaged trees and pups should be prepared ahead of time. The trees should be stored by planting in their native orientations within a temporary trench, or trenches, approximately 1 foot wider than the root ball of the trees and long enough to accommodate all the trees to be salvaged. Trees can be planted as close as possible while still allowing any necessary room for the installation of equipment. The Project Biologist should coordinate with the contractors to determine the length and width of the trench required.
6. Receiving holes for salvaged trees and pups within the final transplantation area should be approximately 1 foot larger than the root balls they receive.
7. A water and rooting hormone (vitamin B-1) mix should be prepared prior to final translocation of trees and pups. Added minerals or chelating agents, common additives in commercially available rooting hormone mixes, are acceptable. The rooting hormone should be mixed per the manufacturer's direction, typically 1:250 (B 1: water). The receiving hole should be filled with a mixture of water and rooting hormone, and allowed to drain before placing the tree in the hole. Once the plant is set in the hole in the proper orientation, the hole should be backfilled and the tree watered once again. Air pockets should be eliminated from around the root ball by tamping or standing on the root ball while the soil around the plant is still wet. A basin should be left around the plant to hold water. The trees should be watered again after 10 days by soaking with a mixture of Vitamin B1 and water.

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<sup>8</sup> Michael Brandman Associates. 2005. Joshua Tree Salvage Plan for the Home Depot Center in the Town of Yucca Valley, California. Prepared for the Town of Yucca Valley.

8. The trees should be watered periodically through the establishment period based upon their appearance. The Project Biologist (or designee) should monitor the plants for signs of stress and desiccation and notify maintenance personnel when the plants must be watered. For each watering, the basin should be filled and then allowed to drain (and the soil to dry) before watering again. Watering should be conducted as needed to support the initial translocation; however, the goal is to establish the plants without need for supplemental watering. The transplants should be monitored weekly for three months and then monthly until the Project Biologist has determined that they are established.

## **CONCLUSION**

As indicated above, 71 Joshua trees may be removed, inclusive of 69 on-site trees and 2 off-site trees, and 8 may be encroached upon as a result of the proposed development of the site. Twenty-eight of the on-site trees and one of the off-site trees have characteristics that make them viable candidates for transplantation. Additionally, throughout the project site, there are 26 transplantable pups which may serve as replacement mitigation for trees that would be removed as a result of proposed project development. Joshua tree is the only species on the project site that is protected by the Plant Protection and Management Ordinance.

**APPENDIX A**

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**Joshua Tree Survey Data**

Tree #	Tree height (ft)	Trunk diameter (in)	Fork height (ft)	Branches	N/S canopy (ft)	E/W canopy (ft)	branch spread (</> 45°)	Lean (degrees)	Impact	Transplantable?	Pups
1	19.60	14	9.33	3	9	8	<	5	N	N/A	
2	10.27	8	7.47	2	4	2.5	>	30	N	N/A	
3	14.93	9	4.67	2	6	5	<	45	E	N/A	
4	9.33	6	7.47	2	2	3	<	5	E	N/A	
5	12.13	8	8.40	1	2	2	<	10	E	N/A	
6	25.20	13	12.13	2	6.5	7	<	5	R	N	
7	15.87	9	5.60	2	5	6	<	5	R	Y	
8	22.40	12	14.00	2	7.5	8	<	20	N	N/A	
9	23.33	15	7.47	2	11	10	<	10	R	N	5
10	16.80	9	7.47	2	5	6	=	5	R	Y	
11	23.33	13	11.20	4	8	9	<	0	R	N	
12*	24.27	13	8.40	2	11	10	<	0	N	N/A	N/A
13	20.53	11	8.40	4	8	8	=	0	R	N	
14	20.53	14	9.33	4	10	9	>	5	R	N	
15	22.40	14	9.33	2	8	8	>	5	R	N	
16	18.67	11	12.13	2	0	5	>	10	R	N	
17	19.60	10	9.33	2	12	10	>	5	R	N	
18	16.80	9	7.47	2	7	5	>	5	R	N	
19	8.40	8	3.00	1	2.5	2		45	R	N	
20	11.20	9	5.60	3	3	3	>	0	R	N	
21	17.73	15	6.53	5	17	16	>	0	E	N/A	
22	17.73	7	7.47	2	4	5	>	5	E	N/A	
23	13.07	7	8.40	3	5	6	>	10	E	N/A	
24	22.40	12	11.20	2	13	11	<	15	R	N	
25	15.87	14	9.33	3	7	8	>	5	E	N/A	
26	14.93	10	8.40	2	9	9	=	10	E	N/A	
27	11.20	8	5.60	2	1	8	>	20	R	N	
28	25.20	14	14.93	3	11	7	=	0	R	N	
29	26.13	10	14.93	3	15	20		90	R	N	
30	24.27	11	12.13	3	8	7	<	15	N	N/A	2
31	22.40	15	11.20	2	12	12	<	0	N	N/A	
32	18.67	11	9.33	3	7	7	=	5	R	N	3
33	18.67	11	7.47	3	7	8	<	0	R	N	

Tree #	Tree height (ft)	Trunk diameter (in)	Fork height (ft)	Branches	N/S canopy (ft)	E/W canopy (ft)	branch spread (</=> 45°)	Lean (degrees)	Impact	Transplantable?	Pups
34	23.33	12	10.27	2	15	11	<	5	R	N	
35	19.60	13	7.47	4	8	10	>	10	R	N	
36	17.73	15	6.53	3	8	6	=	5	R	Y	
37	26.13	12	16.80	3	0	0	<	90	N	N/A	
38	12.13	13	3.73	2	6	5	=	30	R	Y	5
39	5.00	4	0.00	0	0	0		0	R	Y	3
40	22.40	13	9.33	3	10	10	>	5	R	N	
41	13.07	9	6.53	3	3	6	=	30	R	Y	
42	22.40	14	10.27	2	11	10	90	10	R	N	
43	14.93	6	10.27	0	2	1	90	5	R	N	
44	15.87	8	7.47	2	5	6	<	5	R	Y	
45	17.73	11	8.40	3	8	7	=	5	R	Y	
46	14.00	8	8.40	4	4	5	<	5	R	Y	
47	14.93	6	6.53	3	2	3	<	5	R	Y	
48	20.53	13	6.53	2	14	7	<	10	R	N	
49	16.80	9	10.27	2	3	4	=	10	R	Y	
50	18.67	15	9.33	3	12	12	<	5	R	N	
51	16.80	10	7.47	3	9	8	<	35	R	Y	
52	14.93	8	8.40	3	6	3	<	20	R	Y	
53	17.73	9	9.33	2	6	3	=	20	R	Y	
54	18.67	13	9.33	3	7	10	<	5	R	N	
55	16.80	11	8.40	2	7	7	<	5	R	Y	
56	24.27	16	8.40	2	10	12	<	10	R	N	
57	8.00	12	2.50	0	3	11	=	10	R	N	
58	19.60	18	9.33	5	10	11	<	5	R	N	
59	19.60	7	11.20	2	5	4	>90	10	R	N	
60	23.33	11	7.47	3	15	16	<	10	R	N	
61	18.67	11	9.33	4	8	7	<	0	R	N	
62	21.47	11	7.47	6	13	6		45	R	N	
63	13.07	4	7.47	1	1	2		5	R	Y	
64	18.00	14	3.00	5	10	14	>	0	R	N	6
65	14.93	10	8.40	2	8	5	<	10	R	Y	
66	21.47	11	7.47	5	12	12	<	5	R	N	
67	15.87	11	7.47	4	7	6	=	5	R	Y	

Tree #	Tree height (ft)	Trunk diameter (in)	Fork height (ft)	Branches	N/S canopy (ft)	E/W canopy (ft)	branch spread (</=> 45°)	Lean (degrees)	Impact	Transplantable?	Pups
68	17.73	16	8.40	5	10	11	>	0	R	N	1
69	30.80	15	11.20	2	18	14	<	0	R	N	
70	22.40	11	11.20	2	12	14	<	30	R	N	
71	24.27	11	11.20	2	11	7	<	5	R	N	
72	17.73	10	9.33	3	11	8	<	0	R	N	
73	10.00	8	3.25	3	5	3	<	20	R	Y	1
74	23.33	11	8.40	3	8	12	<	0	R	N	
75	15.87	9	9.33	4	14	11	>	45	R	N	
76	16.80	8	9.33	3	6	7	=	5	R	Y	
77	7.47	4	0.00	0	0	0		10	R	Y	
78	13.07	6	7.47	2	2	5	<	0	R	Y	
79	13.07	8	6.53	3	2	3	<	5	R	Y	
80	12.13	7	8.40	2	1	2	<	15	R	Y	
81	13.07	8	4.67	2	3	4	<	15	R	Y	
82	15.87	6	9.33	3	2	3	<	20	R	Y	
83*	15.87	6	7.47	2	2	6	<	10	N	N/A	N/A
84*	16.00	6	0.00	3	6	11	<	>90	N	N/A	N/A
85*	16.80	5	13.07	2	1	4	>	5	N	N/A	N/A
86*	21.47	11	6.53	2	8	2	<	0	N	N/A	N/A
87*	14.93	8	7.47	2	4	6	<	10	N	N/A	N/A
88*	16.80	7	9.33	2	5	7	<	5	N	N/A	N/A
89	17.73	6	10.00	2	9	6	<	10	R	Y	
90	16.80	10	8.40	3	8	7	<	0	R	Y	
91*	15.87	7	7.47	2	8	2	<	0	N	N/A	N/A
<b>TOTALS</b>									<b>R: 69 (+ 2 off site)</b>	<b>28 (+ 1 off site)</b>	<b>26</b>
									<b>E: 8</b>		
									<b>N: 6</b>		

Criteria values that are favorable for transplantation are highlighted in grey.  
 Impact abbreviations: R = removal; E = encroached by project, possible save; N = no impact  
 \*: off-site tree, not counted in totals

## **Appendix D**

### **Conditions of Approval (Provided Separately)**

TOWN OF YUCCA VALLEY

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